

BRISTOL SELF STORAGE

ASSESSOR'S PLAT 41 LOT 4
180 MOUNT HOPE AVENUE
BRISTOL, RHODE ISLAND

CIVIL ENGINEER: NORTHEAST ENGINEERS & CONSULTANTS, INC.
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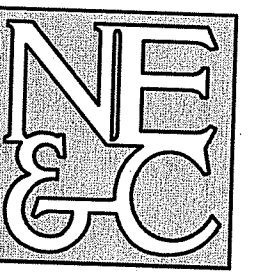
LAND USE: SAYER REGAN THAYER LAW
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401-849-3040

GENERAL CONTRACTOR: JAYEFF CONSTRUCTION
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TRAFFIC ENGINEER: BETA GROUP
CONTACT: HERMAN PERALTA (hperalta@beta-inc.com)
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DEVELOPER: DXD CAPITAL
CONTACT: JAMES HAMILTON (james.hamilton@xdx.capital)
864-415-2036

OWNER: MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: SEP 15 2022 FILE #: 22-0165
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Justin D. Womack

AUGUST 12, 2022 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

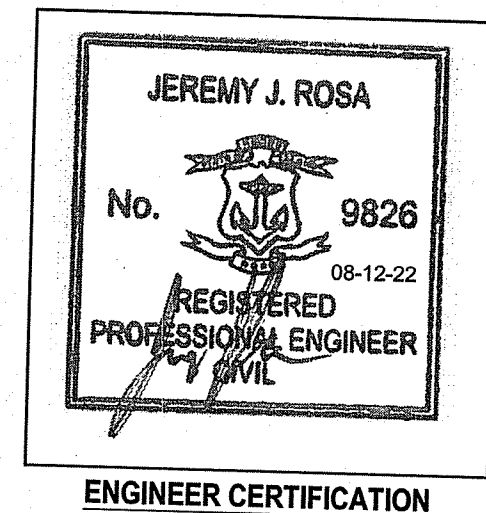
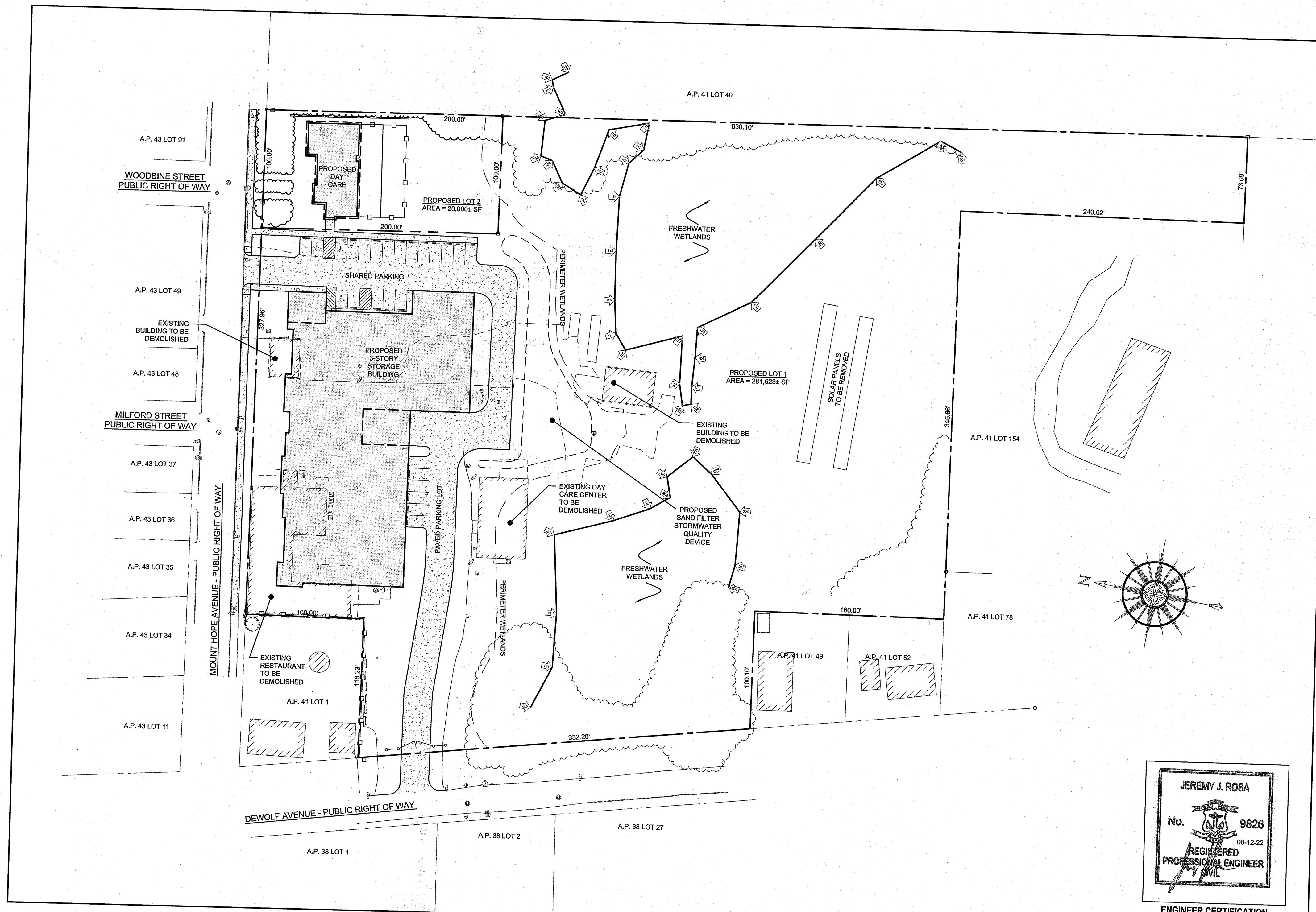
- TITLE SHEET
- PROJECT NOTES
- EXISTING CONDITIONS
- PROPOSED DEMOLITION PLAN
- PROPOSED LAYOUT AND UTILITY PLAN
- PROPOSED DRAINAGE AND GRADING PLAN
- PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLAN
- PROPOSED SITE DETAILS
- PROPOSED SUBDIVISION PLAN

- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
- SHEET 5
- SHEET 6
- SHEET 7
- SHEETS 8-9
- SHEET 10

LANDSCAPING AND LIGHTING PLANS

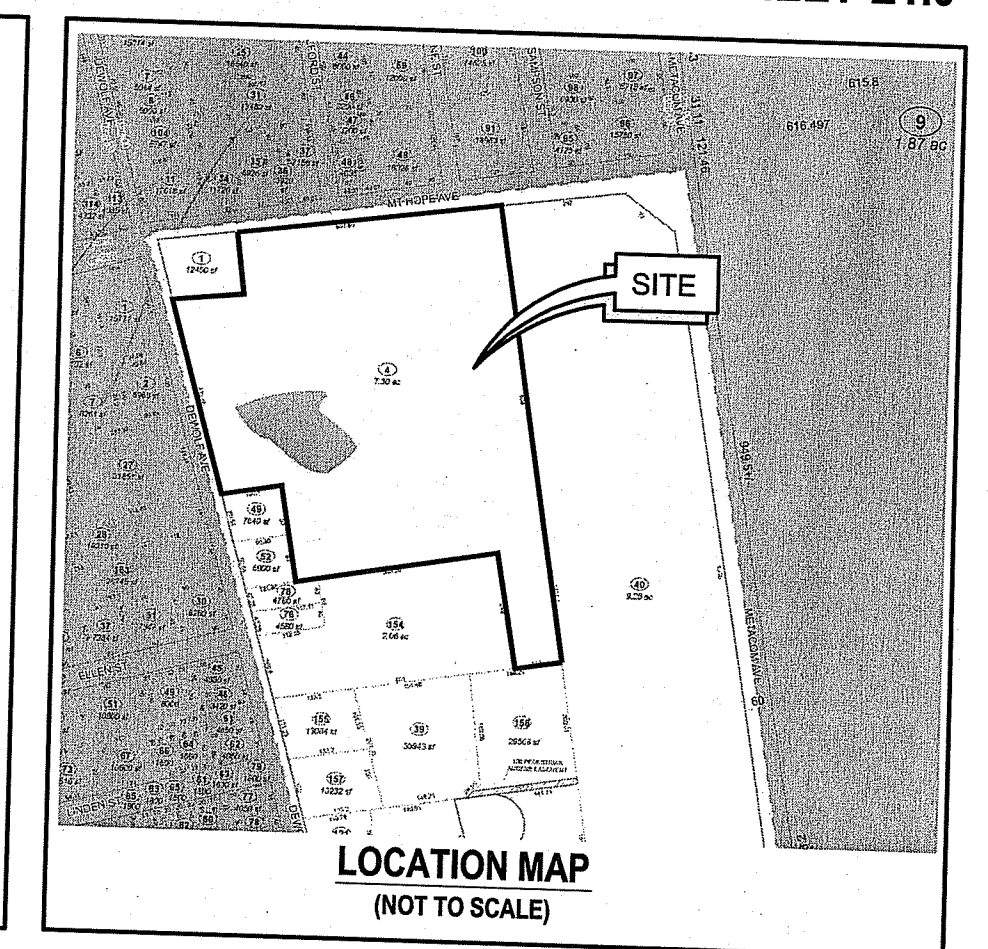
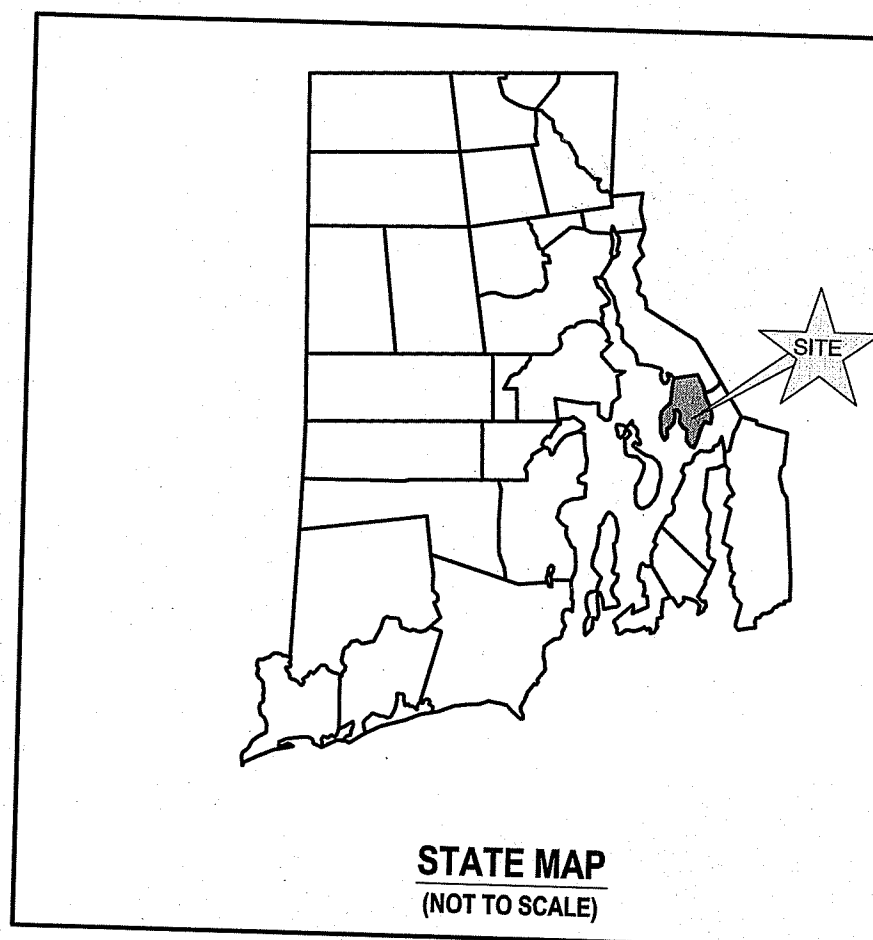
- PLANTING PLAN
- PLANTING DETAILS
- PLANTING DETAILS
- LIGHTING PLAN

- SHEET LP1.0
- SHEET LP3.1
- SHEET LP3.2
- SHEET E1.0



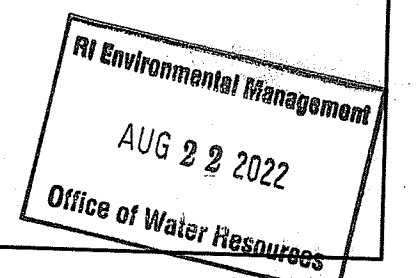
SITE PLAN

SCALE = 1"=50'



SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
TOWN OF BRISTOL	FEB 1, 2022	MASTER PLAN SUBMISSION
TOWN OF BRISTOL	MAR 3, 2022	TRC REVISIONS
RIDEM	APR 27, 2022	RIPDES AND WETLANDS
TOWN OF BRISTOL	AUG 9, 2022	PRELIMINARY PLAN SUBMISSION
RIDEM	AUG 12, 2022	RESPONSE TO COMMENTS



GENERAL NOTES

- EXISTING CONDITIONS SURVEY (SHEET 3) TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, PROPERTY LINE AND EXISTING CONDITIONS PLAN, ASSESSOR'S PLAT 41 LOT 4, PREPARED FOR MOUNT HOPE LLC BY VANASSE HANGEN BRUSTLIN, INC. DATED JULY 9, 2021.
- EXISTING TOPOGRAPHY SHOWN (SHEET 3) TAKEN FROM AVAILABLE LIDAR DATA, BASE OF ELEVATIONS: NAVD88.
- PROPERTY IS ZONED GB (GENERAL BUSINESS), ABUTTING PROPERTIES ARE ZONED R10, R15 (HIGH DENSITY RESIDENTIAL) AND OS (OPEN SPACE).
- NORTH ARROW TAKEN FROM PLAN INDICATED IN NOTE #1.
- FRESHWATER WETLAND DELINEATION SHOWN ON PLANS PERFORMED BY MASON & ASSOCIATES, INC. IN JUNE OF 2021.
- THE PARCEL IS WITHIN FLOOD ZONE X DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP FOR BRISTOL COUNTY, MAP NUMBER 44001C0014H, MAP REVISED JULY 7, 2014.
- SOIL EVALUATIONS SHOWN PERFORMED BY NE&C ON JULY 9, 2021.
- THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
- STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE TOWN OF BRISTOL.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
- THERE ARE DELINEATED FRESHWATER WETLANDS ON THE SUBJECT PROPERTY.
- THERE ARE FRESHWATER WETLAND REGULATED SETBACKS ON THE SUBJECT PROPERTY.
- THERE ARE SURFACE WATERS ON THE SUBJECT PROPERTY.
- THERE ARE HYDRIC SOILS ON THE SUBJECT PROPERTY.
- THERE ARE NO KNOWN AREAS OF LEDGE OR OUTCROPPINGS ON THE SUBJECT PROPERTY.
- THERE ARE NO SLOPES OF 15% OR GREATER ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY LIES WITHIN A NATURAL HERITAGE AREA PER RIDEM RESOURCE MAPPING.
- THE PROPOSED DEVELOPMENT DOES NOT LIE IN ANY OF THE FOLLOWING AREAS:
 - CULTURAL RESOURCE AREA
 - SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - GROUNDWATER ACQUIERS, STATE DESIGNATED "GROUNDWATER RESERVOIRS", RECHARGE AREAS, OR WELLHEAD PROTECTION AREAS
 - STATE, REGIONAL OR LOCAL GREENWAYS, OR GREENSPACE PRIORITIES
 - COMMUNITY WELLHEAD PROTECTION AREA
- ALL WORK WITHIN THE TOWN RIGHT OF WAYS WILL CONFORM TO THE TOWN OF BRISTOL SPECIFICATIONS.

GRADING NOTES

- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
- ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- THE TOWN SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH ANY COMMUNITY NOISE CONTROL STANDARDS.
- THE LIMITS OF DISTURBANCE SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
- IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY, ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECT TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

- THE LOCATIONS OF PROPOSED ELECTRICAL CONNECTIONS TO THE EXISTING OVERHEAD LINES ALONG MOUNT HOPE AVENUE ARE PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICES ARE SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.
- THE PROPOSED CONNECTIONS TO THE WATER MAIN IN MOUNT HOPE AVENUE ARE PRELIMINARY AND SUBJECT TO REVIEW AND APPROVAL BY THE BRISTOL COUNTY WATER AUTHORITY. ALL NEW CONNECTIONS FOR THE STRUCTURES WILL REQUIRE WATER SERVICE APPLICATIONS.
- ALL NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
- THE PROPOSED SEWER SERVICES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN OF BRISTOL PUBLIC WORKS. ALL NEW CONNECTIONS WILL REQUIRE SEWER SERVICE APPLICATIONS. ALL NEW CONNECTIONS SHALL BE 6 INCHES IN DIAMETER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
- IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTATION AND HYDROTESTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVAL OF EXISTING SEWER AND WATER SERVICES AND INSTALLATION OF ALL NEW UTILITY SERVICES SHALL BE COORDINATED WITH ANY TOWN ROAD RE-PAVING EFFORTS. LIMITS OF ANY PAVEMENT RESTORATION FOR REMOVAL OR INSTALLATION OF SERVICES SHALL BE COORDINATED WITH TOWN.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONSTRUCTION SEQUENCE:
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THIS INCLUDES ALL PERMITS FROM APPLICABLE UTILITIES.
 - ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA THE PROPOSED CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
 - INSTALL SILT FENCES, SILT SACKS, CHECK DAMS, FILTER SOCKS, STRAW WATTLE AND/OR STRAW BALES AS INDICATED ON THE DEMOLITION PLAN TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL CONFIRM WITH THE TOWN ENGINEER WHICH TYPE OF SEDIMENTATION BARRIERS ARE PREFERRED BY THE TOWN PRIOR TO INSTALLATION.
 - CONTRACTOR TO FIELD LOCATE EXISTING UTILITY SERVICES AND DISCONNECT EACH IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROVIDING ENTITIES.
 - REMOVE EXISTING IMPROVEMENTS IN ACCORDANCE WITH THE DEMOLITION PLAN. ALL DEBRIS IS TO BE REMOVED FROM SITE AND DISPOSED OF AT A LICENSED FACILITY.
 - LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO THE REMOVAL OF ANY VEGETATION. REMOVE VEGETATION ONLY WHERE SHOWN ON DEMOLITION PLAN. ANY STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
 - ONCE ALL DEMOLITION ACTIVITIES ARE COMPLETE, INSTALL ALL EROSION CONTROL MEASURES AS INDICATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. ALL AREAS OUTSIDE THE LIMIT DISTURBED DURING DEMOLITION ACTIVITIES SHALL BE STABILIZED IN ACCORDANCE WITH THE EARTHWORK NOTES AND SHALL RECEIVE NO FURTHER DISTURBANCE FROM CONSTRUCTION ACTIVITIES.
 - EXCAVATE SAND FILTER IN ACCORDANCE WITH THE PLANS AND ESTABLISH A TEMPORARY VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER. THIS DEPRESSION SHALL BE USED AS A TEMPORARY SEDIMENT TRAP SHOULD ONE BE REQUIRED DURING CONSTRUCTION. A TEMPORARY STONE WEIR SHALL BE CONSTRUCTED IN THE DETENTION BASIN EXCAVATION IN THE VICINITY OF A FUTURE CONCRETE WEIR.
 - ROUGH GRADE SITE AND INSTALL PARKING LOT/ACCESS ROAD BASE MATERIAL.
 - BEGIN BUILDING CONSTRUCTION.
 - INSTALL UTILITY SERVICES AFTER COORDINATING CONNECTION APPROVALS FROM THE PROVIDING ENTITIES. ALL WORK PERFORMED IN THE ROADWAY SHALL BE COORDINATED WITH ANY TOWN RE-PAVING ACTIVITIES.
 - INSTALL ROADWAY SIDEWALKS AND CURBING IN COORDINATION WITH BRISTOL PUBLIC WORKS PER THE DETAILS PROVIDED.
 - FINAL GRADE SITE AND INSTALL BINDER PAVEMENT COURSE. INSTALL CURBING PER DETAILS PROVIDED.
 - REMOVE SEDIMENTS FROM SAND FILTER EXCAVATION, EXCAVATE AND INSTALL LINER, UNDERDRAIN, AND SAND MEDIA. COMPLETE SAND FILTER CONSTRUCTION INCLUDING CONCRETE WEIRS. FINAL GRADE SITE AND INSTALL PLANTINGS.
 - ESTABLISH FINAL VEGETATIVE GROWTH ON ALL DISTURBED AREAS. INSTALL PROPOSED LANDSCAPING PER THE LANDSCAPE ARCHITECTURE PLANS BY OTHERS.
 - INSTALL TOP PAVEMENT COURSE AND MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.
- NOTES:
 - DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - AREA OF PROPOSED DRAINAGE SYSTEM SHALL NOT BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.
- VEGETATIVE PRACTICE:

PERMANENT MEASURES:

 - SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

 - LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
 - LIMESTONE: 3 TONS/ACRE
 - FERTILIZER: (10-10-10): 500 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
 - WINTER RYE: 100 LBS/ACRE
 - STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
- MAINTENANCE

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

 - AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
 - STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - IF INSTALLED, THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.

DRAINAGE NOTES

- ALL DRAIN PIPES SHALL BE SCH40 PVC UNLESS OTHERWISE NOTED ON THE GRADING AND DRAINAGE PLAN.
- ALL DRAIN MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES CONFORMING TO DETAIL PROVIDED IN THIS PLAN SET UNLESS OTHERWISE NOTED.
- STRUCTURE ROOFTOP SHALL DISCHARGE RUNOFF TO GRADE VIA DOWNSPOUTS TO APPROPRIATELY STABILIZED GROUND OR CONCRETE SPLASH PADS.
- SAND FILTER SHALL BE CONSTRUCTED ACCORDING TO THE DETAILS PROVIDED. ANY DISCREPANCIES OR INCONGRUENCIES WITH THE EXISTING SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
- THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
- NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

STORMWATER MAINTENANCE NOTES

- SAND FILTER MAINTENANCE:
 - GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
 - THE FILTER SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES). SEDIMENTS COLLECTED WITHIN THE TOP STRATA OF THE FILTER SHALL BE GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
 - THE FOLLOWING SHALL ALSO BE COMPLETED ON AN ANNUAL BASIS:
 - SLOPES OF THE FILTER SHOULD BE INSPECTED FOR EROSION AND GULLYING.
 - REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT. EROSION IS PRESENT AT THE OUTLET STRUCTURES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
 - THE UNDERDRAIN CLEANOUTS AND OUTLET STRUCTURE SHALL BE INSPECTED FOR LEAKY JOINTS OR CRUSHED LINES. UNDERDRAIN AND OUTLET PIPE SHALL BE CLEAN AND FREE OF MATERIALS THAT CAN REDUCE FLOW.
 - ANY AREAS WITHIN THE EXTENTS OF THE FILTER THAT ARE SUBJECT TO EROSION OR GULLYING SHOULD BE REPLISHED WITH THE ORIGINAL DESIGN MATERIAL AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHOULD BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
 - MOW THE GRASS AROUND THE PERIMETER OF AND WITHIN THE FILTER, SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN TWELVE INCHES. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE FILTER. ANY INVASIVE VEGETATION ENCRACING UPON THE PERIMETER OF THE FILTER SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE FILTERS, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER INFILTRATES WITHIN TWO DAYS FOLLOWING STORMS.
 - SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED ANNUALLY. WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY, IF STANDING WATER IS OBSERVED MORE THAN 48 HOURS AFTER A STORM EVENT, THEN THE TOP 6 INCHES OF SAND SHOULD BE REMOVED AND REPLACED. IF DISCOLORED OR CONTAMINATED MATERIAL IS FOUND BELOW THIS REMOVED SURFACE THEN THAT MATERIAL SHOULD ALSO BE REMOVED AND REPLACED. CONTAMINATED SAND HAS BEEN REMOVED FROM THE FILTER MEDIA. THE SAND SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- QUALIFYING PVIOUS AREA MAINTENANCE:
 - SEDIMENTS WITHIN THE QPA AND THE STONE LEVEL SPREADER SHALL BE REMOVED ON A BIENNIAL BASIS. ALL SEDIMENTS SHALL BE REMOVED FROM THE SITE TO A LICENSED DISPOSAL FACILITY.
 - AREAS OF PONDING SHALL BE REGRADED, TILLED TO A DEPTH OF EIGHTEEN (18) INCHES, AND REVEGETATED.
 - AREAS OF OBSERVED EROSION SHALL BE RESTABILIZED. UPSTREAM AREAS OF THE STONE LEVEL SPREADER SHALL BE RECONSTRUCTED AS NECESSARY TO ENSURE THAT FLOW DOES NOT CONCENTRATE INTO THESE AREAS.
 - IF DEAD OR DYING VEGETATION IS OBSERVED WITHIN THE QPA, THE AFFECTED AREA SHALL BE TILLED TO A DEPTH OF EIGHTEEN (18) INCHES AND RESEEDED/REPLANTED. ALL WORK SHALL BE CARRIED OUT BY A QUALIFIED CONTRACTOR UNDER THE DIRECTION OF A LANDSCAPE ARCHITECT.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER(S).

