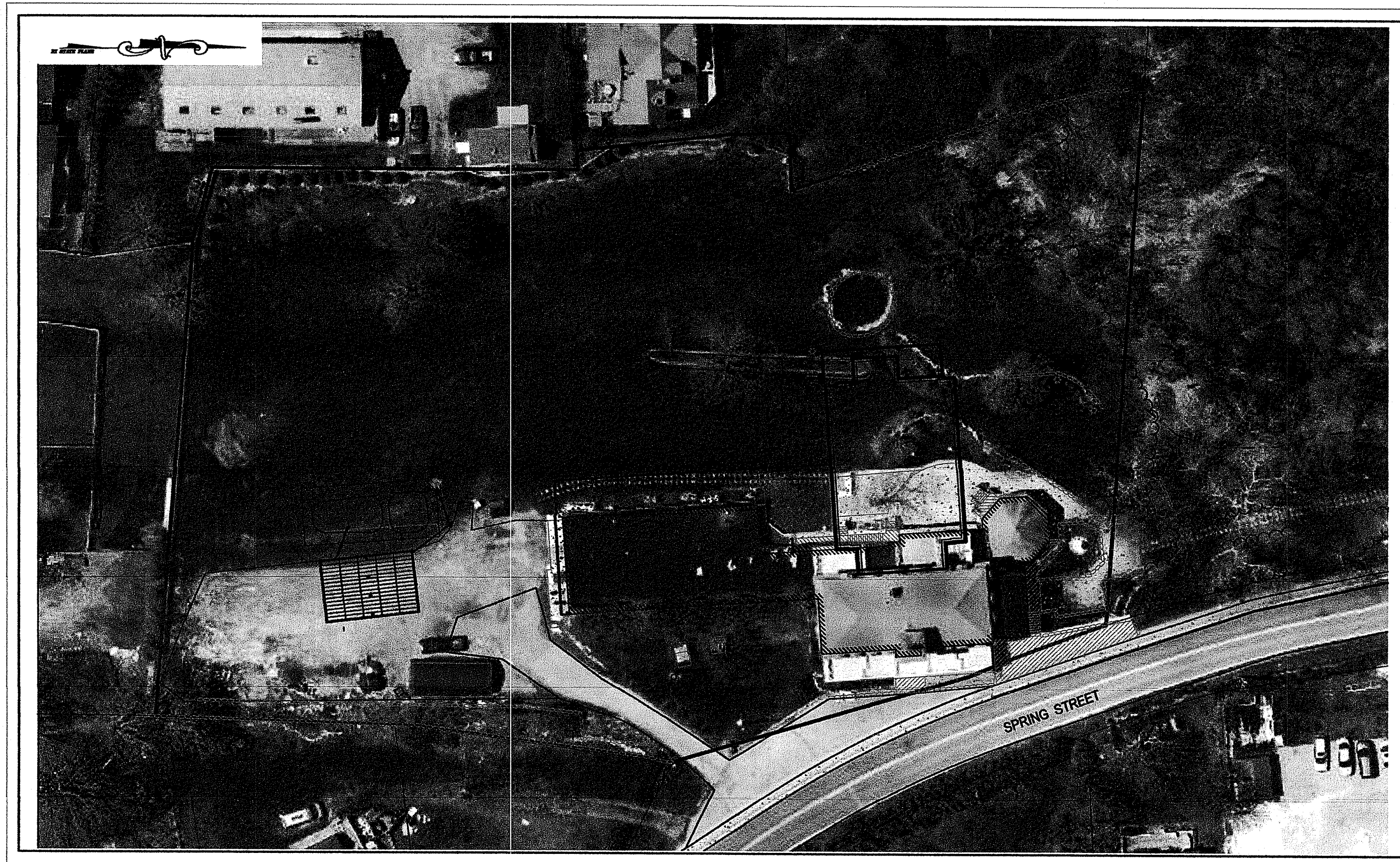


# PERMITTING PLANS

FOR:

## HOTEL MANISSES

A.P. 7, LOT 27  
251 SPRING STREET  
NEW SHOREHAM, RI



AERIAL IMAGE  
SCALE 1" = 40'

PREPARED FOR:

## 251 SPRING STREET LLC

PREPARED BY:



250 Centerville Road, Building E-12  
Warwick, Rhode Island 02886

790 Aquidneck Avenue, Rear Entrance  
Middletown, Rhode Island 02842

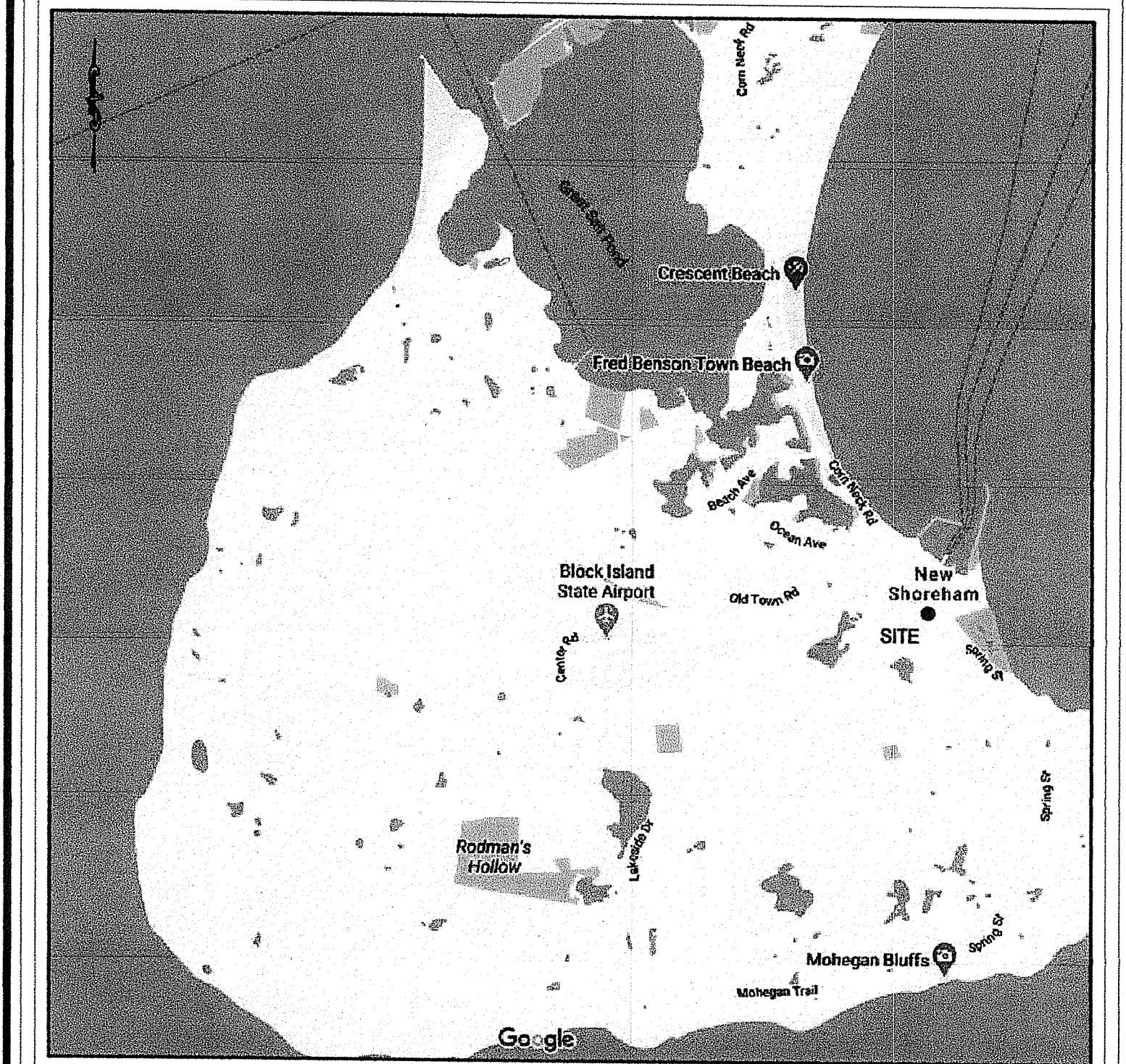
p. (401) 921-3344 f. (401) 921-3303  
www.MillstoneEng.com

