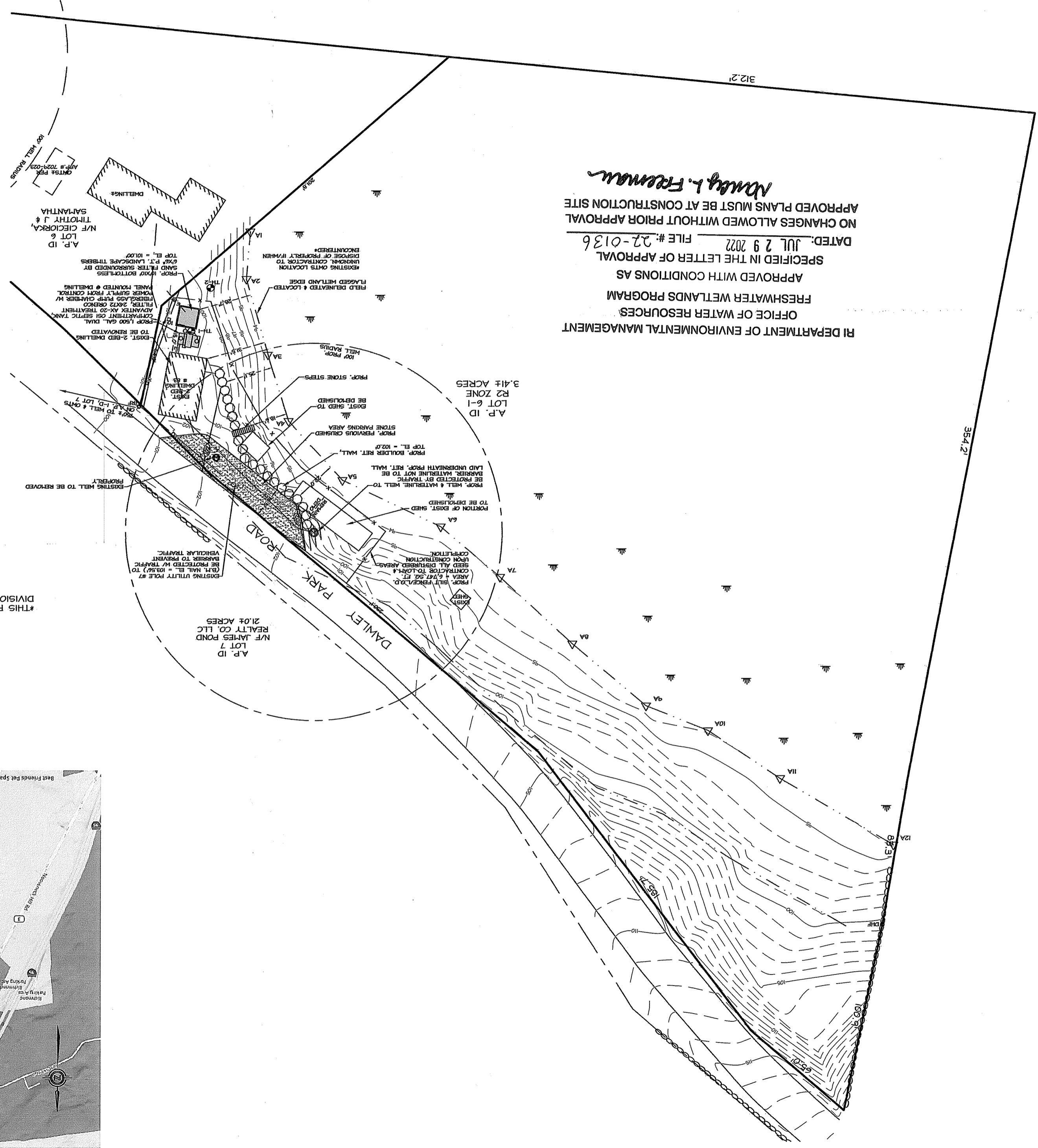


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 FILE # 22-0136  
 DATED: JUL 29 2022  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

## PLAN VIEW

SCALE: 1"=40'