ABBREVIATIONS

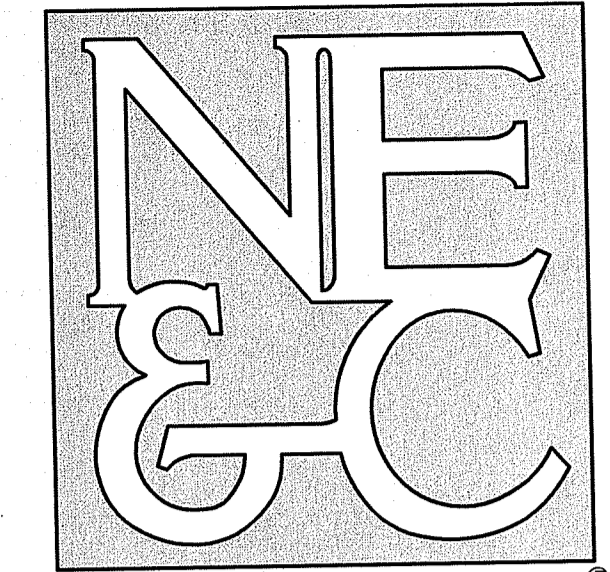
AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMENOUS
CLR	CLEARANCE
CMF	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
MEMO	DEMOLISH
DI	DRAIN INLET
DIA	DRAIN MANHOLE
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INV	INVERT
JOINT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RHS	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER SQUARE FEET
SF	SHEET
SMT	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TC	TOP OF CURB
TOP	TOP OF SURFACE
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
W/	WITH
WWM	WELODED WIRE MESH

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a wetland delineation of freshwater wetlands on site.

NORTHEAST ENGINEERS & CONSULTANTS, INC.



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 AUG 22 2022
 Office of Water Resources

- SITE/CIVIL
- LAND PLANNING
- WATERFRONT
- SURVEYING
- GEOTECHNICAL
- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: SEP 15 2022 FILE # 22-0165
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Justin B. Wensel

1	RIDEM COMMENTS	12AUG22	
0	RIDEM SUBMISSION	27AUG22	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	N/A	Date: REV. 12AUG22	

Project Title:
BRISTOL SELF STORAGE
 A.P. 41 LOT 4
 180 MOUNT HOPE AVENUE
 BRISTOL, RHODE ISLAND

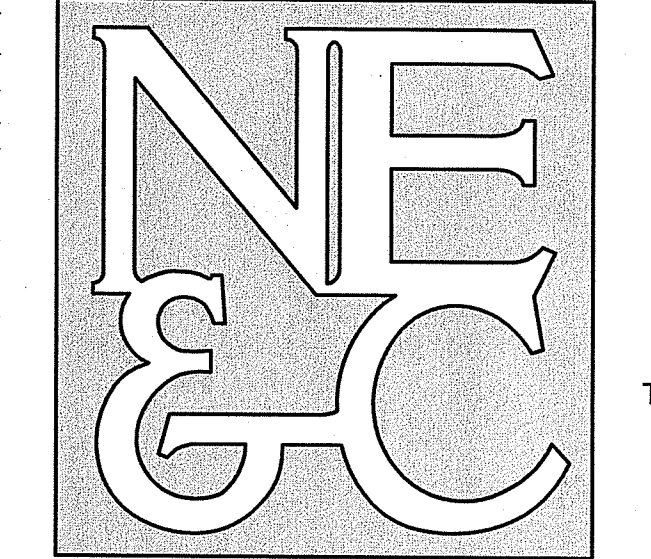
Applicant:
 DXD SS F1 LAND LLC
 1718 CENTRAL AVENUE SW, SUITE B
 ALBUQUERQUE, NM 87104

Owner:
 MOUNT HOPE LLC
 348 ADAM'S LANE
 WARREN RI, 02865

Drawing Title:
PROJECT NOTES

Drawing Number: C-2
Sheet 2 of 10
Project Number: 21132.1
Survey Index: --

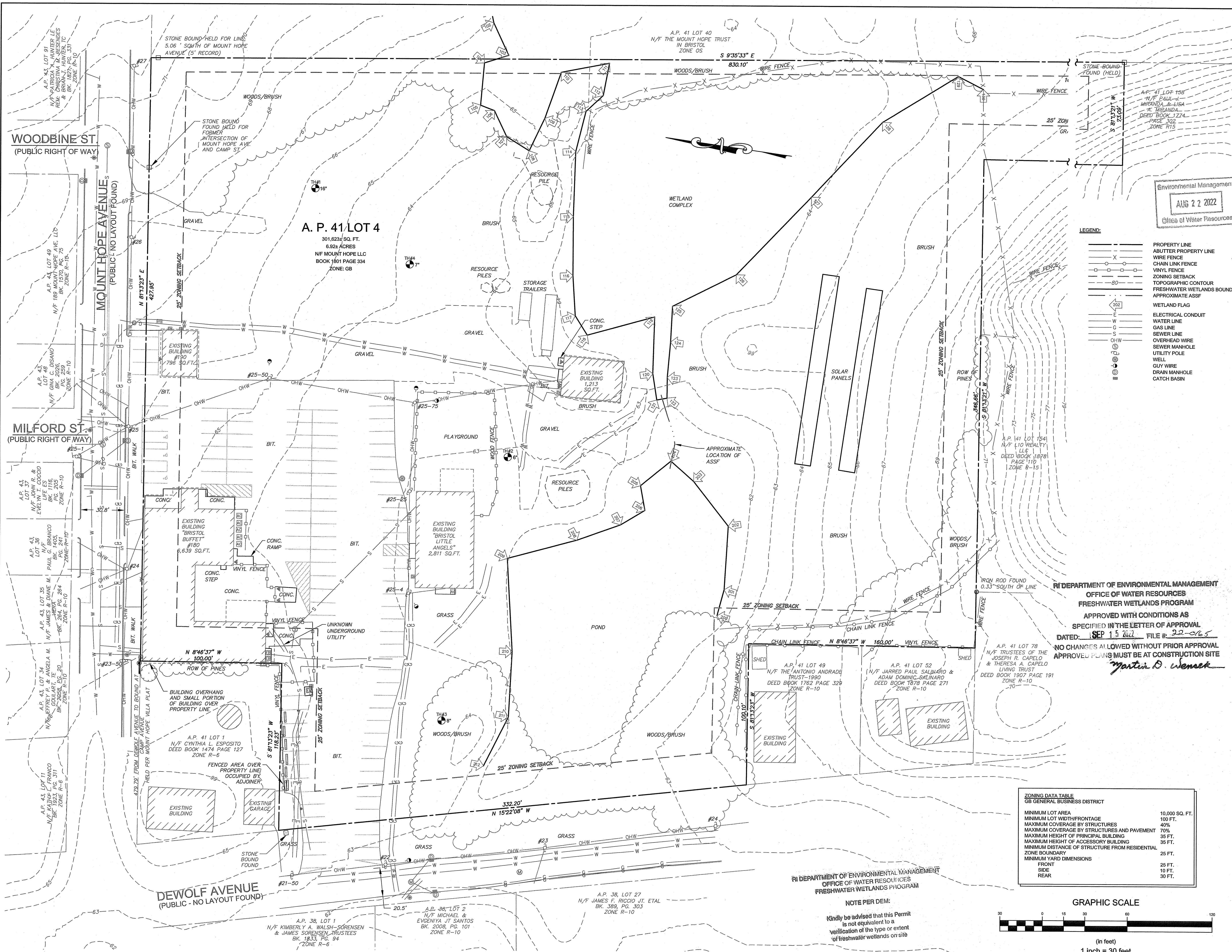
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Environmental Management
 AUG 22 2022
 Office of Water Resources

LEGEND:

---	PROPERTY LINE
- - -	ABUTTER PROPERTY LINE
X	WIRE FENCE
—X—	CHAIN LINK FENCE
—O—	VINYL FENCE
—	ZONING SETBACK
—80—	TOPOGRAPHIC CONTOUR
---	FRESHWATER WETLANDS BOUNDARY
---	APPROXIMATE ASSF
W	WETLAND FLAG
E	ELECTRICAL CONDUIT
W	WATER LINE
G	GAS LINE
S	SEWER LINE
OHW	OVERHEAD WIRE
⊙	SEWER MANHOLE
⊕	UTILITY POLE
⊙	WELL
⊕	GUY WIRE
⊕	DRAIN MANHOLE
⊕	CATCH BASIN

- GENERAL NOTES:**
- EXISTING CONDITIONS TAKEN FROM PLAN ENTITLED "PROPERTY LINE AND EXISTING CONDITIONS PLAN ASSESSORS PLAT 41 LOT 4, ALTANSPS LAND TITLE SURVEY" PREPARED BY VANASSE HANGEN BRUSTLIN, INC. (VHB) DATED JULY 6, 2021.
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 - REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

1	RIDEM COMMENTS	12AUG22		
0	RIDEM SUBMISSION	27APR22		
No.	Revision	Date	App.	
Designed By:	Drawn by:	JJR	Checked by:	GES
Scale:	1"=30'	Date:	REV. 12AUG22	

BRISTOL SELF STORAGE
 A.P. 41 LOT 4
 180 MOUNT HOPE AVENUE
 BRISTOL, RHODE ISLAND

Applicant:
 DXD SS F1 LAND LLC
 1718 CENTRAL AVENUE SW, SUITE B
 ALBUQUERQUE, NM 87104

Owner:
 MOUNT HOPE LLC
 348 ADAM'S LANE
 WARREN RI, 02885

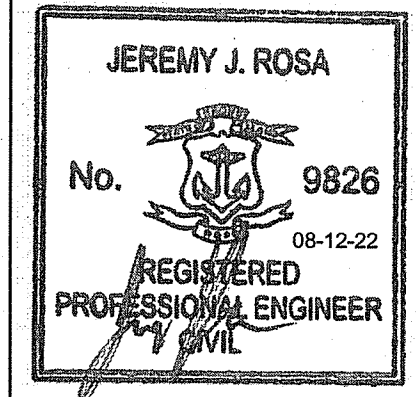
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EXISTING CONDITIONS PLAN

Drawing Number:
C-3

Sheet **3** of **10**

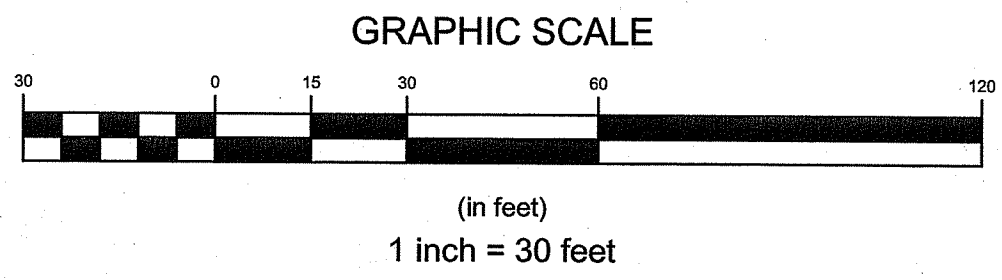
Project Number:
21132.1

Survey Index:



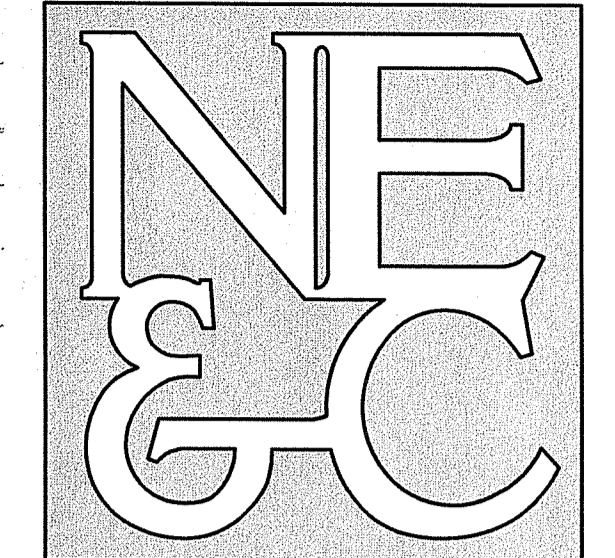
ZONING DATA TABLE
 GB GENERAL BUSINESS DISTRICT

MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH/FRONTAGE	100 FT.
MAXIMUM COVERAGE BY STRUCTURES	40%
MAXIMUM COVERAGE BY STRUCTURES AND PAVEMENT	70%
MAXIMUM HEIGHT OF PRINCIPAL BUILDING	35 FT.
MAXIMUM HEIGHT OF ACCESSORY BUILDING	35 FT.
MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY	25 FT.
MINIMUM YARD DIMENSIONS	
FRONT	25 FT.
SIDE	10 FT.
REAR	30 FT.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
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GENERAL NOTES:

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- SEE COMPLETE PROJECT NOTES ON SHEET C-2.