**APRIL 2022**

REFERENCES:  
1. RIDEM AERIAL PHOTOGRAPHY

NO.	DATE	REVISION
1	5/25/22	RIDEM COMMENTS

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4	SOIL EROSION & SEDIMENT CONTROL PLAN	5/25/22
5	NOTES	
6	DETAILS	5/25/22

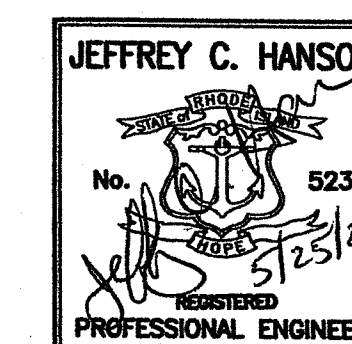
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION #: 22-C132  
DATED: JUN 3 0 2022  
SEE LETTER OF SAME DATE  
*Martin D. Weneck*

RI Environmental Management  
MAY 26 2022  
Office of Water Resources



HOTEL MANISSES  
A.P. 7, LOT 27  
251 SPRING STREET  
NEW SHOREHAM, RI

250 Centerville Road, Building E-12  
Warwick, Rhode Island 02886  
790 Aquidneck Avenue, Rear Entrance  
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p. (401) 921-3344 f. (401) 921-3303  
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Drawn By: MBV

Checked By: BJC

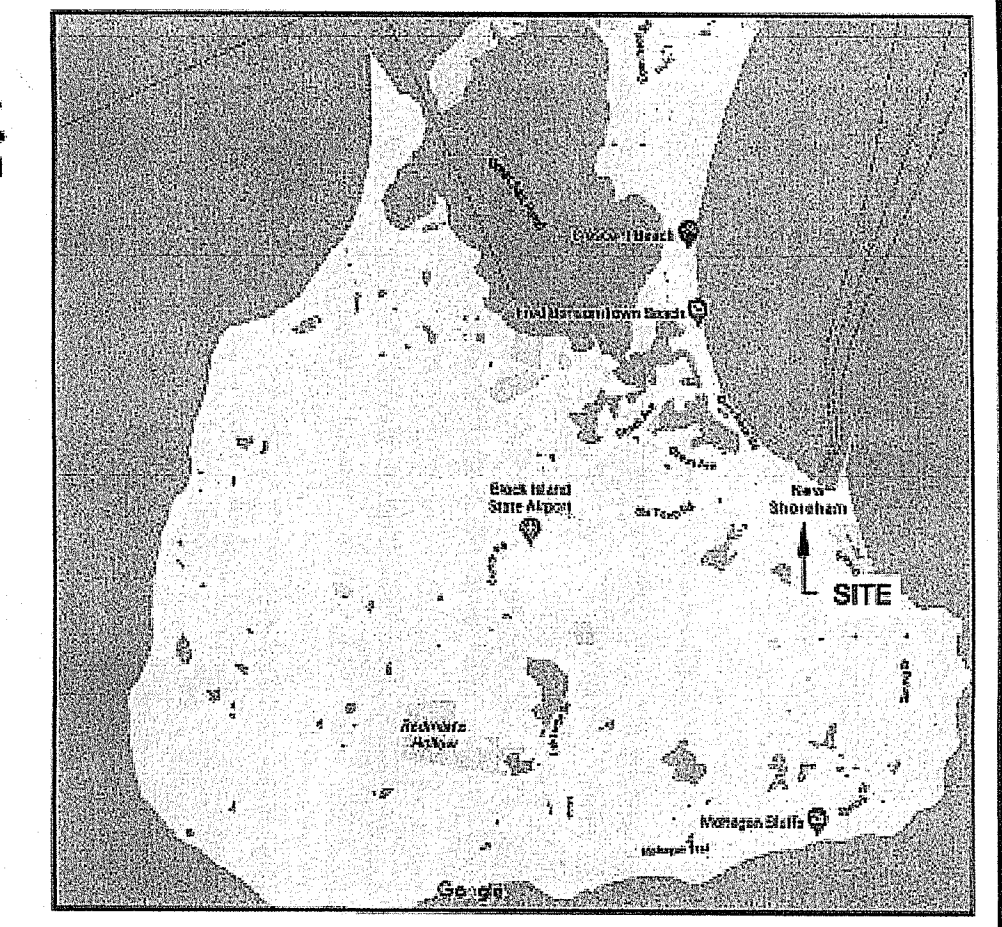
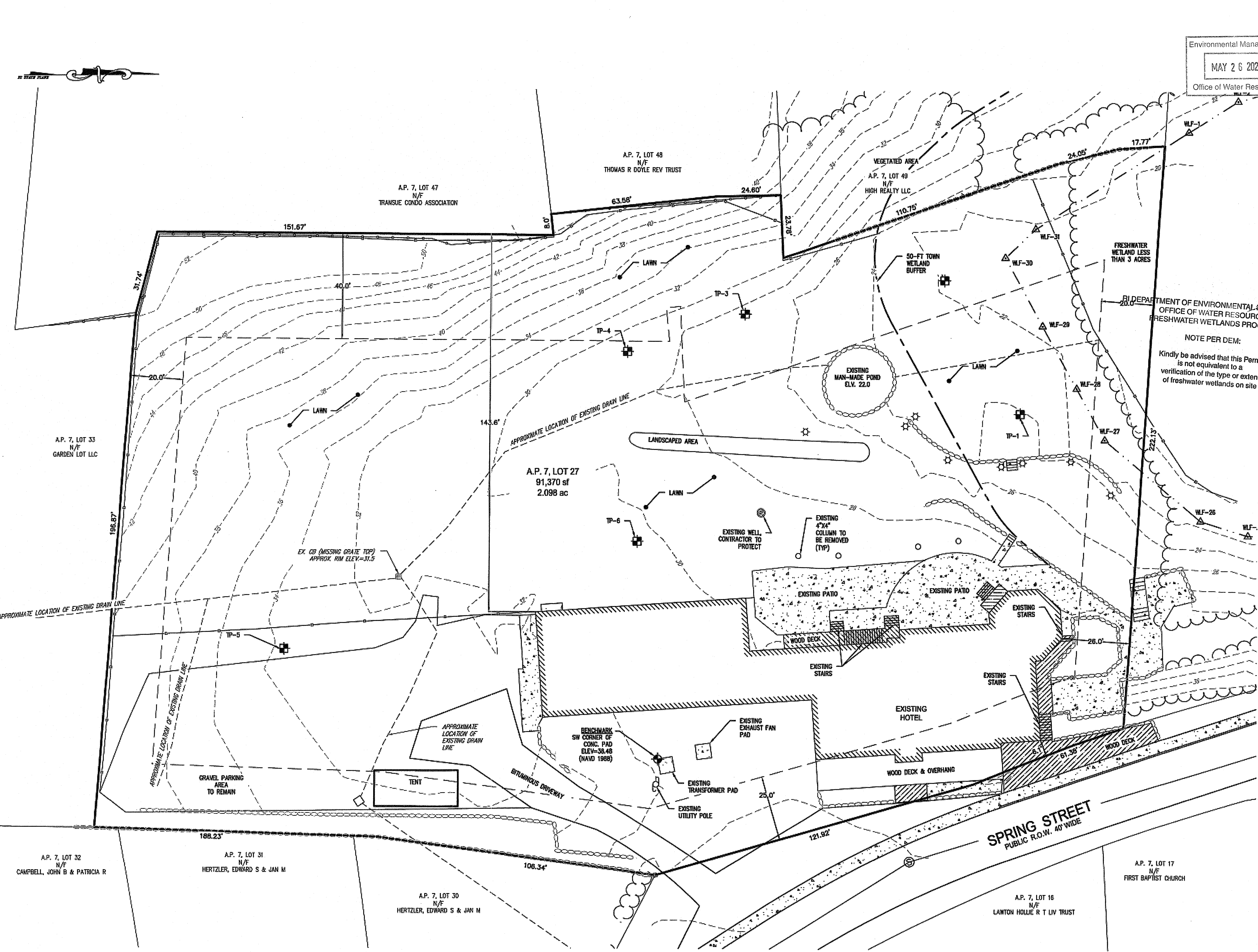
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**1**