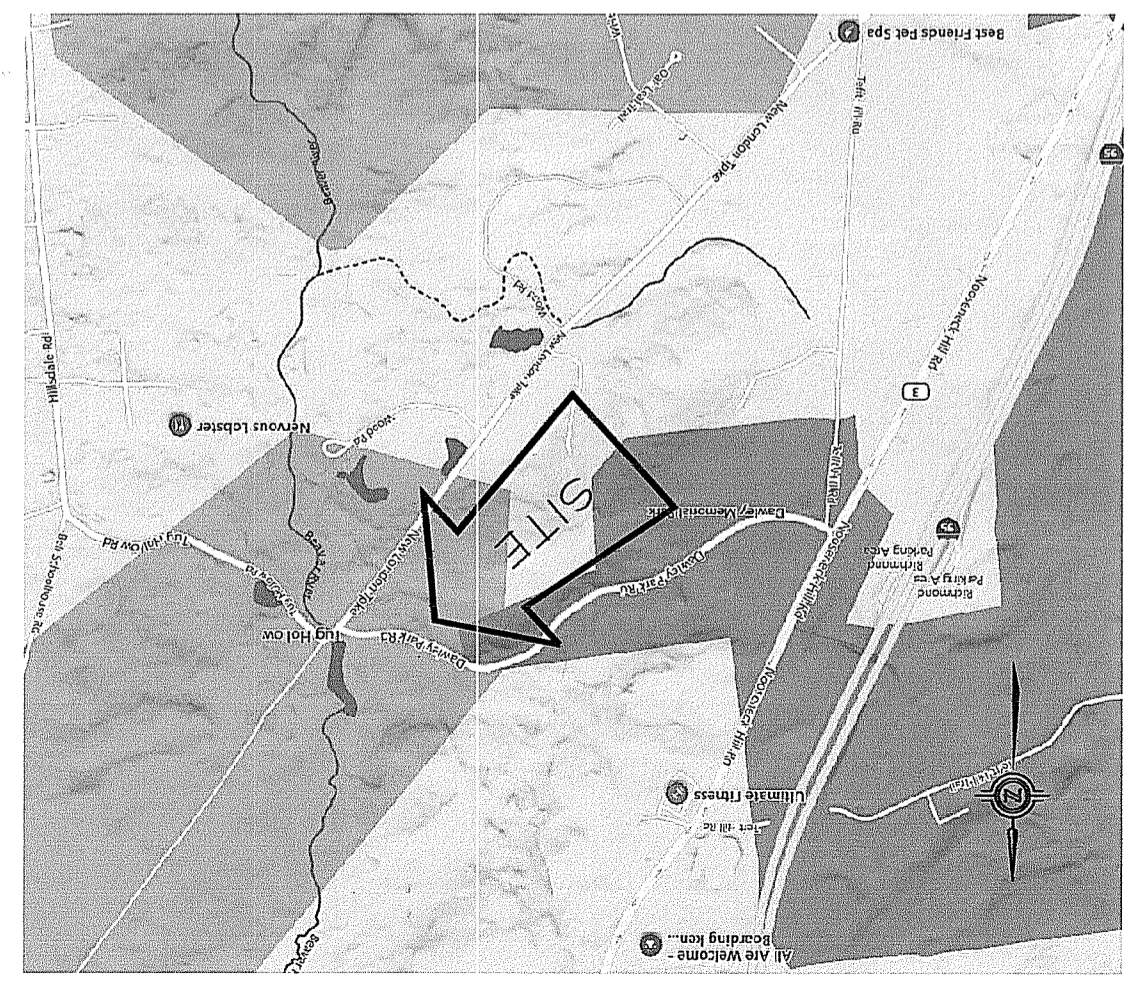


## LEGEND

- SRF □ Stone Bound Found
- SEBHF □ Stone Bound Drillhole Found
- REF ○ Iron Rod Found
- U.P. 460 ○ Utility Pole
- Water Shutoff
- Drillhole Found
- Cesspool/Septic Tank Lid
- Well
- Stone Wall
- Property Line
- Approx. Property Line
- Prop. Silt Fence
- Contour (Assumed Datum)
- EXISTING WATERLINE+
- EXISTING ELECTRICAL+
- EXISTING TREELINE
- SOIL EVALUATION
- TH-2
- EXISTING FENCINGLINE
- Proposed Contour Management
- RI Environmental Management