LEGEND:

- PROPERTY LINE
- - - ADJUTER PROPERTY LINE
- X WIRE FENCE
- CHAIN LINK FENCE
- VINYL FENCE
- ZONING SETBACK
- TOPOGRAPHIC CONTOUR
- FRESHWATER WETLANDS BOUNDARY
- APPROXIMATE ASSF
- W WETLAND FLAG
- E ELECTRICAL CONDUIT
- W WATER LINE
- G GAS LINE
- S SEWER LINE
- OHW OVERHEAD WIRE
- SEWER MANHOLE
- UTILITY POLE
- WELL
- GUY WIRE
- DRAIN MANHOLE
- CATCH BASIN
- PROPOSED EROSION CONTROL BARRIER
- - - DEMOLITION LIMIT OF DISTURBANCE

No.	Revision	Date	App.
2	RIDEM COMMENTS	12AUG22	
1	PRELIMINARY PLAN SUBMISSION	18MAY22	
0	RIDEM SUBMISSION	27APR22	

Scale: 1"=30' Date: REV. 12AUG22

Project Title:
BRISTOL SELF STORAGE
A.P. 41 LOT 4
180 MOUNT HOPE AVENUE
BRISTOL, RHODE ISLAND

Applicant:
DXD SS F1 LAND LLC
1718 CENTRAL AVENUE SW, SUITE B
ALBUQUERQUE, NM 87104

Owner:
MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885

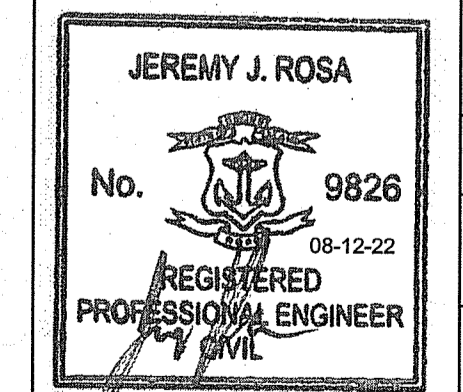
Drawing Title:
PROPOSED DEMOLITION PLAN

Drawing Number:
C-4

Sheet **4** of **10**

Project Number:
21132.1

Survey Index:
-



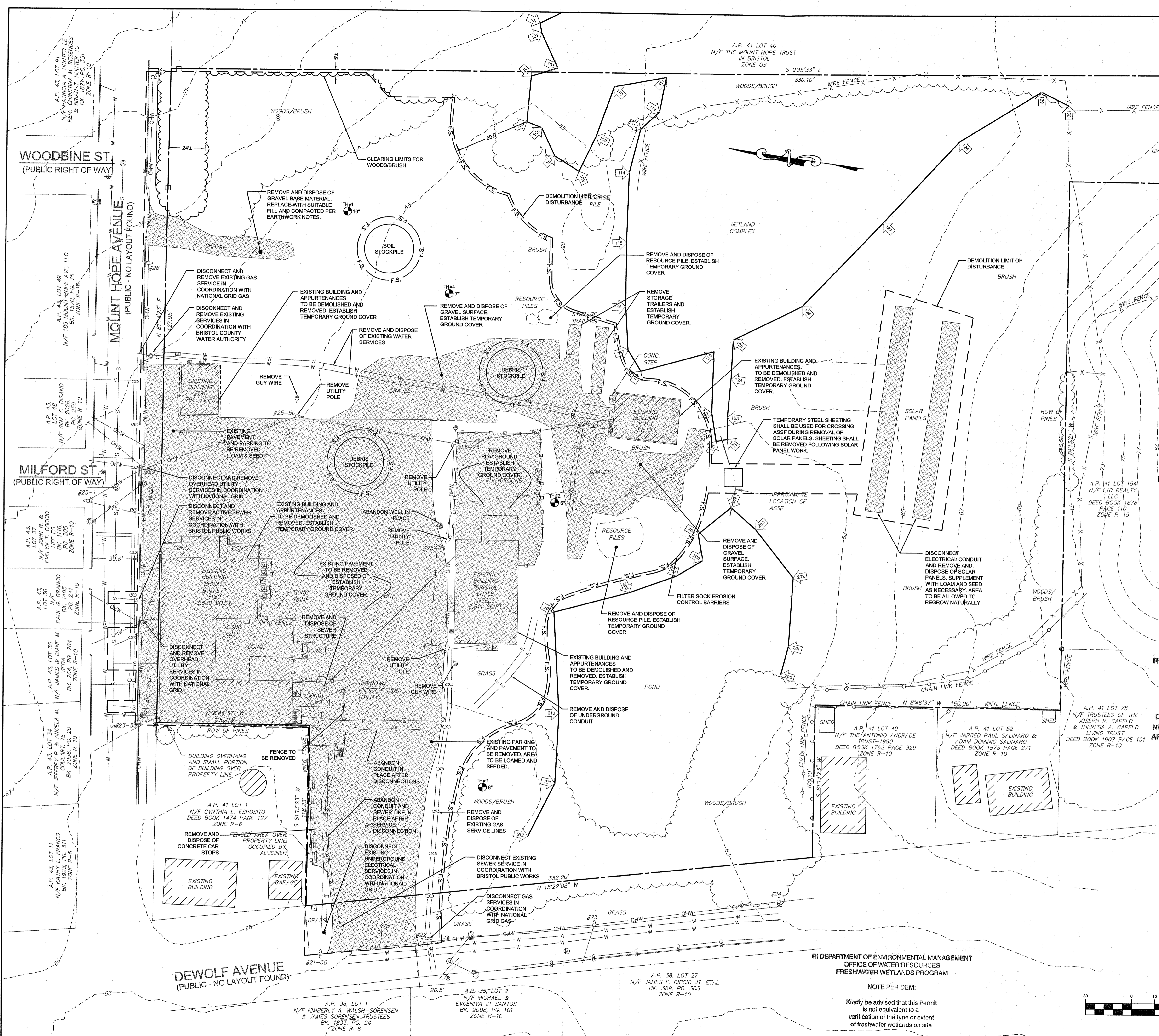
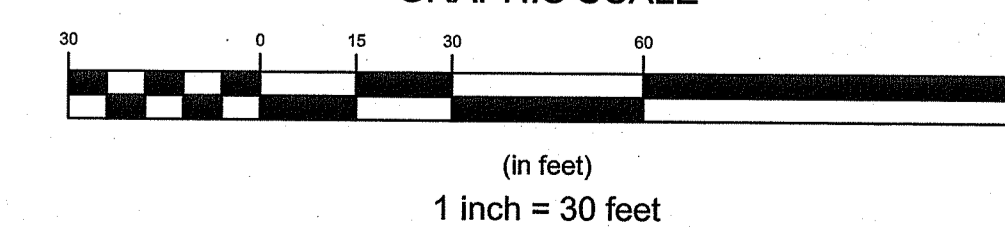
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 15 2022 FILE # 22-0165
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Carolina D. Weneck

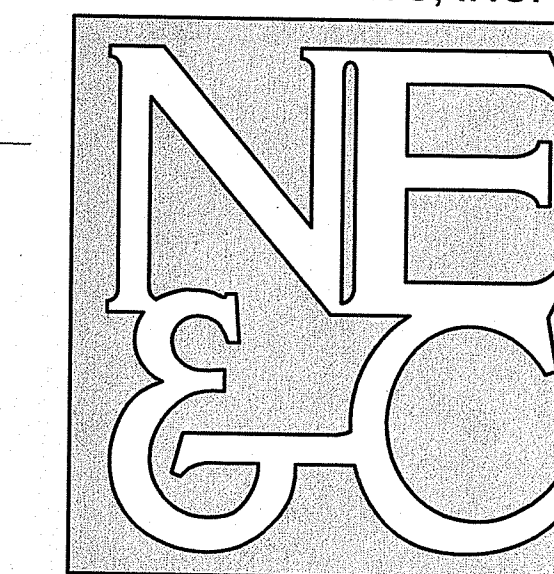
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

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GRAPHIC SCALE





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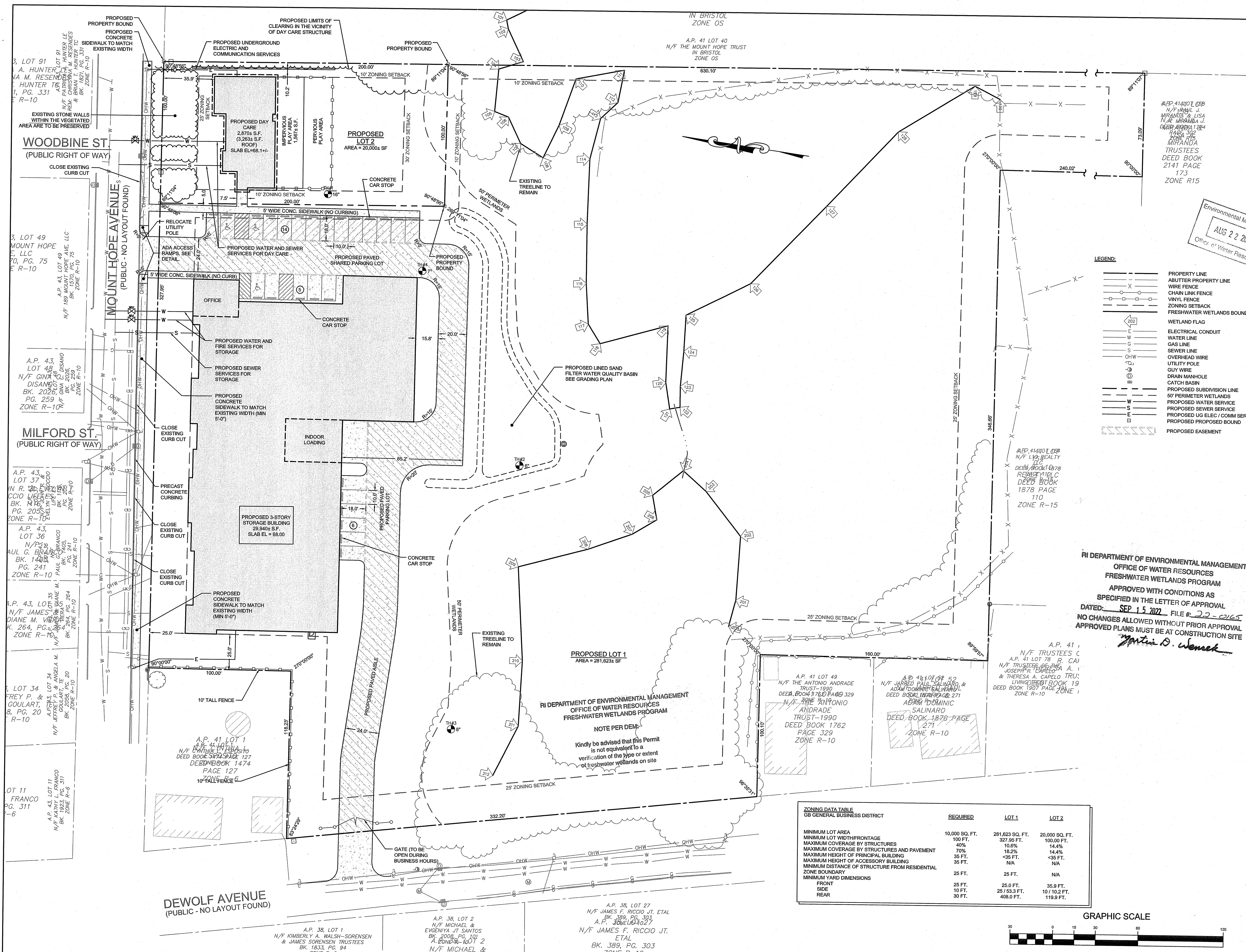
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Office of Water Resources
AUG 22 2022

LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	WIRE FENCE
---	CHAIN LINK FENCE
---	VINYL FENCE
---	ZONING SETBACK
---	FRESHWATER WETLANDS BOUNDARY
---	WETLAND FLAG
---	ELECTRICAL CONDUIT
---	WATER LINE
---	GAS LINE
---	SEWER LINE
---	OVERHEAD WIRE
---	UTILITY POLE
---	GUY WIRE
---	DRAIN MANHOLE
---	CATCH BASIN
---	PROPOSED SUBDIVISION LINE
---	50' PERIMETER WETLANDS
---	PROPOSED WATER SERVICE
---	PROPOSED SEWER SERVICE
---	PROPOSED US ELEC COMM SERVICES
---	PROPOSED PROPOSED BOUND
---	PROPOSED EASEMENT