of 6

FILE NO.: 20.267.596

OWNER:  
251 SPRING STREET, LLC  
P.O. BOX 298  
BLOCK ISLAND, RI 02807



- LEGEND:**
- SUBJECT PROPERTY LINE (PER REFERENCE 2)
  - - - SUBJECT PROPERTY SETBACK LINE
  - - - ABUTTING PROPERTY LINE
  - ⊕ BENCHMARK
  - - - EXISTING CONTOUR LINE
  - - - EXISTING EDGE OF PAVEMENT
  - - - EXISTING TOWN WETLAND (PER REFERENCE 1)
  - - - 50-FOOT TOWN WETLAND BUFFER
  - - - EXISTING TREE LINE
  - - - EXISTING STONEWALL (PER REFERENCE 1)
  - - - EXISTING FENCE LINE
  - - - EXISTING BUILDING
  - - - EXISTING PATIO
  - - - EXISTING UTILITY POLE
  - - - EXISTING LIGHT FIXTURE
  - ⊙ TEST HOLE
  - - - EXISTING CATCH BASIN
  - - - EXISTING DRAIN LINE
  - - - EXISTING SEWER MANHOLE
  - - - EXISTING SEWER LINE

**ZONING:**  
ZONE: RCM (RESIDENTIAL C, MIXED)

**DIMENSIONAL REQUIREMENTS:**

RCM (RESIDENTIAL C, MIXED)	REQUIRED	EXISTING
MINIMUM LOT SIZE	20,000 SF	91,370 SF
<b>SETBACKS:</b>		
FRONT YARD	25 FT	6.1' FT*
SIDE YARD	20 FT	26.0 FT
REAR YARD	40 FT	143.6 FT
MAXIMUM BUILDING HEIGHT	30 FT	21.0 FT

\*EXISTING NON-CONFORMING CONDITION

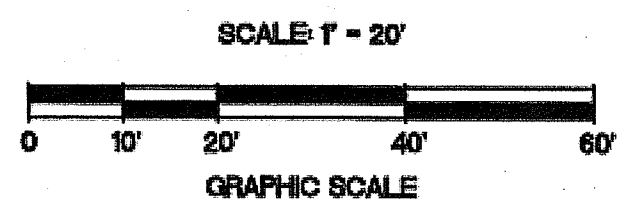
- NOTES:**
1. THE SUBJECT LOT IS SERVICED BY PUBLIC WATER AND SEWER.
  2. THIS PLAN INTENDS TO SHOW EXISTING CONDITIONS BASED UPON THE GROUND SURVEY. BOUNDARY/PROPERTY LINE INFORMATION IS OBTAINED FROM REFERENCE 1. THIS PLAN IS NOT INTENDED TO BE A PROPERTY SURVEY.

**FLOOD NOTE:**  
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED UPON INFORMATION PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) FOR WASHINGTON COUNTY, PANEL NUMBER 4409C0366J, MAP REVISED OCTOBER 16, 2013.

- REFERENCES:**
1. PLAN ENTITLED, "PLAN OF SURVEY 'MANISSES' HOTEL' IN NEW SHOREHAM, R.I. FOR BLOCK ISLAND RESORTS INC A.P. 7 LOT 27" PREPARED BY DAVID D. GARDNER & ASSOCIATES, INC. DATED AUGUST 10, 2015.
  2. PLAN ENTITLED, "PROPERTY LINE AND TOPOGRAPHIC SURVEY PLAN IN NEW SHOREHAM, R.I. FOR JUSTIN ABRAMS A.P. 7 LOT 27" PREPARED BY DAVID D. GARDNER & ASSOCIATES, INC. DATED OCTOBER 31, 2014.

**OWNER/APPLICANT:**  
251 SPRING STREET, LLC  
P.O. BOX 298  
BLOCK ISLAND, RI 02887

**UTILITY NOTE:**  
LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.



**TEST HOLE DATA**

TEST HOLE	EXISTING GRADE	DEPTH TO SHGWT	SHGWT ELEV.	HOLE DEPTH	BOTTOM ELEV.
TP-1	24.0	0.0'	24.0	2.5'	21.5
TP-2	22.0	0.0'	22.0	2.5'	19.5
TP-3	27.5	0.83'	26.7	3.75'	23.75
TP-4	29.2	0.83'	28.4	3.33'	25.87
TP-5	33.7	1.0'	32.7	5.0'	28.7
TP-6	30.2	0.0'	30.2	4.0'	26.2

NOTE: NO LEDGE WAS ENCOUNTERED WHEN CONDUCTING SOIL EVALUATIONS.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION #: 22-0132  
DATED: JUN 30 2022  
SEE LETTER OF SAME DATE  
*Martin D. Wemek*

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250 CENTREVILLE ROAD, BUILDING E-12  
NEWRIK, RHODE ISLAND 02886  
WWW.MILLSTONEENG.COM  
TEL: (401) 921-3344