\*THIS PLAN WAS PRODUCED AT THE REQUEST OF RIDEM WETLANDS DIVISION FOR A DEPICTION OF THE PROPERTY IN ITS ENTIRETY.\*

## LOCUS MAP



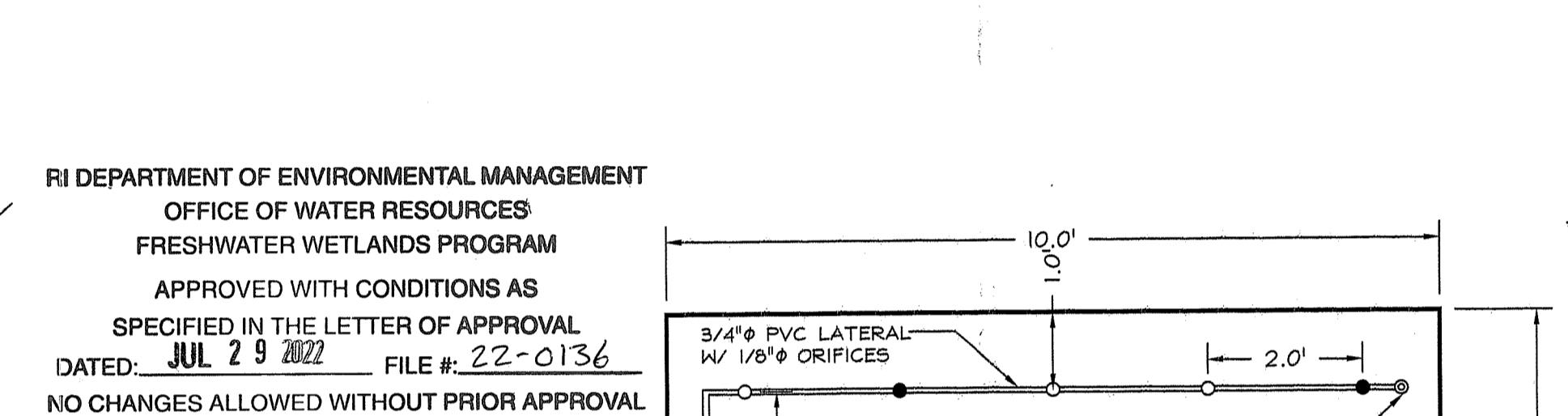