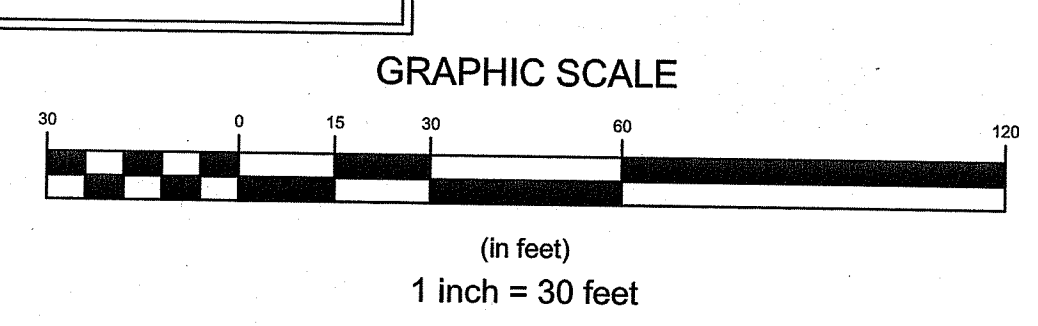
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: SEP 15 2022 FILE # 22-0165
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenzel

ZONING DATA TABLE
GB GENERAL BUSINESS DISTRICT

	REQUIRED	LOT 1	LOT 2
MINIMUM LOT AREA	10,000 SQ. FT.	281,623 SQ. FT.	20,000 SQ. FT.
MINIMUM LOT WIDTH/FRONTAGE	100 FT.	327.95 FT.	100.00 FT.
MAXIMUM COVERAGE BY STRUCTURES	40%	10.6%	14.4%
MAXIMUM COVERAGE BY STRUCTURES AND PAVEMENT	70%	18.2%	14.4%
MAXIMUM HEIGHT OF PRINCIPAL BUILDING	35 FT.	<35 FT.	<35 FT.
MAXIMUM HEIGHT OF ACCESSORY BUILDING	35 FT.	N/A	N/A
MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY	25 FT.	25 FT.	N/A
MINIMUM YARD DIMENSIONS			
FRONT	25 FT.	25.0 FT.	35.9 FT.
SIDE	10 FT.	25/83.3 FT.	10/10.2 FT.
REAR	30 FT.	408.0 FT.	119.9 FT.



No.	Revision	Date	App.
3	RIDEM COMMENTS	12AUG22	
2	REVISIONS TO PRELIMINARY SUBMISSION	09AUG22	
1	PRELIMINARY PLAN SUBMISSION	18MAY22	
0	RIDEM SUBMISSION	27APR22	

Designed By: _____ Drawn by: **JJR** Checked by: **GES**
Scale: 1"=30' Date: **REV. 09AUG22**

BRISTOL SELF STORAGE
A.P. 41 LOT 4
180 MOUNT HOPE AVENUE
BRISTOL, RHODE ISLAND

Applicant:
DXD SS F1 LAND LLC
1718 CENTRAL AVENUE SW, SUITE B
ALBUQUERQUE, NM 87104

Owner:
MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885

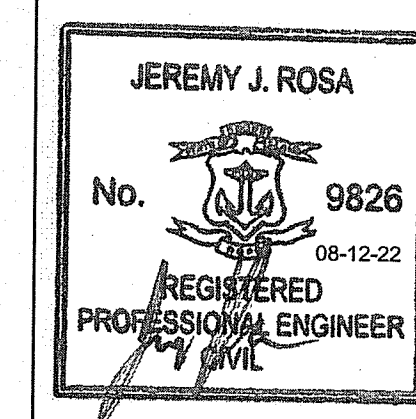
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PROPOSED LAYOUT AND UTILITY PLAN

Drawing Number:
C-5

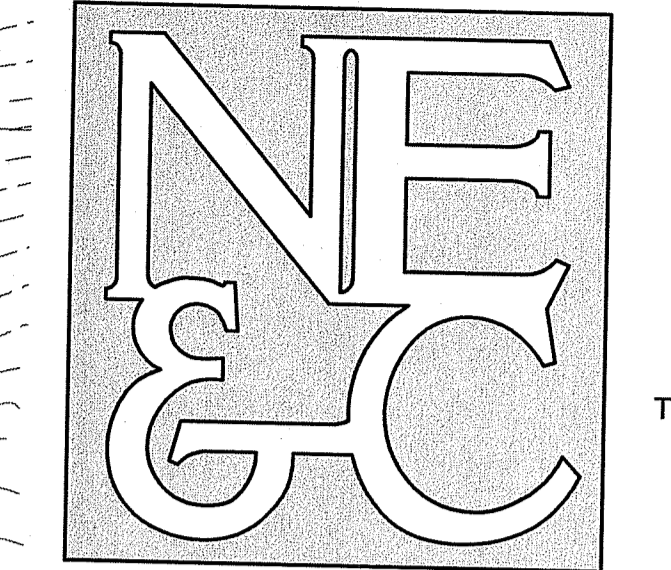
Sheet **5** of **10**

Project Number:
21132.1

Survey Index:



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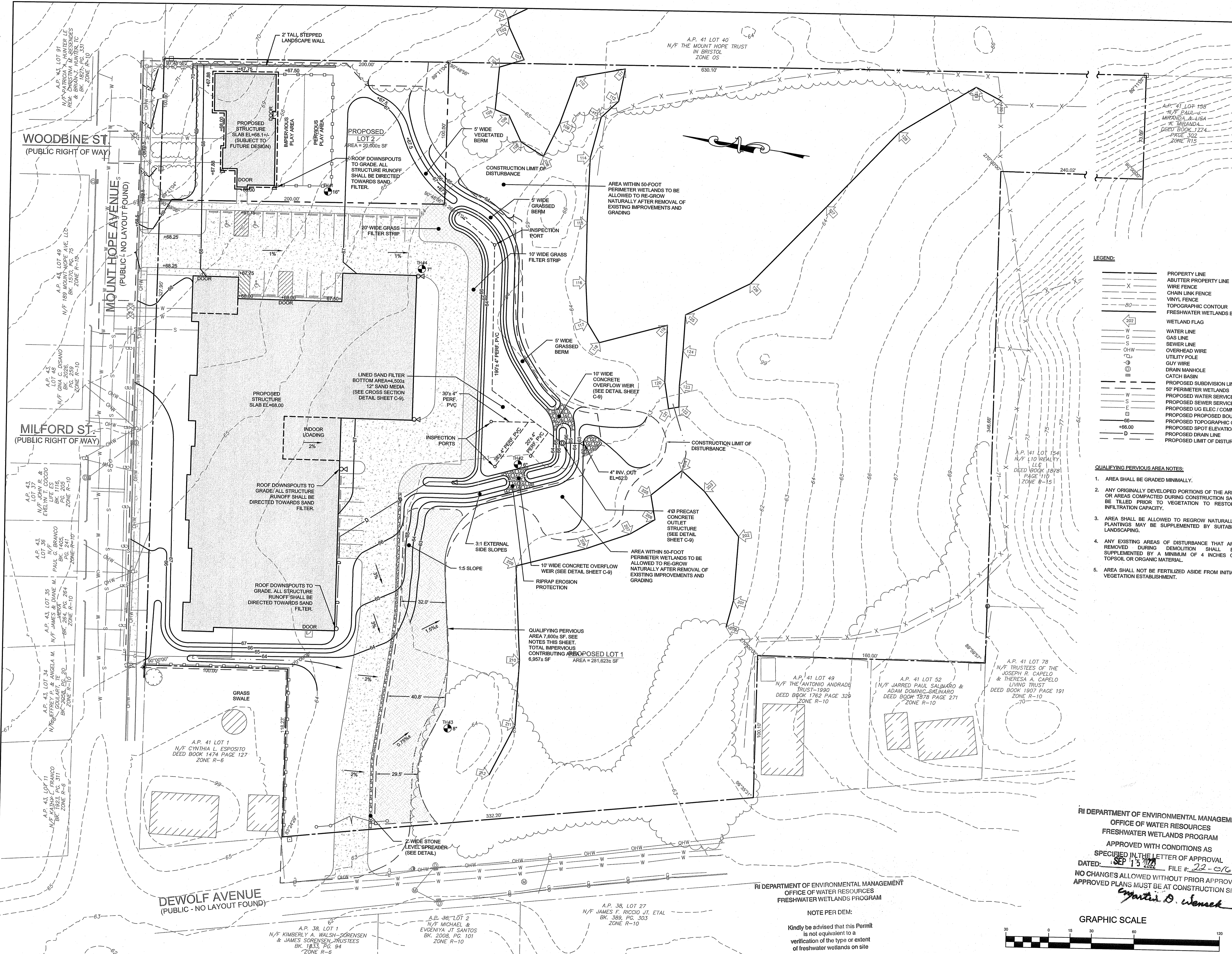


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- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL



- LEGEND:**
- PROPERTY LINE
 - - - ABUTTER PROPERTY LINE
 - X — WIRE FENCE
 - CHAIN LINK FENCE
 - VINYL FENCE
 - - - 80' TOPOGRAPHIC CONTOUR
 - - - FRESHWATER WETLANDS BOUNDARY
 - ◊ WETLAND FLAG
 - W WATER LINE
 - C GAS LINE
 - S SEWER LINE
 - OHW OVERHEAD WIRE
 - U UTILITY POLE
 - G GUY WIRE
 - ⊙ DRAIN MANHOLE
 - ⊙ CATCH BASIN
 - PROPOSED SUBDIVISION LINE
 - 50' PERIMETER WETLANDS
 - W PROPOSED WATER SERVICE
 - S PROPOSED SEWER SERVICE
 - E PROPOSED UG ELEC COMM SERVICES
 - PROPOSED PROPOSED BOUND
 - - - PROPOSED TOPOGRAPHIC CONTOUR
 - +66.00 PROPOSED SPOT ELEVATION
 - - - D PROPOSED DRAIN LINE
 - - - PROPOSED LIMIT OF DISTURBANCE

- GENERAL NOTES:**
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 - SUBJECT PARCEL FALLS WITHIN THE GENERAL BUSINESS (GB) ZONING DISTRICT.
 - THE PROPERTY IS LOCATED WITH FLOOD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 44001C0014H, LAST REVISED JULY 7, 2014.
 - ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES).
 - REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

- QUALIFYING PERVIOUS AREA NOTES:**
- AREA SHALL BE GRADED MINIMALLY.
 - ANY ORIGINALLY DEVELOPED PORTIONS OF THE AREA OR AREAS COMPACTED DURING CONSTRUCTION SHALL BE TILLED PRIOR TO VEGETATION TO RESTORE INFILTRATION CAPACITY.
 - AREA SHALL BE ALLOWED TO REGROW NATURALLY. PLANTINGS MAY BE SUPPLEMENTED BY SUITABLE LANDSCAPING.
 - ANY EXISTING AREAS OF DISTURBANCE THAT ARE REMOVED DURING DEMOLITION SHALL BE SUPPLEMENTED BY A MINIMUM OF 4 INCHES OF TOPSOIL OR ORGANIC MATERIAL.
 - AREA SHALL NOT BE FERTILIZED ASIDE FROM INITIAL VEGETATION ESTABLISHMENT.