NO.	DATE	REVISION

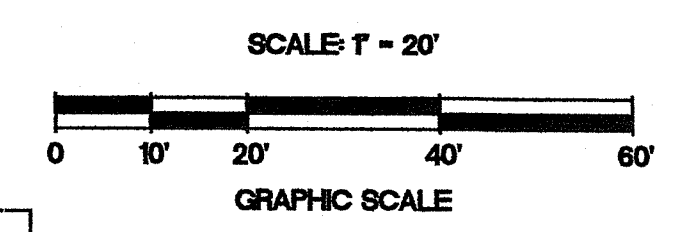
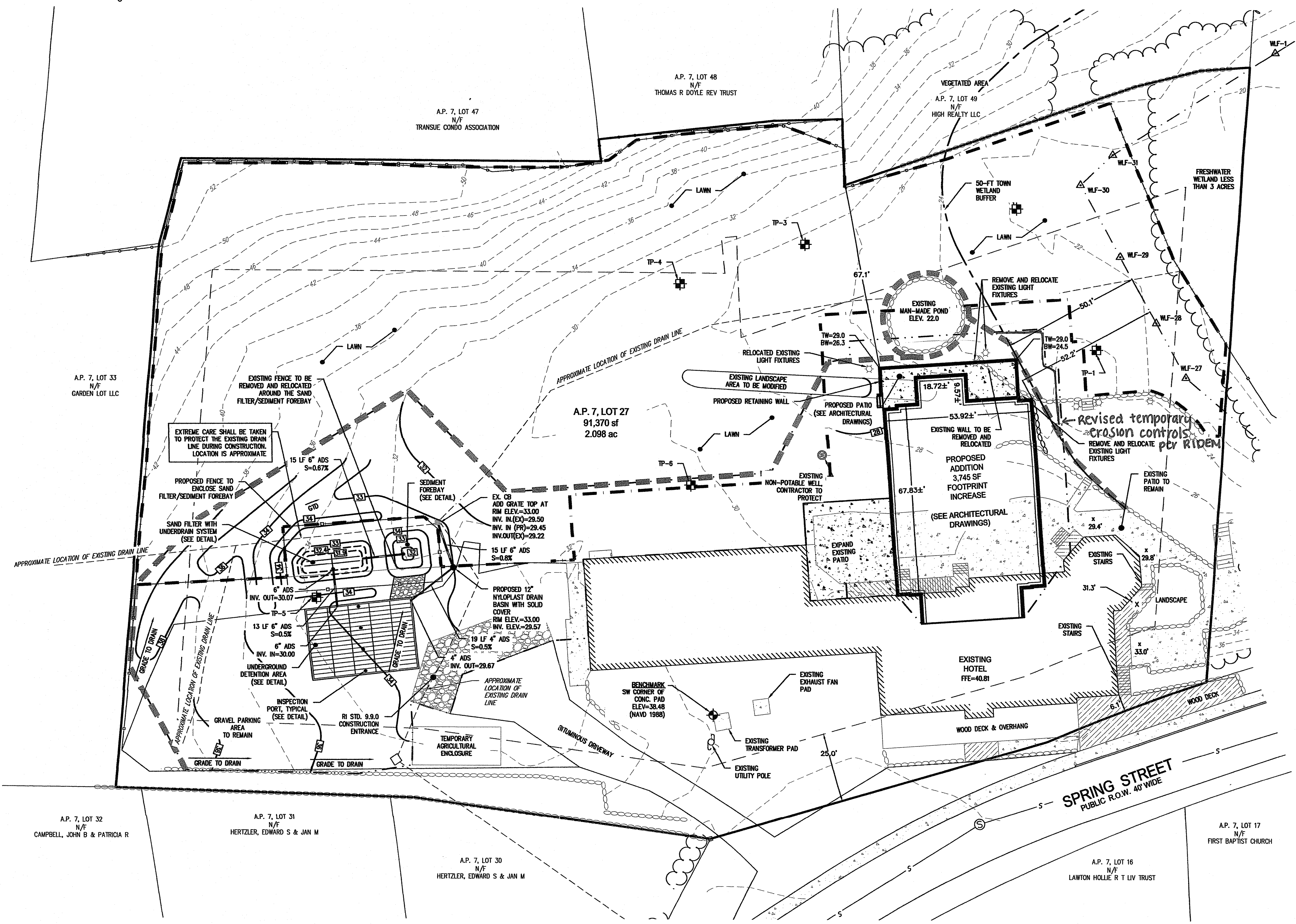
JEFFREY C. HANSON  
No. 523B  
9/12/22  
REGISTERED PROFESSIONAL ENGINEER

**MILLSTONE ENGINEERING, P.C.**  
CIVIL ENGINEERING • LAND PLANNING  
250 CENTREVILLE ROAD, BUILDING E-12  
NEWRIK, RHODE ISLAND 02886  
WWW.MILLSTONEENG.COM  
TEL: (401) 921-3344

**EXISTING CONDITIONS PLAN**  
**HOTEL MANISSES**

A.P. 7, LOT 27  
251 SPRING STREET  
NEW SHOREHAM, RI  
PREPARED FOR:  
251 SPRING STREET LLC  
SCALE 1" = 20'  
APRIL 2022

Drawn By: JSC  
Checked By: BJC  
Sheet  
**2**  
of 6  
FILE NO.: 20.267.596



**PARKING REQUIREMENTS:**

USE	REQUIREMENT	PROVIDED
HOTELS		
GUESTS	1 SPACE PER 3 ROOMS: 34 ADDITIONAL ROOMS / 3 = 11.3	12
EMPLOYEES	1 SPACE PER 10 ROOMS: 34 ADDITIONAL ROOMS / 10 = 3.4	4
TOTAL		16

- NOTE: NOTES:**
- PARKING SPACES SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOW THE ABILITY TO PROVIDE ADEQUATE PARKING ON SITE. THE APPLICANT DOES NOT INTEND TO PHYSICALLY STRIPE THE GRAVEL PARKING LOT.
  - EXISTING HOTEL AND RESTAURANT PREDATES ZONING. PARKING IS PROVIDED FOR THE PROPOSED EXPANSION AND A VARIANCE IS REQUESTED FOR AN EXEMPTION OF PARKING REQUIREMENT FOR THE EXISTING USE.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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 DATED: JUN 3 0 2022  
 SEE LETTER OF SAME DATE

*Justin D. Weneck*

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**OWNER/APPLICANT:**  
 251 SPRING STREET, LLC  
 P.O. BOX 298  
 BLOCK ISLAND, RI 02807

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

**LEGEND:**

- SUBJECT PROPERTY LINE (PER REFERENCE 2)
- SUBJECT PROPERTY SETBACK LINE
- ABUTTING PROPERTY LINE
- ◆ BENCHMARK
- EXISTING CONTOUR LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TOWN WETLAND (PER REFERENCE 1)
- 50-FOOT TOWN WETLAND BUFFER
- EXISTING TREELINE
- EXISTING STONEWALL (PER REFERENCE 1)
- EXISTING FENCE LINE
- EXISTING BUILDING
- EXISTING PATIO
- EXISTING UTILITY POLE
- EXISTING LIGHT FIXTURE
- TEST HOLE
- EXISTING CATCH BASIN
- EXISTING DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- LIMIT OF DISTURBANCE
- SILT SOCK
- SOILS TYPE BOUNDARY
- PROPOSED INLET PROTECTION
- PROPOSED CONTOUR LINE
- PROPOSED BUILDING
- PROPOSED PATIO
- PROPOSED RETAINING WALL
- PROPOSED STONEWALL
- PROPOSED NYLOPLAST DRAIN
- PROPOSED DRAIN LINE
- PROPOSED UNDERGROUND STORMWATER STORAGE
- AREA OF AGRICULTURAL USE

**ZONING:**  
 ZONE: RC/M (RESIDENTIAL C, MIXED)

**DIMENSIONAL REQUIREMENTS:** (SECTION 407: HOTELS)

	REQUIRED (1)	EXISTING	PROPOSED
MINIMUM DEVELOPABLE LAND (2)	80,000 SF	87,452 SF	87,452 SF
MAXIMUM LOT BUILDING COVERAGE			
MAIN BUILDING	15%	8.8%	13.4%
ACCESSORY BUILDINGS	10%	0.5%	0.5%
MAXIMUM LOT COVERAGE	30%	17%	20.7%
FRONTAGE	570 (3)	183.3 FT	183.3 FT (5)
SETBACKS			
FRONT YARD	50 FT (4)	6.1' FT	6.1' FT (5)
SIDE YARD	25 FT	26.0 FT	26.0 FT
REAR YARD	25 FT	143.6 FT	73.0 FT
ORIENTATION	FRONT	FRONT	FRONT
HEIGHT LIMIT	35'	39.7 FT	39.7 FT (5,6)

**NOTES:**

- 407A.3 - NEW STRUCTURE
- PER RIGL 45.23.44
- 300 FEET PER 25 UNITS PLUS 100 ADDITIONAL FEET PER ADDITIONAL 10 UNITS. (300 + (52 ROOMS-25 ROOMS) / 10 \* 100 = 570)
- 50 FT OR SAME AS ADJACENT BUILDINGS WITHIN 500 FEET. SETBACK IS SIMILAR TO NEARBY PROPERTIES.
- NO CHANGE FROM EXISTING CONDITION IS PROPOSED.
- NO CHANGE PROPOSED. BUILDING HEIGHT IS 39.7'. PROPOSED ADDITION MATCHES THE EXISTING ROOF LINE AT 39.7'. SEE ARCHITECTURAL DRAWINGS.