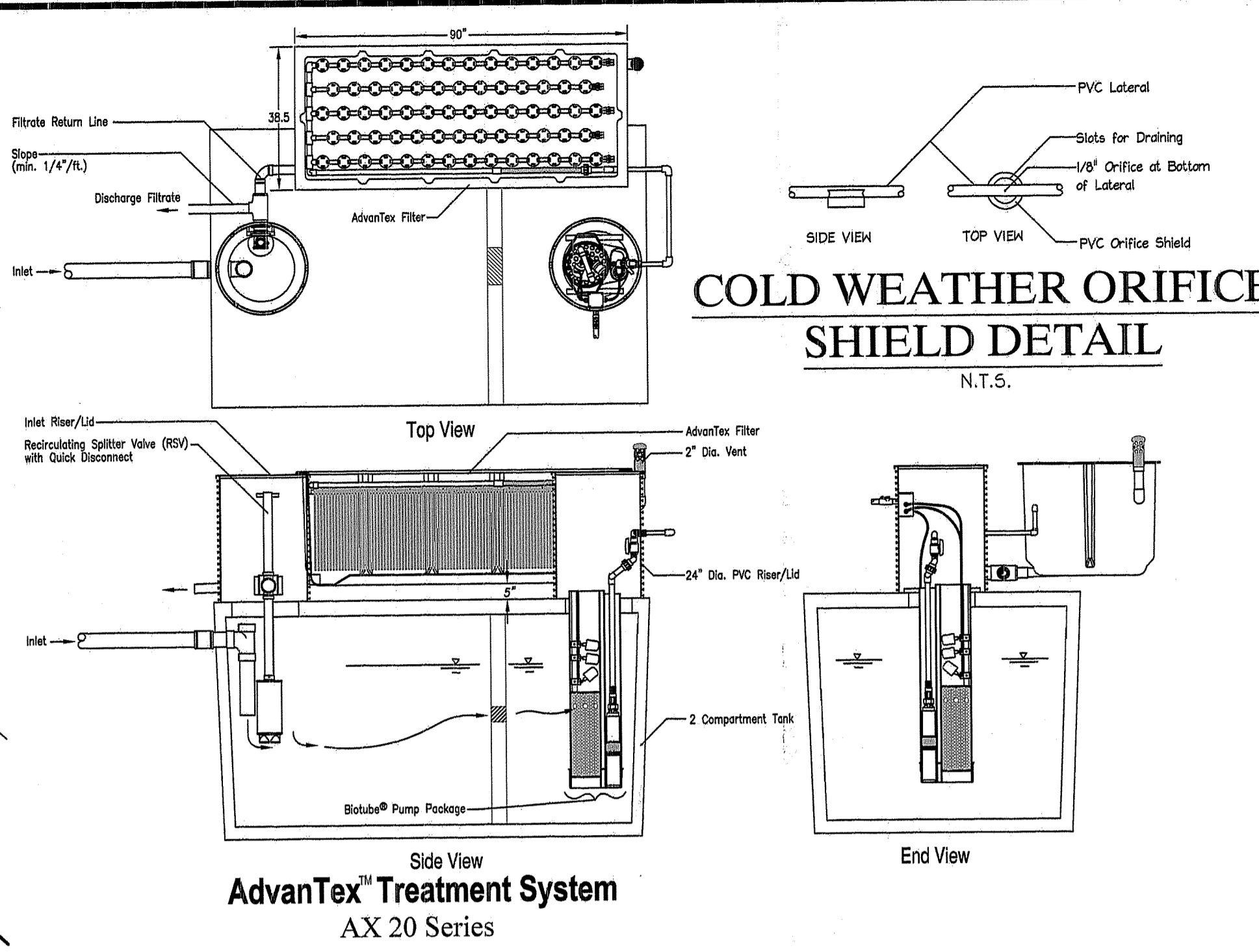
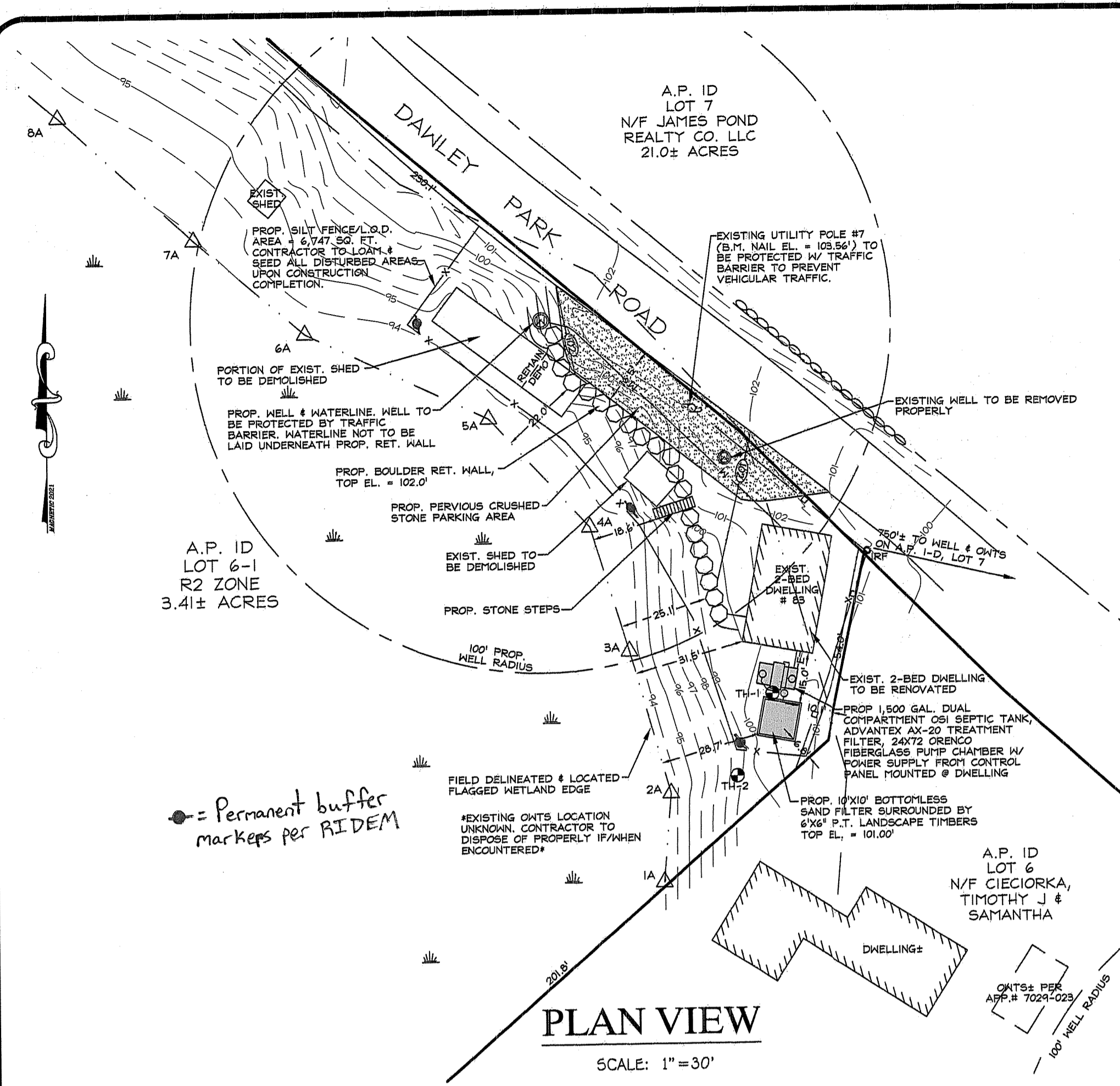
REVISION:  
 DATE: APRIL 2022  
 DRAWN BY: KRC  
 SCALE: 1"=40'  
 SHEET 1 OF 2 SHEETS  
 JOB NO.: TABLA  
 DWG.: TABLA-OVERALL