1	RIDEM COMMENTS	12AUG22	
0	RIDEM SUBMISSION	27APR22	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	27APR22

Project Title:
BRISTOL SELF STORAGE
 A.P. 41 LOT 4
 180 MOUNT HOPE AVENUE
 BRISTOL, RHODE ISLAND

Client/Owner:
 DXD SS F1 LAND LLC
 1718 CENTRAL AVENUE SW, SUITE B
 ALBUQUERQUE, NM 87104

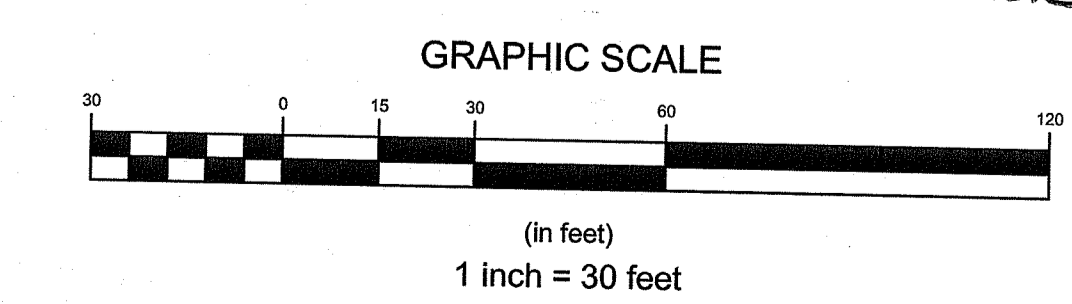
Issued for:
 MOUNT HOPE LLC
 348 ADAMS LANE
 WARREN, RI 02885

Drawing Title:
PROPOSED GRADING AND DRAINAGE PLAN

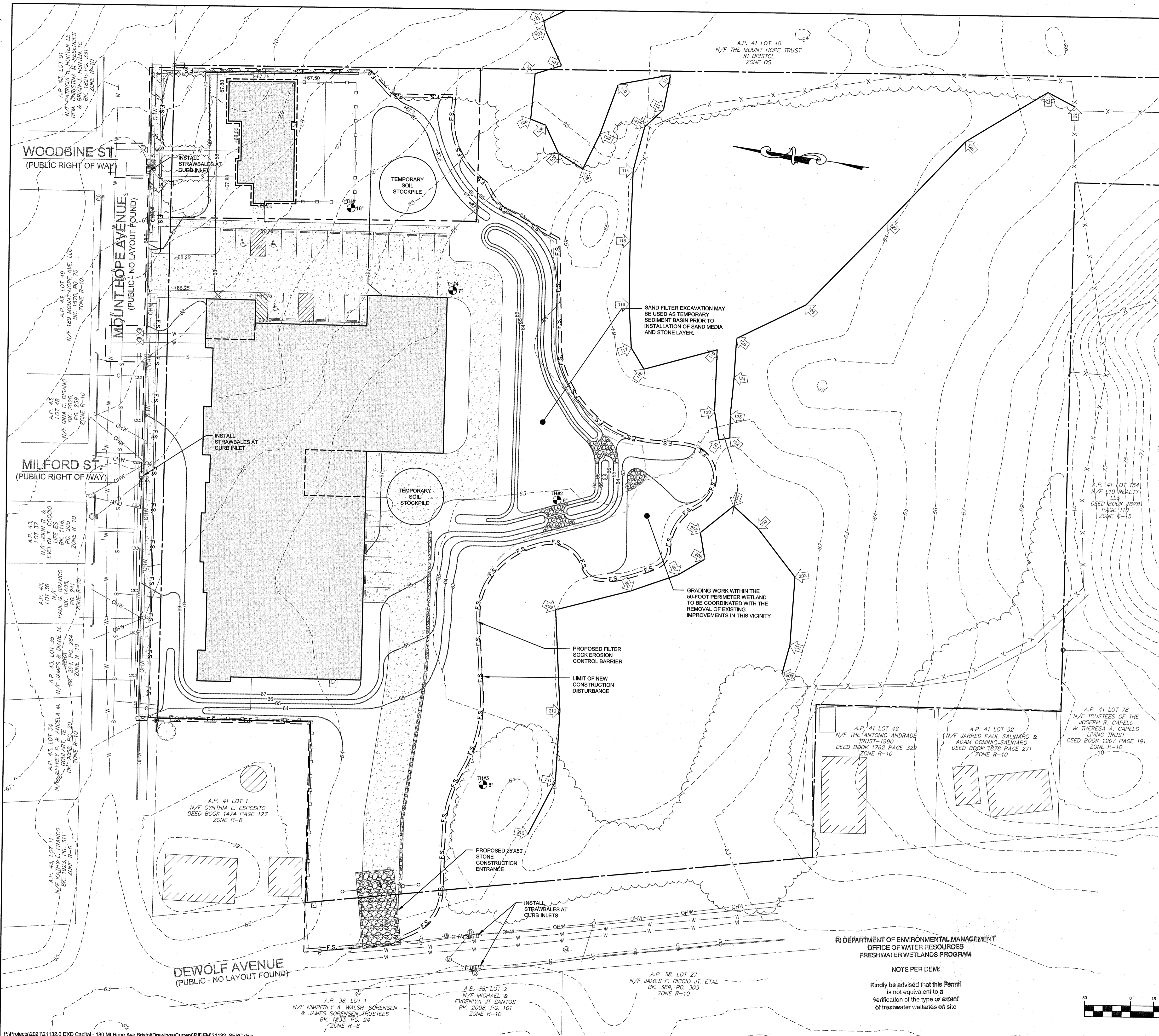
	Drawing Number:	C-6
	Sheet	6 of 10
	Project Number:	21132.1
	Survey Index:	

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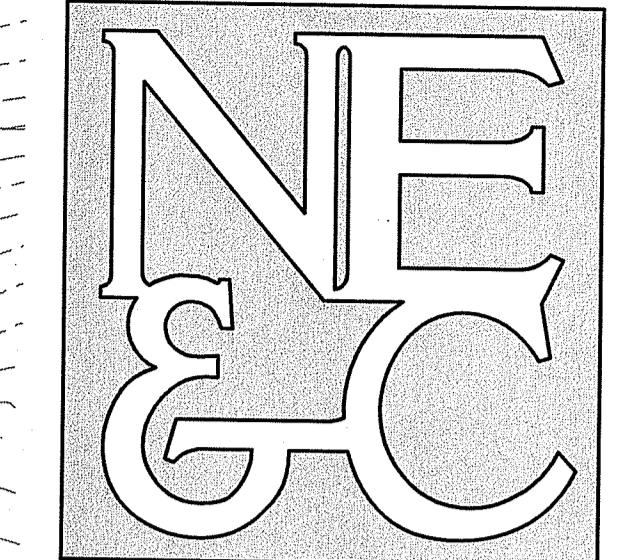
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: **SEP 15 2022** FILE # **22-C165**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Jonathan D. Weneck



NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



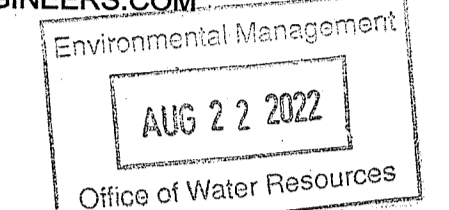
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- LEGEND:**
- PROPERTY LINE
 - - - BUTTER PROPERTY LINE
 - - - WIRE FENCE
 - - - CHAIN LINK FENCE
 - - - VINYL FENCE
 - - - TOPOGRAPHIC CONTOUR
 - - - FRESHWATER WETLANDS BOUNDARY
 - WETLAND FLAG
 - W WATER LINE
 - G GAS LINE
 - S SEWER LINE
 - OHW OVERHEAD WIRE
 - U UTILITY POLE
 - GUY WIRE
 - DM DRAIN MANHOLE
 - CB CATCH BASIN
 - PROPOSED SUBDIVISION LINE
 - 50 PERIMETER WETLANDS
 - PROPOSED WATER SERVICE
 - PROPOSED SEWER SERVICE
 - PROPOSED UG ELEC / COMM SERVICES
 - PROPOSED PROPOSED BOUND
 - PROPOSED TOPOGRAPHIC CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED EROSION CONTROL BARRIER
 - PROPOSED STRAW BALES
 - PROPOSED LIMIT OF DISTURBANCE

- GENERAL NOTES:**
- EXISTING CONDITIONS TAKEN FROM PLAN ENTITLED "PROPERTY LINE AND EXISTING CONDITIONS PLAN ASSESSORS PLAT 41 LOT 4, ALTAIR'S LAND TITLE SURVEY" PREPARED BY VANASSE HANGEN BRUSTLIN, INC. (VHB) DATED JULY 6, 2021.
 - TOPOGRAPHY TAKEN FROM AVAILABLE LIDAR DATA. VERTICAL DATUM IS NAVD83.
 - NORTH ARROW REFERENCES GRID NORTH (RISP NAD83).
 - SUBJECT PARCEL FALLS WITHIN THE GENERAL BUSINESS (GB) ZONING DISTRICT.
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 - REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

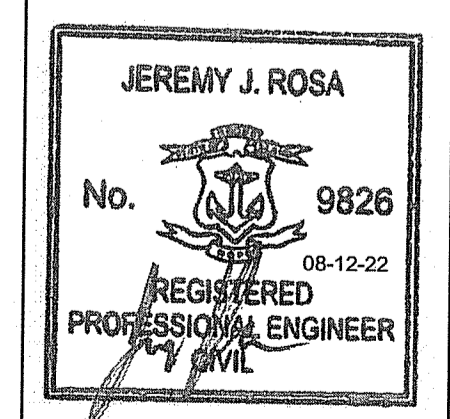
1	RIDEM COMMENTS	12AUG22	
0	RIDEM SUBMISSION	27APR22	
No.	Revision	Date	App.
Designed By:	Drawn by: JJR	Checked by: GES	
Scale:	1"=30'	Date:	REV 12AUG22

Project Title:
BRISTOL SELF STORAGE
A.P. 41 LOT 4
180 MOUNT HOPE AVENUE
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Client/Owner:
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Issued for:
MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885

Drawing Title:
PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLAN



Drawing Number:
C-7

Sheet **7** of **10**

Project Number:
21132.1

Survey Index:

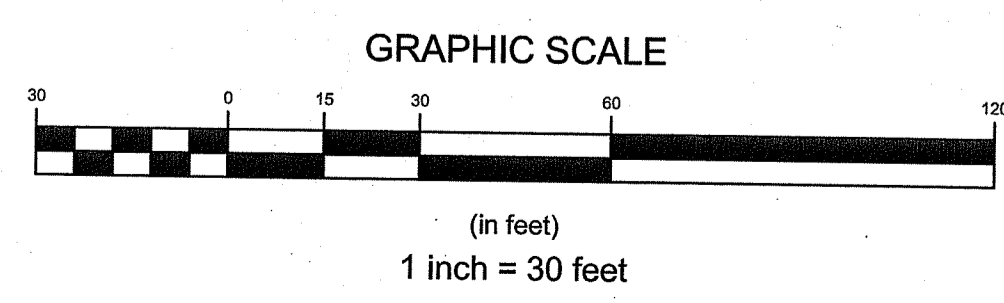
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

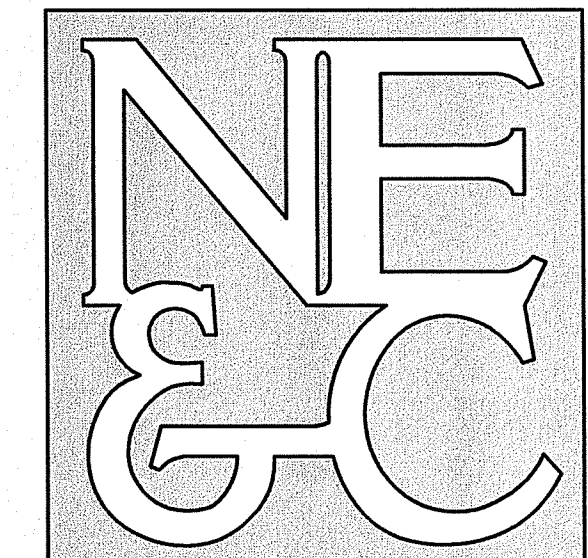
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: **SEP 15 2022** FILE # **22-0165**