**NOTES:**

- THE SUBJECT LOT IS SERVICED BY PUBLIC WATER AND SEWER. NO OWTS SYSTEMS OR WELLS ARE PROPOSED.
- THIS PLAN INTENDS TO SHOW EXISTING CONDITIONS BASED UPON ON THE GROUND SURVEY. BOUNDARY/PROPERTY LINE INFORMATION IS OBTAINED FROM REFERENCE 1. THIS PLAN IS NOT INTENDED TO BE A PROPERTY SURVEY.

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NO.	DATE	REVISION
1	5/25/22	RIDEM COMMENTS

JEFFREY C. HANSON  
 No. 5238  
 MAY 26 2022  
 Office of Water Resources  
 Environmental Management

**ILLSTONE ENGINEERING, P.C.**  
 CIVIL ENGINEERING • LAND PLANNING  
 250 Centerville Road, Building E-12  
 Warwick, Rhode Island 02886  
 www.illstoneeng.com  
 P. (401) 921-3344  
 F. (401) 921-3303

**SITE, GRADING & DRAINAGE PLAN**

**HOTEL MANISSES**

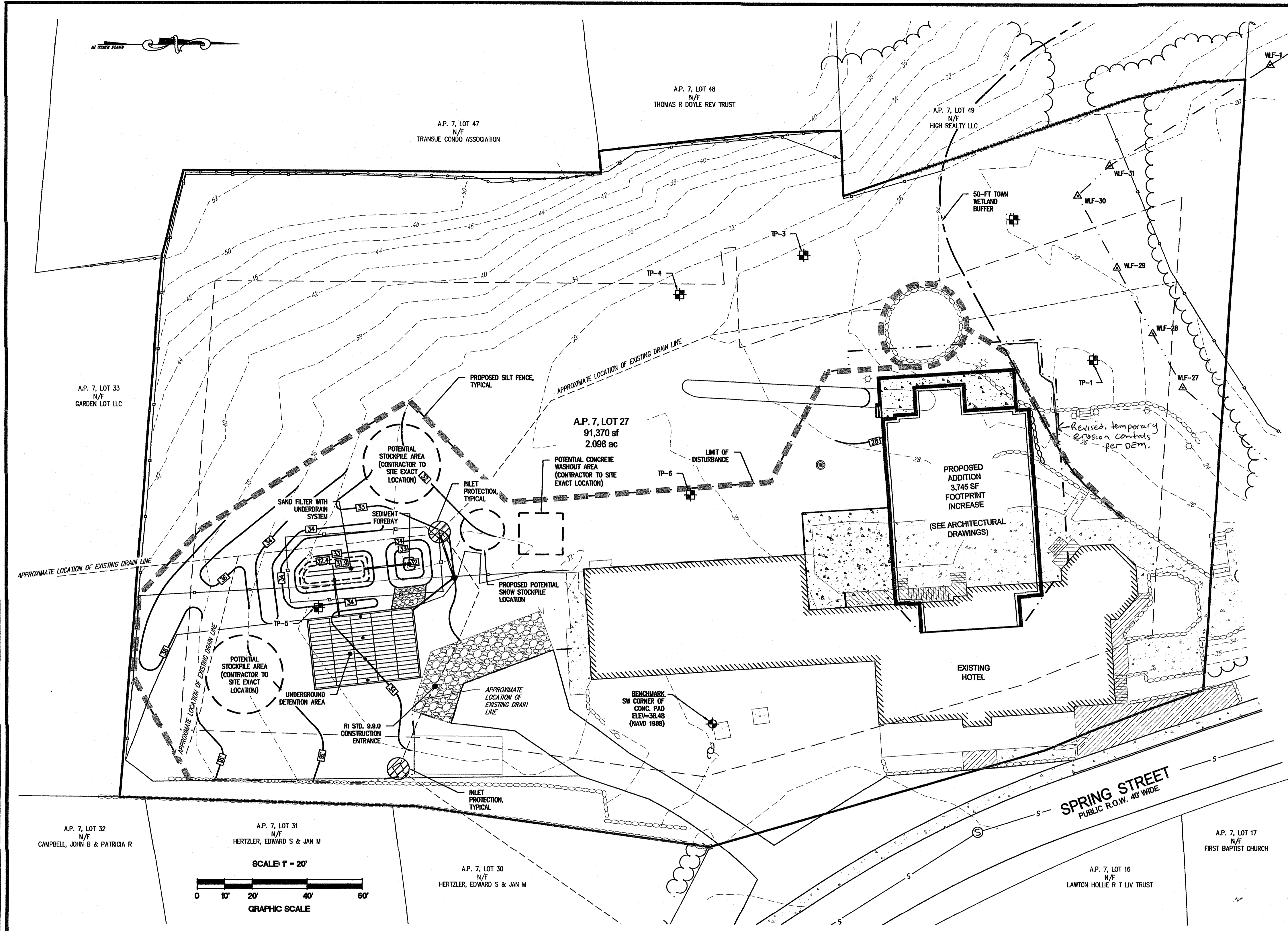
A.P. 7, LOT 27  
 251 SPRING STREET  
 NEW SHOREHAM, RI

PREPARED FOR:  
 251 SPRING STREET LLC

SCALE 1" = 20'  
 APRIL 2022

Drawn By: JSC  
 Checked By: BJC  
 Sheet 3 of 6  
 FILE NO.: 20.267.596

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**LEGEND:**

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---	SUBJECT PROPERTY SETBACK LINE
---	ABUTTING PROPERTY LINE
+	BENCHMARK
---	EXISTING CONTOUR LINE
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---	PROPOSED DRAIN LINE
---	PROPOSED UNDERGROUND STORMWATER STORAGE