**ATLAS LAND SURVEYING, LLC**  
 Property & Construction Surveying & Mapping  
 91 Parkway Drive ~ Warwick, RI 02886  
 www.atlaslandsurveying.com  
 401-737-4407

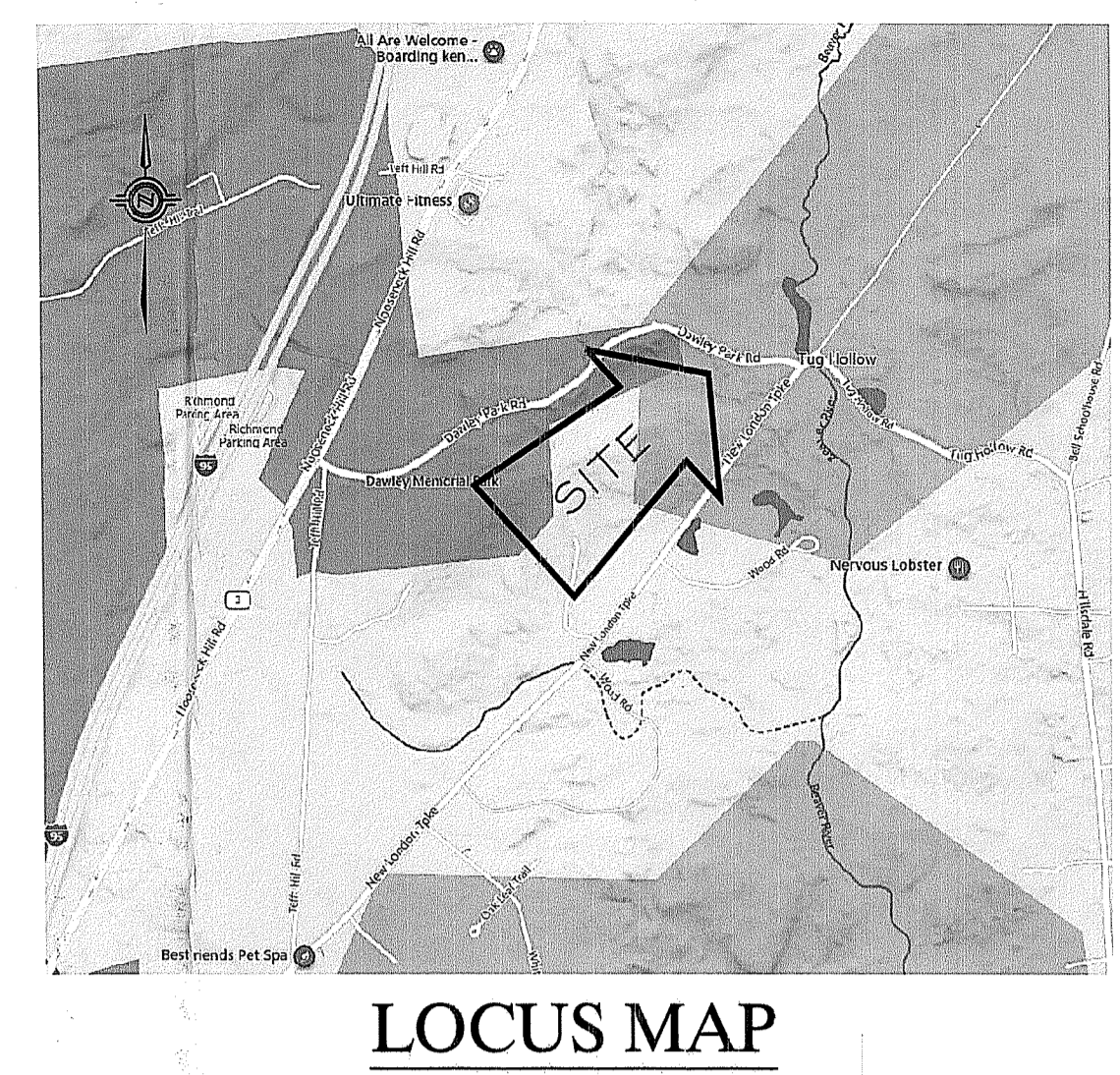
**MARCUS CHANNALL**  
 No. 1971  
 PROFESSIONAL LAND SURVEYOR

**OWTS ALTERATION DESIGN  
 OVERALL SITE PLAN**  
 A.P. 1-D, LOT 6-1  
 83 DAWLEY PARK ROAD  
 RICHMOND, RHODE ISLAND  
 Prepared For:  
 PRACHY ANN REYES