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: *Jeremy J. Rosa*

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

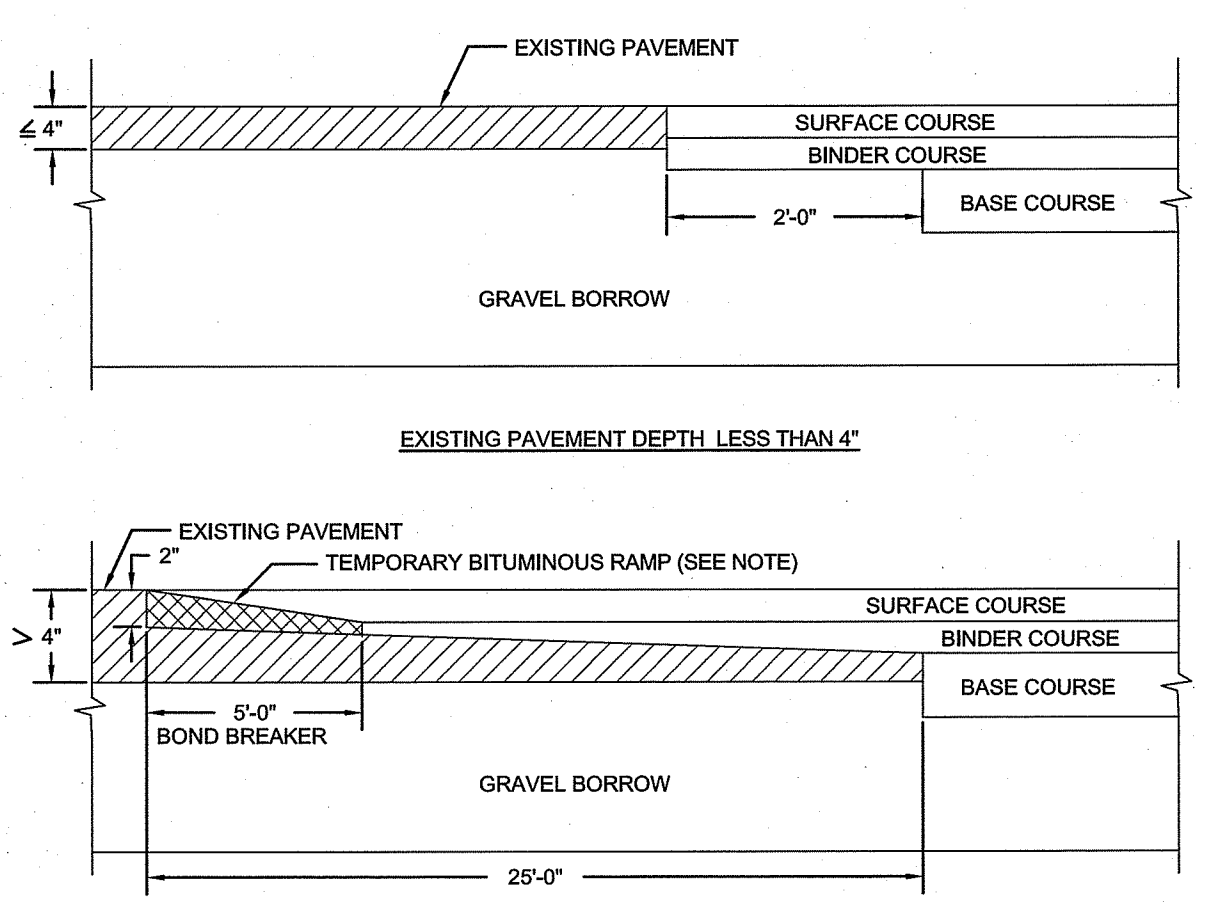




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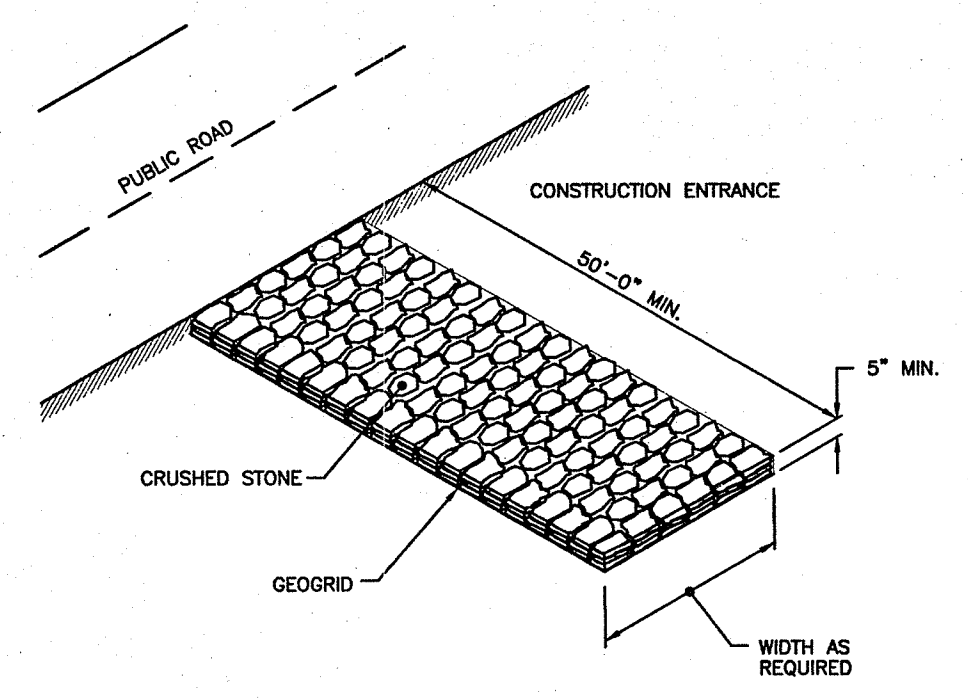
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AUG 22 2022
Office of Water Resources



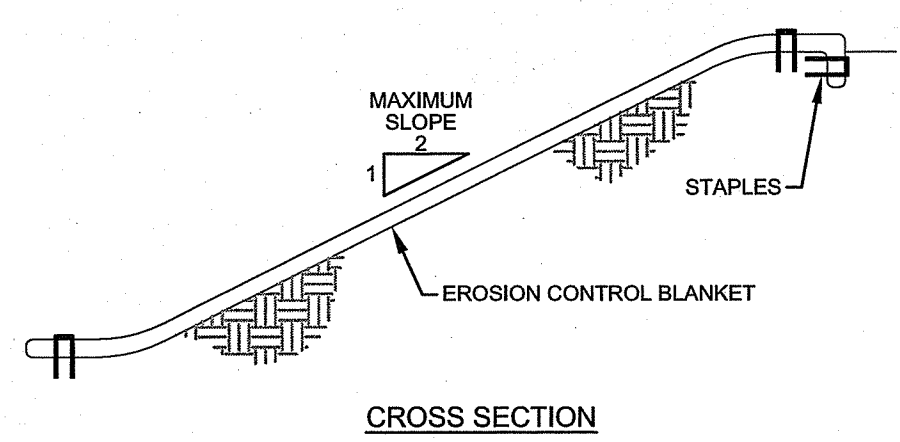
NOTE:
A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP. PRIOR TO THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

TYPICAL CUT AND MATCH PAVEMENT DETAIL
SCALE: NOT TO SCALE



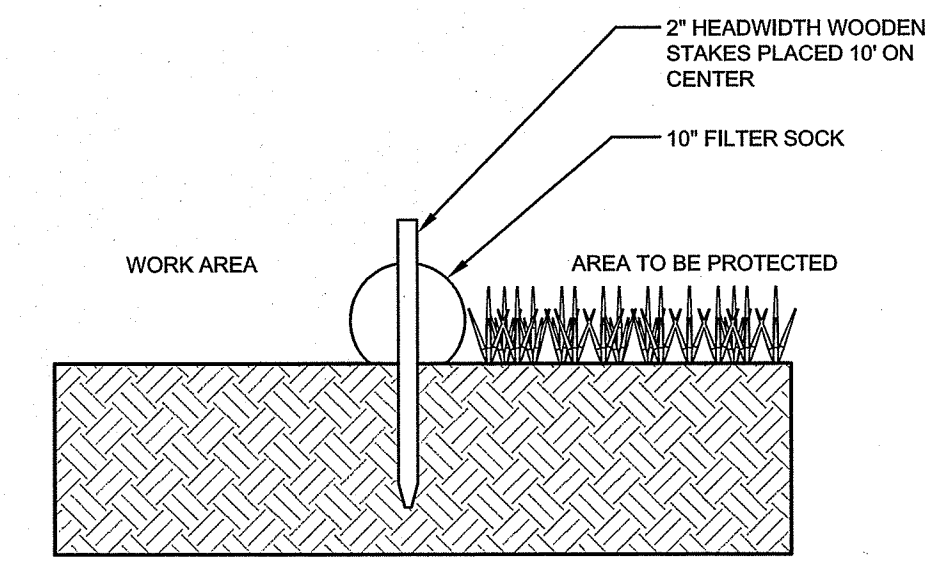
NOTE:
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

STONE CONSTRUCTION ACCESS (RIDOT 9.9.0)
SCALE: NOT TO SCALE

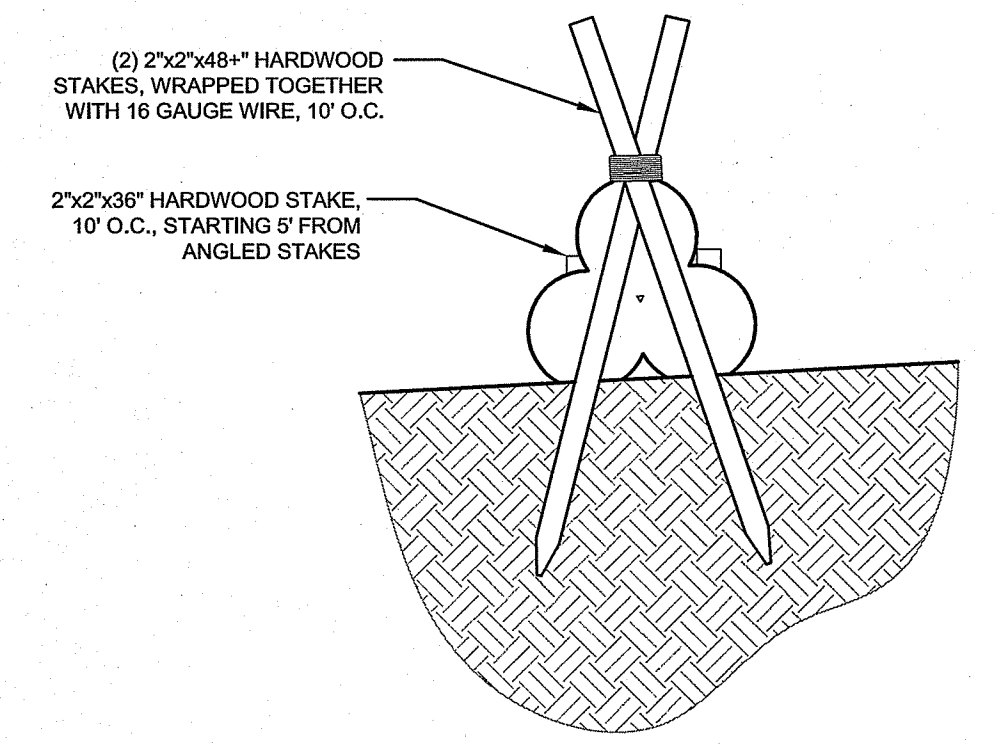


NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

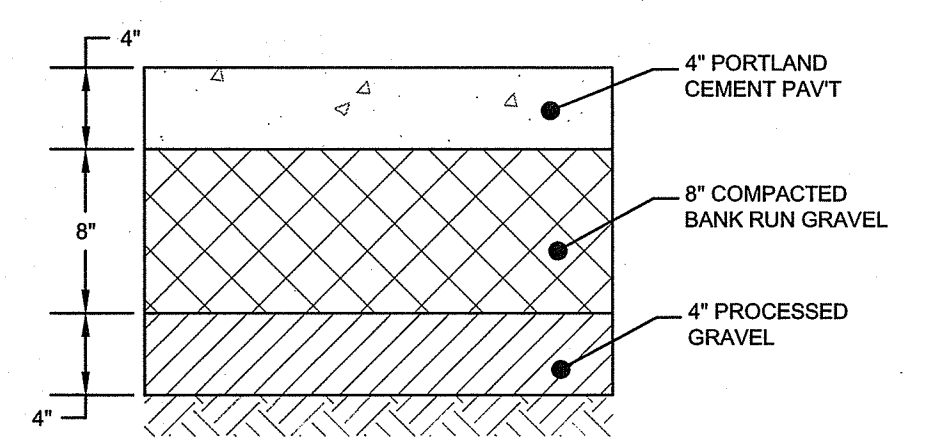
EROSION CONTROL BLANKET
SCALE: NOT TO SCALE