Environmental Management  
 MAY 26 2022  
 Office of Water Resources

JEFFREY C. HANSON  
 No. 5238  
 PROFESSIONAL ENGINEER

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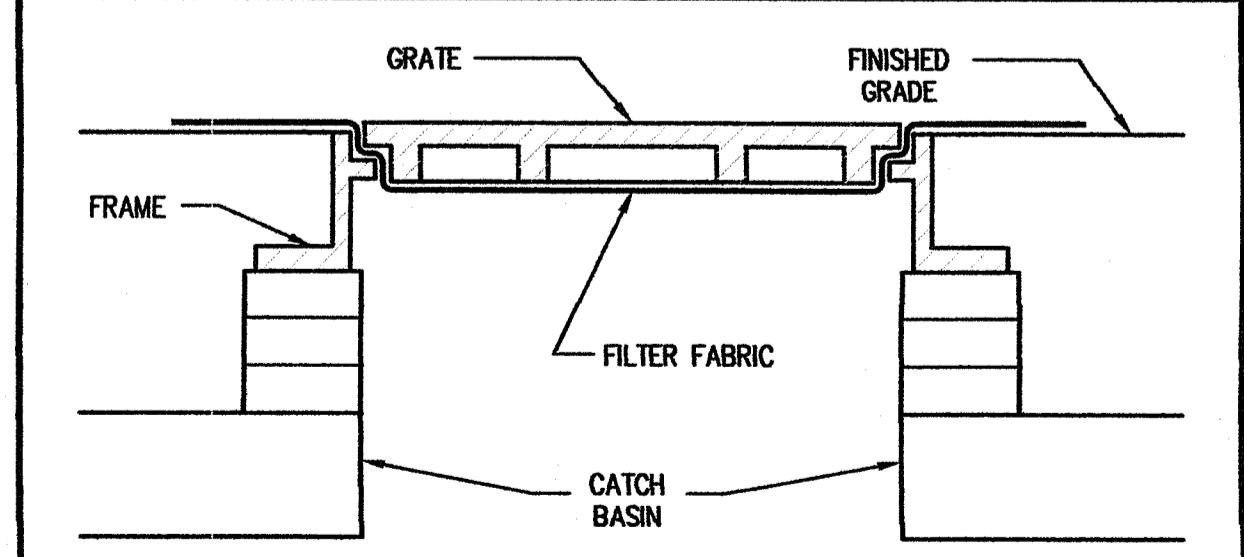
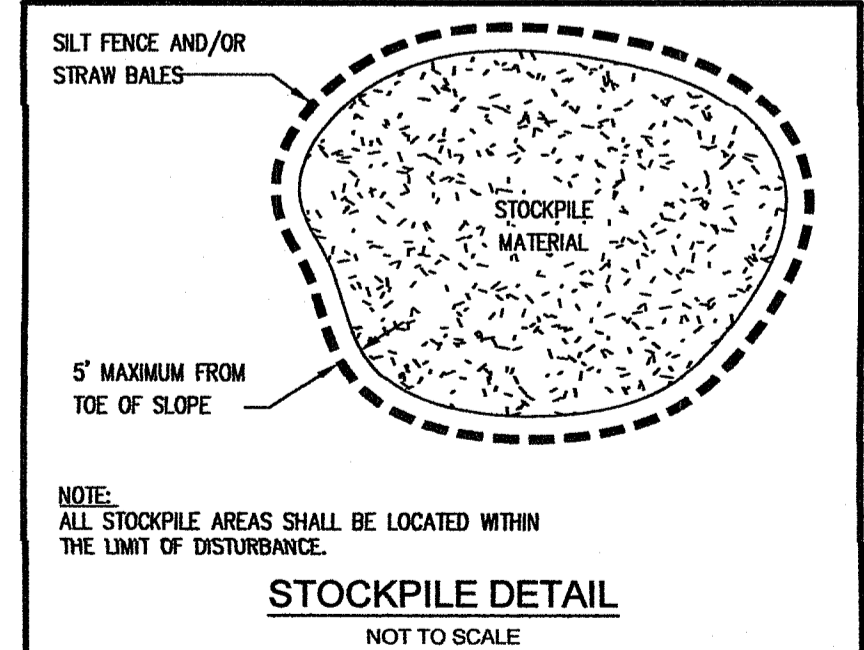
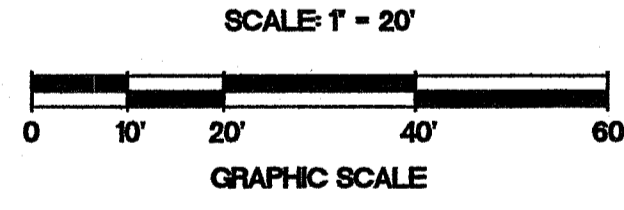
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 DATED: JUN 30 2022  
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*Martin D. Senek*

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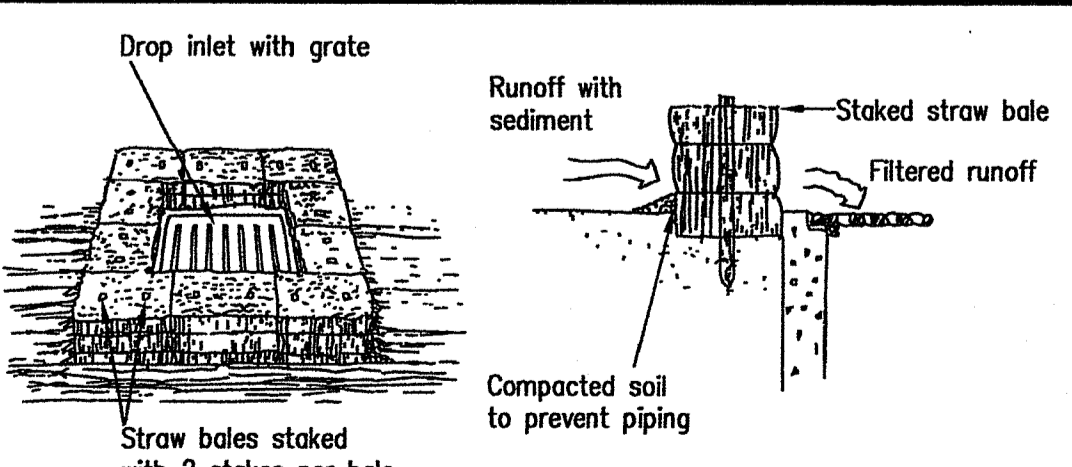
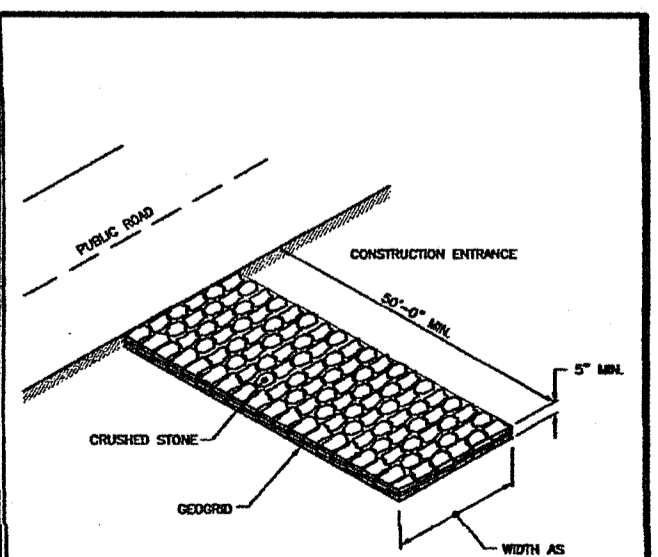
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  3. THE PROJECT CONSTRUCTION SEASON IS FROM 10/15/2022 THROUGH 06/30/2023.

- REFERENCES:**
1. PLAN ENTITLED, "PLAN OF SURVEY 'MANISSES HOTEL' IN NEW SHOREHAM, R.I. FOR BLOCK ISLAND RESORTS INC. A.P. 7 LOT 27" PREPARED BY DAVID D. GARDNER & ASSOCIATES, INC. DATED AUGUST 10, 2015.
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**OWNER/APPLICANT:**  
 251 SPRING STREET, LLC  
 P.O. BOX 298  
 BLOCK ISLAND, RI 02807



**MAINTENANCE NOTE:**  
 CATCH BASIN FILTER FABRIC SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT AND REPLACED AS NECESSARY. AT THE SAME TIME THE CATCH BASIN SUMP SHALL BE CLEANED OF ACCUMULATED DEBRIS, IF NECESSARY. UNDER NO CIRCUMSTANCES SHALL THE FILTER FABRIC BE PUNCTURED.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

**NOTE PER DEM:**  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**HOTEL MANISSES**

A.P. 7, LOT 27  
 251 SPRING STREET  
 NEW SHOREHAM, RI

PREPARED FOR:  
 251 SPRING STREET LLC

SCALE 1" = 20'  
 APRIL 2022

Drawn By: JSC  
 Checked By: BJC

Sheet

4  
 of 6

FILE NO.: 20.267.596

**GENERAL NOTES:**

- THE MOST CURRENT EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS. IN ADDITION, THE TOWN OF NEW SHOREHAM STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT, AND THE TOWN OF NEW SHOREHAM PRIOR TO COMMENCING ANY WORK.
- CONTRACTOR TO EXCAVATE TEST PITS TO CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLANDS, OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED UPON INFORMATION PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) FOR WASHINGTON COUNTY, PANEL NUMBER 4409C0366, MAP REVISED OCTOBER 16, 2013.
- VERTICAL DATUM: 1988
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR SHALL RECORD AND PROVIDE AS-BUILT DRAWINGS IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS FOR ALL NEW INFRASTRUCTURE AND PROVIDE THE TOWN OF NEW SHOREHAM WITH AS-BUILTS OF THE STORMWATER MANAGEMENT SYSTEM, SEWER SYSTEM, AND WATER SYSTEM.