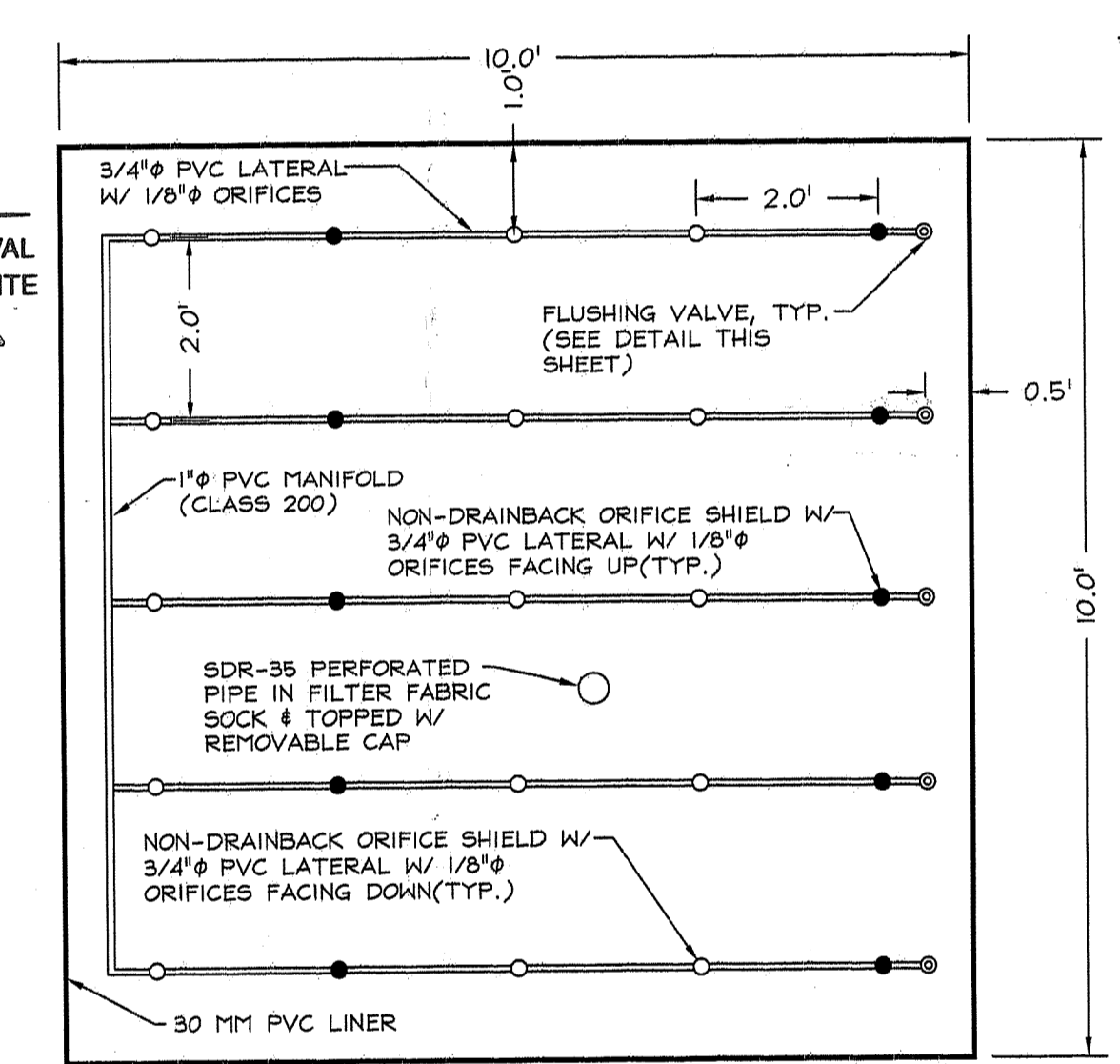
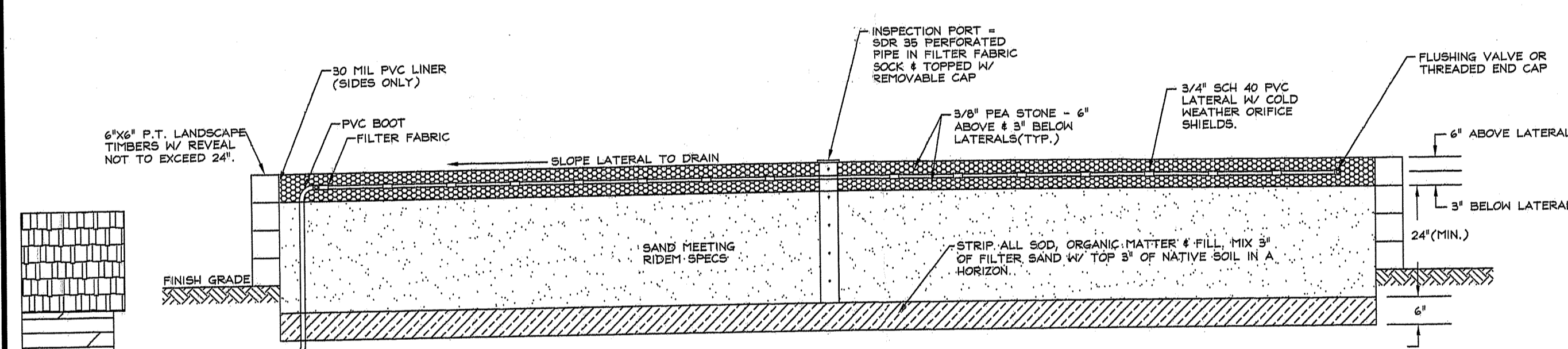
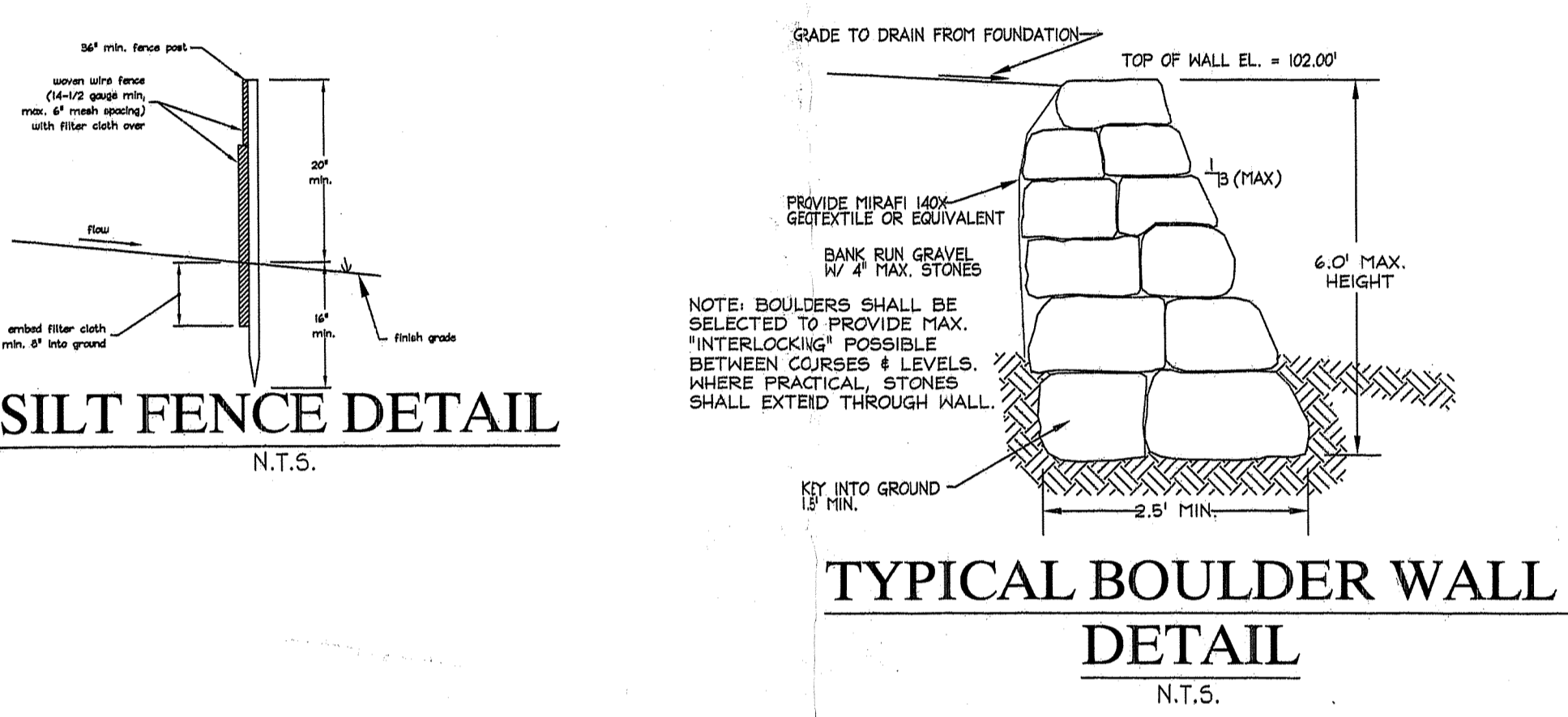
ATLAS LAND SURVEYING, LLC. COPYRIGHTED MATERIALS 2022