**CONSTRUCTION SEQUENCE / NARRATIVE**

- OBTAIN APPLICABLE PERMITS.
- NOTIFY ALL APPROPRIATE STATE, REGIONAL AND TOWN DEPARTMENTS PRIOR TO THE START OF CONSTRUCTION.
- BEGIN CONSTRUCTION.
- CONSTRUCT RI STD 9.9.0 CONSTRUCTION ACCESS (ES).
- INSTALL SILT FENCE / SILT SOCK / STAKED STRAWBALE LINE.
- CLEAN, GRUB, AND STOCKPILE TOPSOIL (IF REQUIRED).
- EXCAVATE / PLACE COMPACTED FILL IN ACCORDANCE WITH THE GRADING PLAN.
- INSTALL PROPOSED STORM DRAINAGE SYSTEM, WORK DOWNSTREAM TO UPSTREAM. PLACE INLET PROTECTION WHERE REQUIRED.
- FINE GRADE, SPREAD TOPSOIL, SEED AND STABILIZE EXPOSED EARTH.
- CLEAN / FLUSH STORM DRAINAGE SYSTEM.
- ONCE SEEDS GERMINATE AND EARTH IS STABILIZED, REMOVE SILT FENCE / STRAW BALE LINE AND INLET PROTECTION.
- END CONSTRUCTION.

**SEDIMENTATION CONTROL PROGRAM:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORMWATER FLOWAGE.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
  - THE INSTALLATION OF A CONTINUOUS LINE OF STAKED STRAWBALES, SILT FENCE, OR SIMILAR IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
  - ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
  - CATCH BASINS SHALL BE PROTECTED WITH STRAWBALE OR SILT SACK FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS ARE TO BE CLEANED IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
  - OUTFALLS SHALL BE PROTECTED BY STRAWBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
  - ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.

**EROSION CONTROL AND SOIL STABILIZATION PROGRAM:**

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
- TEMPORARY TREATMENTS SHALL CONSIST OF STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL STRAWBALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS, RIP-RAP OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.18.02.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING NATIVE GRASS MIX:
 

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREEFOIL	15
PERENNIAL RYEGRASS	10
APPLICATION RATE	100 LBS/ACRE
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%), SHALL ALSO BE SEEDED AND/OR STABILIZED AND SHALL BE COMPLETELY ENCLOSED WITH STAKED HAY BALES AND/OR SILT FENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- ALL PROPOSED PLANTINGS AND PLACEMENT OF RIP-RAP MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL DISTURBED AREAS MUST BE SEEDED, PLANTED OR RIP-RAPPED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE COMPLETED WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDED, PLANTED OR RIP-RAPPED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDED.

**BMP CONSTRUCTION SEQUENCES:**

**GENERAL:**

- ONCE THE ENTIRE SITE IS STABILIZED ALL SESC MEASURES SHALL BE REMOVED.
- THE DESIGN SEED MIX FOR ALL PERMANENT STORMWATER BMP'S SHALL BE COMPRISED OF THE FOLLOWING AND PLANTED IN A MINIMUM OF A 6" DEPTH OF SANDY LOAM FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS:
- | TYPE                | % BY WEIGHT  |
|---------------------|--------------|
| CREeping RED FESCUE | 70           |
| KENTUCKY BLUEGRASS  | 15           |
| TALL FESCUE         | 15           |
| APPLICATION RATE    | 100 LBS/ACRE |
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

**SAND FILTERS:**

- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN.
- INSTALL WATERPROOF LINER.
- INSTALL 6" OF SAND AND ROTO-TILL TO MIX INTO THE SUBSOIL INTERFACE.
- SAND FILTER SAND SHALL BE ASTM C33 CONCRETE SAND.
- INSTALL REMAINDER OF SAND.
- INSTALL NON-WOVEN GEOTEXTILE.
- LOAM AND SEED PER DETAILS WITH PERMANENT SEED MIXTURE & DRAINS.

**UNDERGROUND CHAMBERS:**

- EXCAVATE TO THE LINES AND GRADES OF THE DESIGN.
- PLACE CHAMBERS PER DETAIL.
- REPLACE GRAVEL PARKING LOT SURFACE.

**CONSTRUCTION MAINTENANCE:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON THE SITE DURING CONSTRUCTION AND FOR A MAXIMUM OF ONE (1) YEAR FOLLOWING COMPLETION OF CONSTRUCTION, AT WHICH TIME THE DRAINAGE STRUCTURES AND APPURTENANCES ARE TO BE ACCEPTED BY THE ENGINEER AND THE OWNER, AS FOLLOWS:
- ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE CLEANED OF SEDIMENT, STORMWATER BASINS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED ON THE CONSTRUCTION DRAWINGS.
  - INSPECTION OF THE BASINS AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED ON A WEEKLY BASIS, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
  - GRASSES MUST BE PLANTED AROUND AND WITHIN THE STORMWATER BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
  - SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION.
  - ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE PROPERTY OWNER UPON ACCEPTANCE.
  - ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM.
  - ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY DAILY, INCLUDING INLET AND OUTLET STRUCTURES.
  - REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY DURING CONSTRUCTION SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS.
  - WATER SHALL BE USED TO MOISTEN EXPOSED SOIL SURFACES PERIODICALLY. AN ADEQUATE AMOUNT SHOULD BE USED TO CONTROL DUST.

**POLLUTION PREVENTION PLAN:**

**GENERAL:**

LONG-TERM MANAGEMENT OF THE POLLUTION PREVENTION PLAN SHALL BE THE RESPONSIBILITY OF THE OWNER / OPERATOR.

OWNER: 251 SPRING STREET, LLC  
PO BOX 298  
BLOCK ISLAND, RI 02807

THE CONTRACTOR SHALL MANAGE THE POLLUTION PREVENTION PLAN DURING THE CONSTRUCTION PROCESS.

**CONTRACTOR: TBD**

**SOLID WASTE CONTAINMENT:**

- TRASH RACKS WHERE PRACTICAL SHALL BE INSTALLED AND MAINTAINED ON ALL INLET STRUCTURES WITHIN THE DRAINAGE SYSTEM. INSPECTIONS FOR TRASH SHOULD BE ON A WEEKLY BASIS.
- TRASH RECEPTACLES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT.
- STREET SWEEPING SHALL BE PERFORMED ON AN ANNUAL BASIS.
- PET WASTE DISPOSAL STATIONS SHALL BE PROVIDED WHERE APPLICABLE.

**SNOW DISPOSAL AND DEICING:**

- NO SAND AND DEICING MATERIALS SHALL BE STORED ON THE SITE.
- SNOW REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH RIDEM'S SNOW DISPOSAL POLICY.

**DRIVEWAY AND PARKING LOT SEALANTS:**

- ON STANDARD ASPHALT AREAS, ONLY ASPHALT BASED SEALANTS ARE ALLOWED, NO COAL-TAR BASED SEALANTS SHALL BE USED ON THIS SITE.

**HAZARDOUS MATERIALS CONTAINMENT:**

- NO HAZARDOUS MATERIALS SHALL BE STORED OUTSIDE TO AVOID EXPOSURE TO STORMWATER.

**LANDSCAPE MANAGEMENT:**

- GRASS CLIPPINGS FROM LAWN CARE PROCEDURES IN AND AROUND THE STORMWATER FACILITY MUST BE COLLECTED AND DISPOSED OF OFF SITE.
- LAWN HEIGHTS WITHIN THE BMP'S SHALL BE KEPT AT A 4-6" HEIGHT.
- FERTILIZER AND WATERING DEMANDS SHOULD BE HAVE PROFESSIONAL OVERSIGHT AND BOTH USES MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL. PHOSPHATE-BASED FERTILIZERS ARE PROHIBITED FROM BEING USED ON-SITE.

**LONG-TERM MAINTENANCE SCHEDULE (O&M):**

LONG-TERM MAINTENANCE OF THE DRAINAGE SYSTEM SHALL BE COMPLETED BY THE APPLICANT/OPERATOR UNDER A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT.

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THE CONTRACTOR / OPERATOR SHALL MAINTAIN ALL DRAINAGE COMPONENTS DURING AND DIRECTLY AFTER CONSTRUCTION. ALL OPERATIONAL MAINTENANCE REQUIREMENTS WILL BE RECORDED ON THE TITLE

**OPERATOR / CONTRACTOR: TBD**

THE ENTIRE STORMWATER SYSTEM SHALL BE INSPECTED THROUGHOUT THE CONSTRUCTION PROCESS AND REPORTED ON THE ATTACHED CONSTRUCTION INSPECTION REPORTING FORMS.

THE ENTIRE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED ON A BI-ANNUAL BASIS FOR GENERAL PROBLEMS AND TO ENSURE PROPER FUNCTION AND AFTER STORM EVENTS GREATER THAN OR EQUAL TO THE 1-YR, 24-HR TYPE III PRECIPITATION EVENT (2.8"). THESE INSPECTIONS SHALL BE REPORTED ON THE ATTACHED O&M INSPECTION REPORTING FORMS.

ALL INSPECTIONS REPORTS SHALL BE KEPT ON FILE WITH THE STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN.

**SEDIMENT FOREBAY:**

- THE SLOPES SHOULD BE INSPECTED FOR EROSION AND GULLYING.
- STONE SHOULD BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED.
- INSPECT ALL STRUCTURAL COMPONENTS, SUCH AS TRASH RACKS, ACCESS GATES, VALVES, PIPES, WEIRS, WALLS, ORIFICE STRUCTURES AND SPILLWAY STRUCTURES FOR DEFECTS. IF ANY ARE FOUND, THEY AND ANY MUST BE REPAIRED IMMEDIATELY.
- INSPECT FOR SEDIMENT ACCUMULATION AND IT SHOULD BE REMOVED IF IT REACHES 9" OR 25% OF THE STORAGE VOLUME.
- MOW GRASSES TO MAINTAIN A 4-6" STRONG STAND OF TURF AND MOW IMMEDIATELY SHOULD IT REACH 10". ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- NO WOODY GROWTH SHOULD EVER BE ALLOWED TO REMAIN IN AND AROUND THE FOREBAY.
- AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY.
- INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED.

**SAND FILTER:**

- THE FACILITY SHOULD BE INSPECTED ANNUALLY TO ENSURE INFILTRATION RATES ARE BEING MET. IF STANDING WATER IS OBSERVED FOR MORE THAN 48 HRS AFTER A RAIN EVENT THE TOP 6" SHOULD BE ROTOTILLED AND ANY COMPACTED SOILS SHOULD BE REMOVED. IF THIS DOESN'T SOLVE THE PROBLEM THE TOP 6" OF THE SAND FILTER SHALL BE REMOVED AND REPLACED.
- RRIPRAP SHOULD BE REINFORCED IF EROSION IS PRESENT AT OUTFALLS OR IF IT HAS BEEN COMPROMISED.
- MOW GRASSES TO MAINTAIN A 4-6" STRONG STAND OF TURF. ALL CLIPPINGS SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
- NO WOODY GROWTH SHOULD EVER BE ALLOWED TO REMAIN IN AND AROUND THE FILTER.
- AREAS OF EROSION OR DISTURBANCE SHALL BE RE-ESTABLISHED IMMEDIATELY.
- INLETS AND OUTLETS SHALL BE CLEARED OF DEBRIS AS NEEDED.

**UNDERGROUND STORAGE/RETENTION:**

- THE SYSTEM SHOULD BE INSPECTED AT A MINIMUM OF ONE TIME A YEAR OR AFTER MAJOR RAIN EVENTS IF NECESSARY.
- LOCATE THE INSPECTION PORT AND REMOVE THE LID.
- MEASURE THE SEDIMENT BUILDUP AT EACH INSPECTION PORT. ONLY CERTIFIED CONFINED SPACE ENTRY PERSONNEL HAVING APPROPRIATE EQUIPMENT SHOULD BE PERMITTED TO ENTER THE SYSTEM.
- INSPECT EACH MANIFOLD, ALL LATERALS, AND OUTLET PIPES FOR SEDIMENT BUILDUP, OBSTRUCTIONS OR OTHER PROBLEMS.
- IF MEASURED BUILDUP IS BETWEEN 0.6" AND 2.4", CLEANING SHOULD BE CONSIDERED; IF SEDIMENT BUILDUP EXCEEDS 2.4", CLEANING SHOULD BE PERFORMED AT THE EARLIEST OPPORTUNITY. A THOROUGH CLEANING OF THE SYSTEM (MANIFOLDS AND LATERALS) SHALL BE PERFORMED BY EITHER MANUAL METHODS OR BY A VACUUM TRUCK.

**ESTIMATED O&M BUDGET & FUNDING SOURCE:**

- THE PROJECT OPERATOR WILL BE THE OWNER AND HE SHALL BE RESPONSIBLE FOR FUNDING THE O&M BUDGET.

**ESTIMATE OF O&M BUDGET:**

BI-ANNUAL INSPECTIONS:	\$1000 EA x 2	\$2,000
BI-WEEKLY MOWING:	\$200 EA x 13	\$2,600
MISC. REPAIRS:	\$1,000	\$1,000
TOTAL ESTIMATE:		\$5,600 / YR

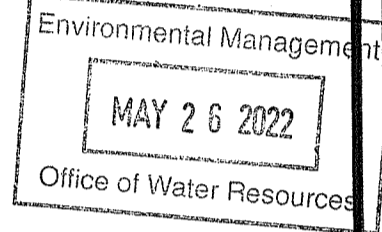
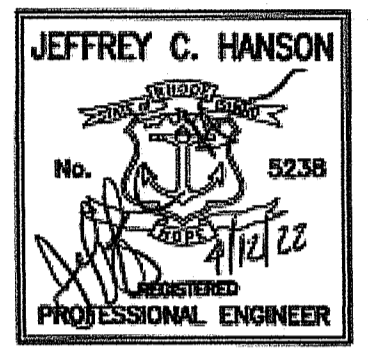
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION #: 22-0132  
DATED: JUN 30 2022  
SEE LETTER OF SAME DATE

*Martin D. Senack*

**OWNER/APPLICANT:**

251 SPRING STREET, LLC  
P.O. BOX 298  
BLOCK ISLAND, RI 02807

NO.	DATE	REVISION



**ILLSTONE ENGINEERING, P.C.**  
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**NOTES SHEET**

**HOTEL MANISSES**

A.P. 7, LOT 27  
251 SPRING STREET  
NEW SHOREHAM, RI

PREPARED FOR:  
251 SPRING STREET  
LLC

SCALE 1" = 20'  
APRIL 2022

Drawn By: JSC  
Checked By: BJC  
Sheet

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of 6

FILE NO.: 20.267.596