- LEGEND**
- STONE BOUND FOUND
  - STONE BOUND DRILLHOLE FOUND
  - IRON ROD FOUND
  - UTILITY POLE
  - WATER SHUTOFF
  - DRILLHOLE FOUND
  - CESSPOOL/SEPTIC TANK LID
  - WELL
  - STONE WALL
  - PROPERTY LINE
  - APPROX. PROPERTY LINE
  - PROP. SILT FENCE
  - CONTOUR (ASSUMED DATUM)
  - EXISTING WATERLINE
  - EXISTING ELECTRICLINE
  - EXISTING TREELINE
  - SOIL EVALUATION
  - EXISTING FENCELINE
  - PROPOSED CONTOUR

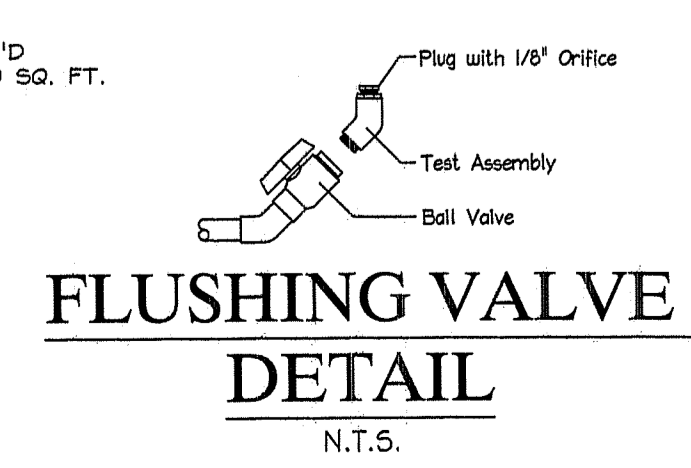
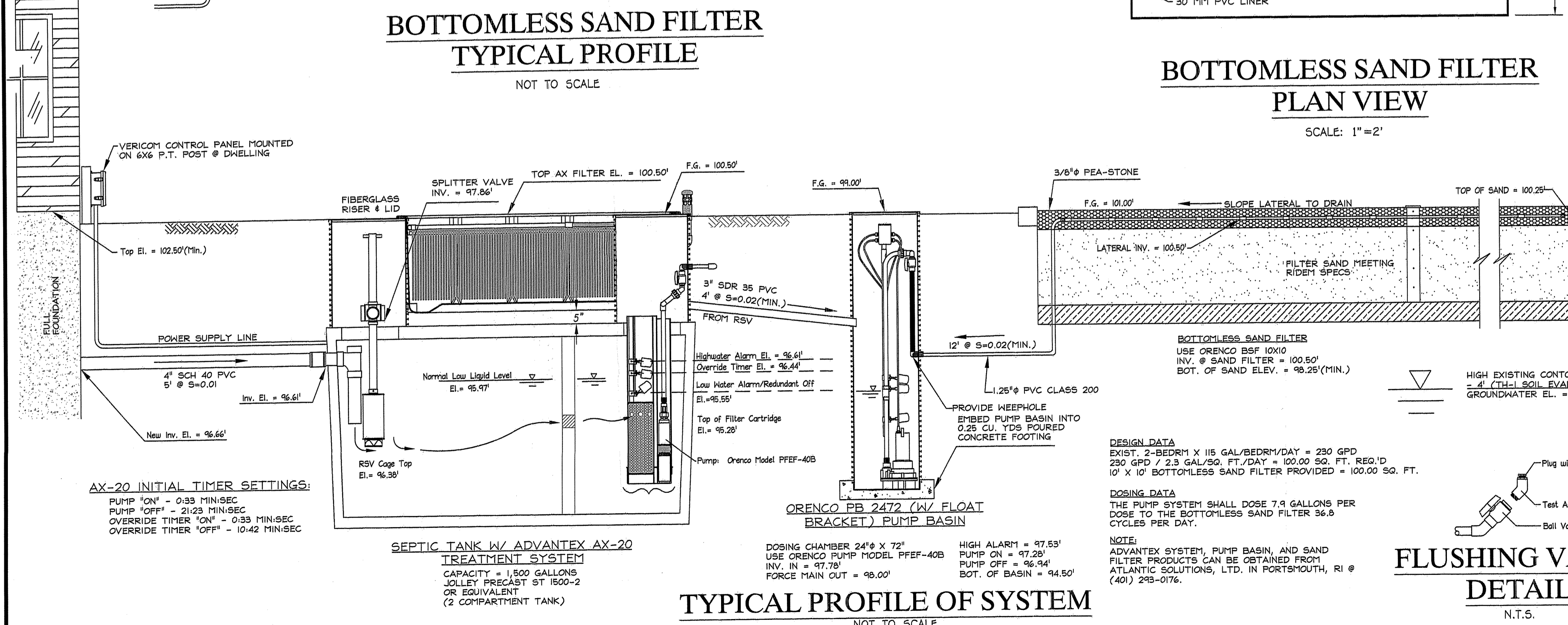


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: **JUL 29 2022** FILE # **22-0136**  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

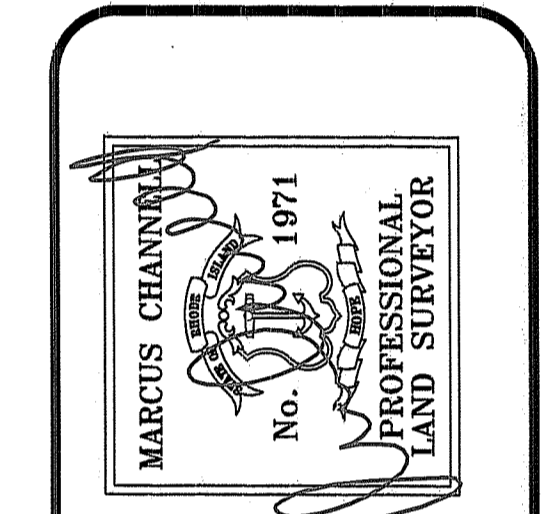


- OWTS GENERAL NOTES:**
- THE PROPERTY "IS NOT" SUBJECT TO RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL REVIEW.
  - ALL PRIVATE AND PUBLIC DRINKING WATER LINES WITHIN 50 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN.
  - THERE ARE NO PUBLIC SEWERS AVAILABLE TO THE PROPERTY WITHIN 200 FEET UNLESS NOTED ON SITE PLAN.
  - ALL EXISTING AND PROPOSED PRIVATE DRINKING WATER WELLS, 1/0R THERE RADI, ARE SHOWN WITHIN 200' OF THE PROPOSED OWTS COMPONENTS SHOWN ON THIS PLAN.
  - ALL EXISTING AND PROPOSED WELLS SERVING NON-POTABLE USES WITHIN 100 FEET OF THE OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN.
  - ALL EXISTING AND PROPOSED PUBLIC DRINKING WATER WELLS WITHIN 500 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN. THE CONSTRUCTION DETERMINATION OF SAID WELLS IS IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
  - ALL WATERCOURSES, WETLANDS, AND DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN.
  - ALL STORM AND SUBSURFACE DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN. THE ULTIMATE DISCHARGE OF SAID DRAINS ARE IDENTIFIED ON THE SITE PLANS.
  - THE OWTS "IS NOT" LOCATED WITHIN THE WATERSHED OF A PUBLIC WATER SUPPLY OR OTHER CRITICAL RESOURCE AREA.
  - ALL EXISTING OWTS ON ABUTTING PROPERTIES WITHIN 200 FEET OF A PROPOSED WELL TO SERVICE THE SUBJECT PROPERTY ARE IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN AN IDENTIFIED FLOOD ZONE.
  - IF A PROPOSED WELL IS REQUIRED TO SERVICE THE WATER REQUIREMENTS FOR THE SUBJECT PROPERTY, SAID WELL "DOES NOT" REQUIRE A VARIANCE FROM RIDEM'S "RULES AND REGULATIONS GOVERNING THE ENFORCEMENT OF CHAPTER 46-19.2 RELATING TO THE DRILLING OF DRINKING WATER WELLS".
  - OWTS DESIGN DATA:
    - 2 BEDROOM DESIGN - 115 GALLONS PER BEDROOM - TOTAL DESIGN FLOW = 230 GPD
    - BASED ON THE SOIL EVALUATION, THE MOST RESTRICTIVE SOIL DESIGN CATEGORY IS 1.
    - THE SOIL APPLICATION RATE = 2.3 GALS/50 FT/DAY
    - TOTAL REQUIRED LEACHING AREA = 100 SQUARE FEET
    - TOTAL PROVIDED LEACHING AREA = 100 SQUARE FEET
    - LEACHFIELD: 10' W x 10' L BOTTOMLESS SAND FILTER
  - OWTS GENERAL CONSTRUCTION NOTES:
    - ALL PIPING SHALL BE 4" PVC SCH 40 OR EQUIVALENT, UNLESS OTHERWISE NOTED.
    - ALL PIPE SLOPES SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%. REFER TO THE PROFILE.
    - THE SEPTIC TANK SHALL BE A CONCRETE TANK WITH THE CAPACITY AS STATED ON THE SITE PLAN
    - THE SEPTIC TANK INLET SHALL EXTEND 1' BELOW THE FLOW LINE AND THE OUTLET TEE SHALL EXTEND 1/3 THE DEPTH BELOW THE FLOW LINE.
    - THE SEPTIC TANK SHALL BE FITTED WITH TWO ACCESS MANHOLE RISERS NOT LESS THAN 20"Ø
    - THE D-BOX, IF REQUIRED, SHALL HAVE A MINIMUM OF 3 SQUARE FEET OF BOTTOM AREA AND BE CAPABLE OF CARRYING A MINIMUM 300 PSF LOAD WITH MINIMAL SIDEWALL DEFLECTION.
    - LEACHFIELD STONE, IF USED, SHALL BE 3/4" TO 2" DOUBLE WASHED STONE, FREE OF ALL DEBRIS.
    - SURFACE GRADES WITHIN 5 FEET OF THE LEACHFIELD SHALL NOT BE LOWER THAN ELEVATION 98.25'. AT THE 10 FEET DISTANCE FROM THE LEACHFIELD, THE SLOPE SHALL BE A MINIMUM OF 3/16" TO MATCH INTO EXISTING GRADES.
    - THE LEACHFIELD AND THE AREA WITHIN 10 FEET FOR THE LEACHFIELD SHALL BE STRIPPED OF ALL TREES, BRUSH, STUMPS AND BouldERS. THE SIDES AND BOTTOM OF THE EXCAVATION SHALL NOT BE CONTACTED OR SHEARED AND THE BOTTOM SHALL BE SCARIFIED PRIOR TO LEACHFIELD PLACEMENT TO A MINIMUM DEPTH OF 36.50'.
    - REFER TO THE SITE PLAN FOR LEACHFIELD STRIP REQUIREMENTS.
    - THE FINISH GRADE OVER THE SEPTIC TANK SHALL BE GRADED TO DIVERT SURFACE WATER RUNOFF AWAY FROM THE TANK.
    - IF A DRIVEWAY OR PAVEMENT IS TO BE LOCATED NEAR THE PROPOSED OWTS, A FENCE OR CURBING SHALL BE INSTALLED AROUND THE SYSTEM IN THE AREA OF THE PAVEMENT TO PREVENT VEHICULAR TRAFFIC FROM DRIVING ONTO THE SYSTEM.
    - CONTRACTOR TO OBSERVE & CONFIRM ALL EXISTING PLUMBING INSIDE THE DWELLING WILL BE TIED INTO THE PROPOSED SEPTIC TANK SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WHERE ALL EXISTING PLUMBING EXITS THE BUILDING(S), SHOWN ON THIS PLAN, PRIOR TO INSTALLING ANY OWTS COMPONENTS. NEW PLUMBING, INSIDE THE BUILDING(S) SHOWN ON THIS PLAN, MAY BE REQUIRED AS PART OF THIS OWTS INSTALLATION.
  - THIS PLAN CONFORMS TO A CLASS "III" PROPERTY LINE & A CLASS "III" TOPOGRAPHY AS ADOPTED BY THE RI BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE, OTHER THAN SHOWN ON THIS PLAN, WITHOUT WRITTEN CONSENT.
  - GENERAL OWNER NOTES:
    - FOOD/GARBAGE GRINDERS INSIDE DWELLING AND DISPOSAL OF GREASES, OILS, AND OR FATS ARE PROHIBITED.
    - VEHICLE PARKING OR TRAFFIC OVER THE OWTS COMPONENTS IS PROHIBITED.
    - BACKWASH WATER FROM A WATER TREATMENT SYSTEM HAS NOT TAKEN INTO CONSIDERATION WITH THE DESIGN OF THIS OWTS. WATER TREATMENT SYSTEM DISCHARGE TO THIS OWTS IS PROHIBITED.
    - THE SEPTIC TANK SHALL BE PUMPED WHEN DEEMED NECESSARY BY OPERATIONS & MAINTENANCE PERSONNEL OR LICENSED SEPTIC INSPECTOR.
  - INSTALLER TO PROVIDE DESIGNER W/ ALL COPIES OF MATERIALS PURCHASED & USED ON INSTALLING THIS OWTS PRIOR TO ISSUANCE OF CERTIFICATE OF CONSTRUCTION.
  - THERE ARE NO EXISTING OR PROPOSED SUBSURFACE DRAINS WITHIN 25' OF THE PROPOSED OWTS COMPONENTS SHOWN ON THIS PLAN. PER DISCUSSION W/ RIDEM PERSONNEL, NO STORMWATER MANAGEMENT IS REQUIRED. PROPERTY OWNER INTENDS TO RENOVATE EXISTING DWELLING WITHOUT DETAIL.

Environmental Management  
**APR 13 2022**  
Office of Water Resources



**ONSITE WASTEWATER TREATMENT SYSTEM ALTERATION DESIGN**  
A.P. 1-D, LOT 6-1  
83 DAWLEY PARK ROAD  
RICHMOND, RHODE ISLAND  
Prepared For:  
PEACHY ANN REYES



**ATLAS LAND SURVEYING, LLC**  
PROPERTY & CONSTRUCTION SURVEYING & MAPPING  
91 Parkway Drive ~ Warwick, RI 02886  
401-737-4407  
WWW.ATLASLANDSURVEYING.COM

REVISION:  
DATE: JAN. 2022  
DRAWN BY: KRC  
SCALE: 1" = 30'

SHEET  
OF 2 SHEETS

JOB NO. TABLA  
DWG. NO. TABLA-OWTS