SECTION VIEW

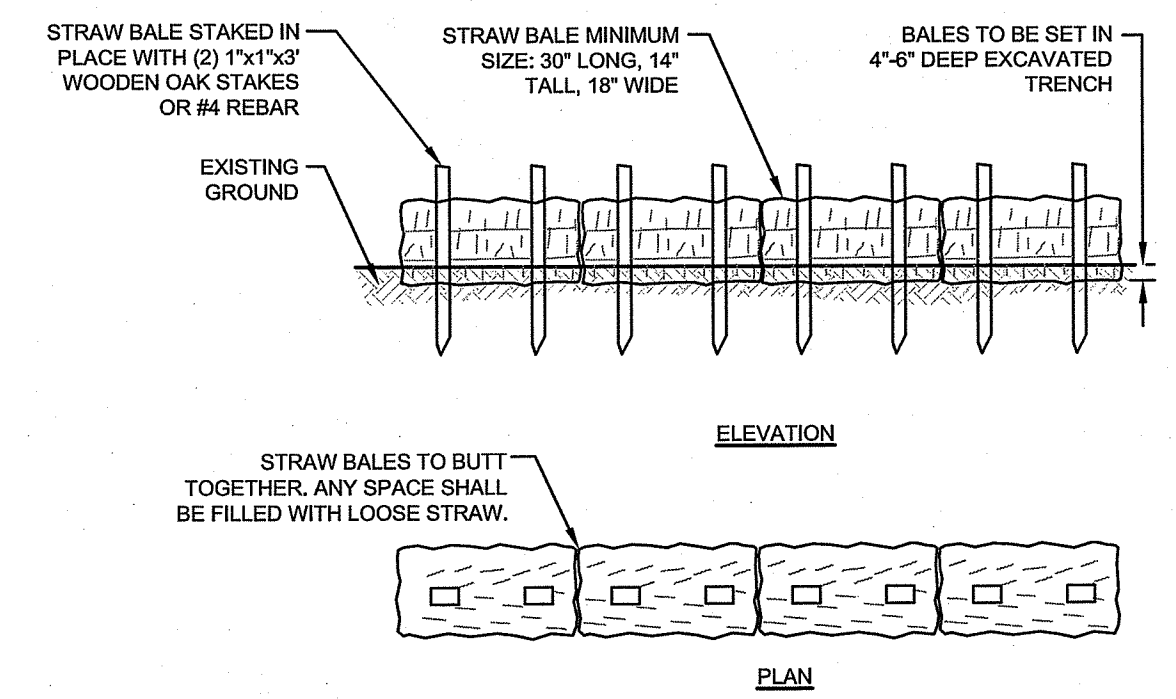


PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)



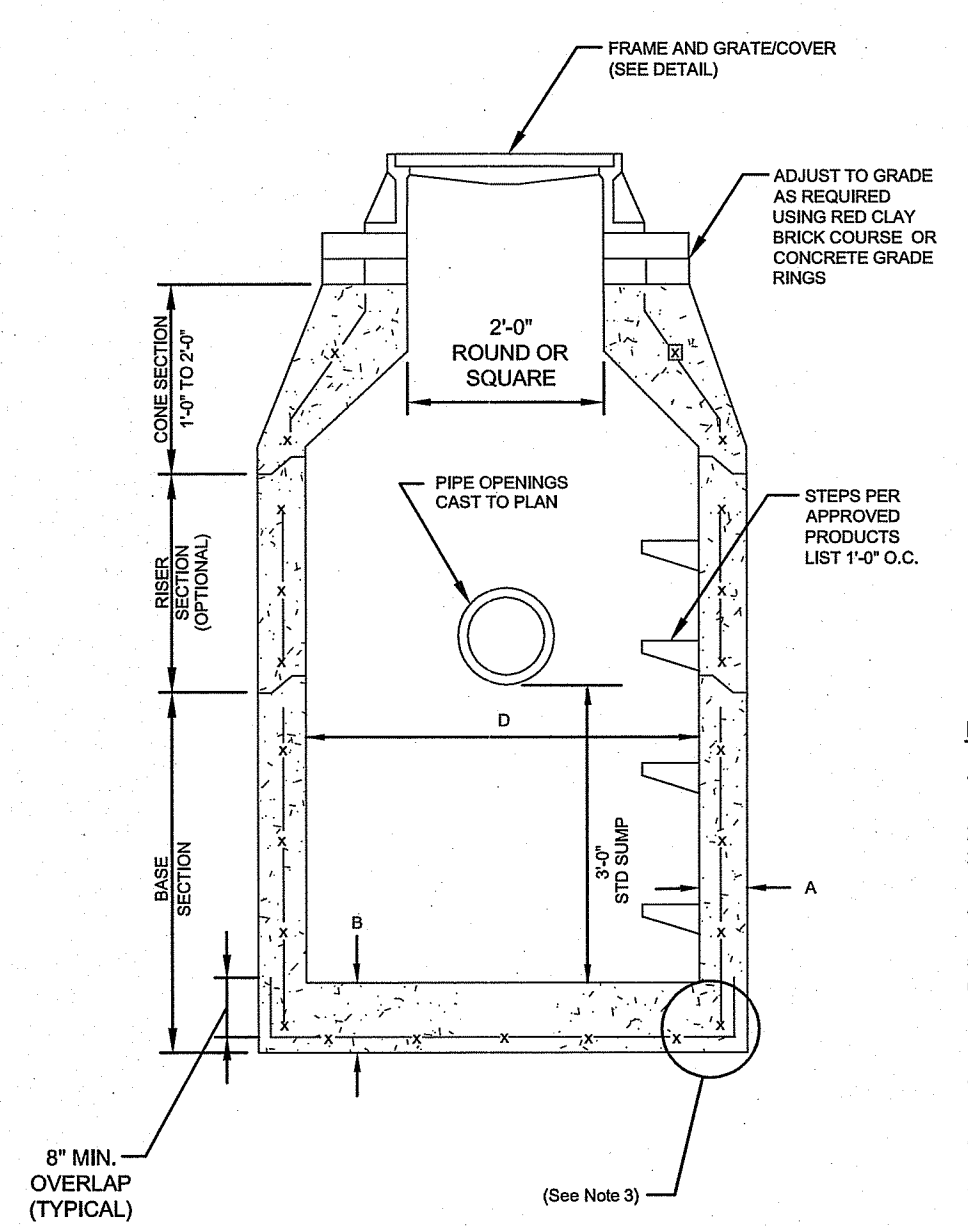
NOTES:
1. FOR SIDEWALK WIDTH, SEE SITE PLAN.
2. SEE SIDEWALK DETAIL BELOW FOR CONCRETE WORK ALONG MOUNT HOPE AVENUE.

TYPICAL CONCRETE WALKWAY
SCALE: NOT TO SCALE



NOTES:
1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

BALED STRAW EROSION CONTROL BARRIER
SCALE: NOT TO SCALE



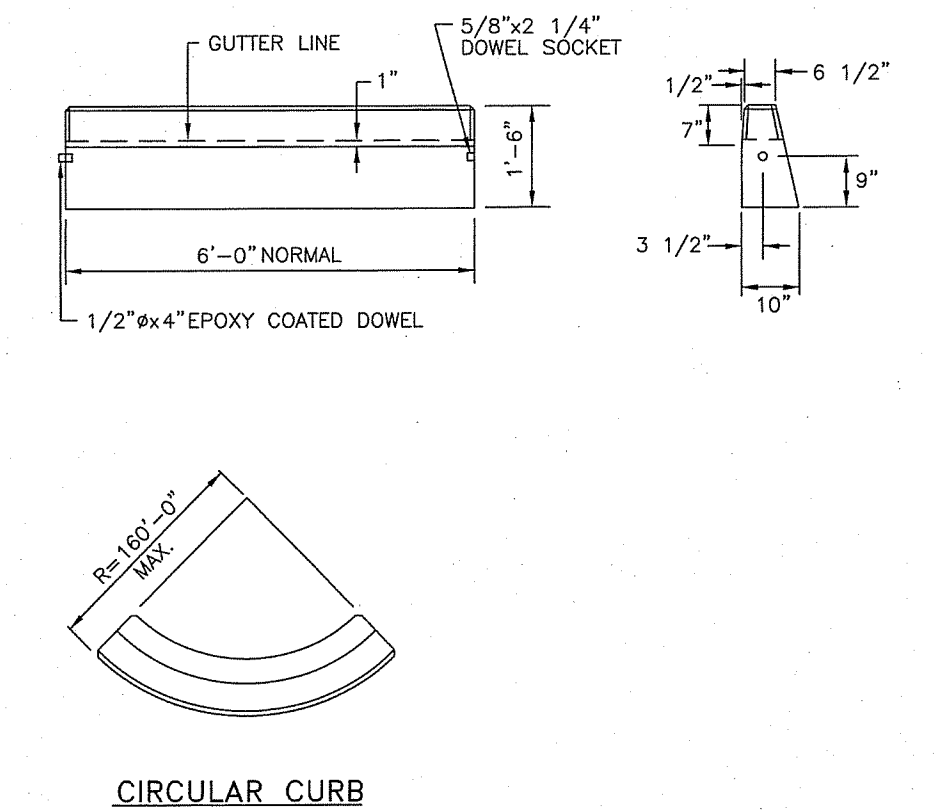
ALTERNATIVE TOP SLAB (See Notes 9 & 10)

CATCH BASIN DIAMETER (D)	AS REQUIRED		CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*
	A	B	
4'-0"	6"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.16 SQ. IN./LIN. FT.
8'-0"	9"	8"	REFER TO MANUFACTURER

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C476, ITEM 8.1.2

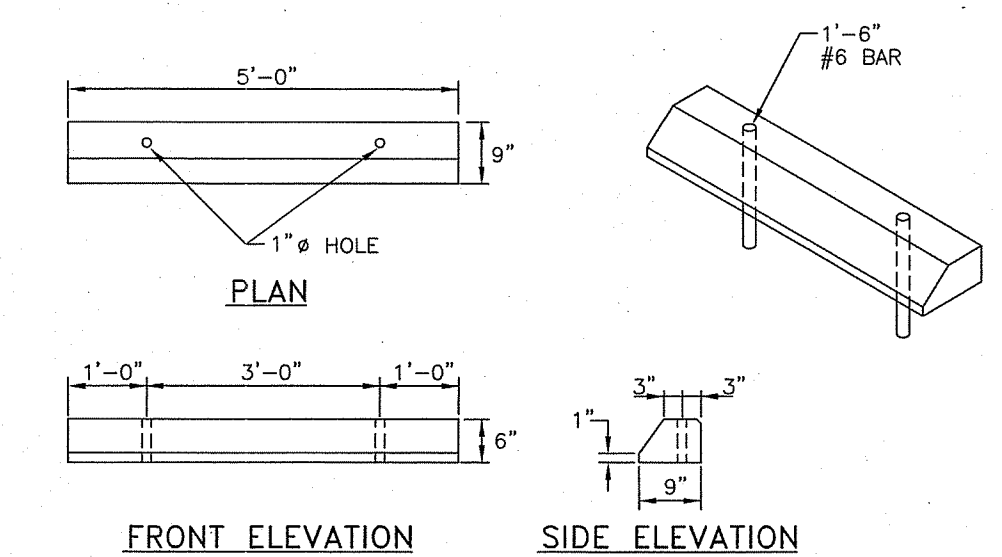
NOTES:
1. SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE POUR MONOLITHIC BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
8. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
9. ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
10. ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
11. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST ROUND CATCH BASIN & DRAIN MANHOLE (RIDOT 4.4.0)
SCALE: NOT TO SCALE



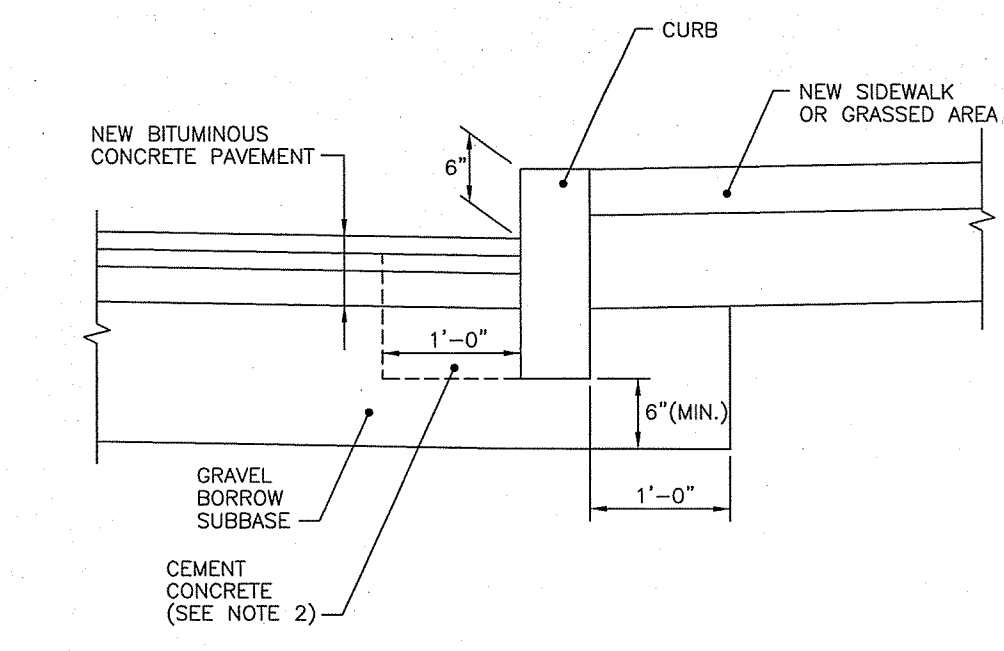
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE CURB (RIDOT STD 7.1.0)
SCALE: NOT TO SCALE



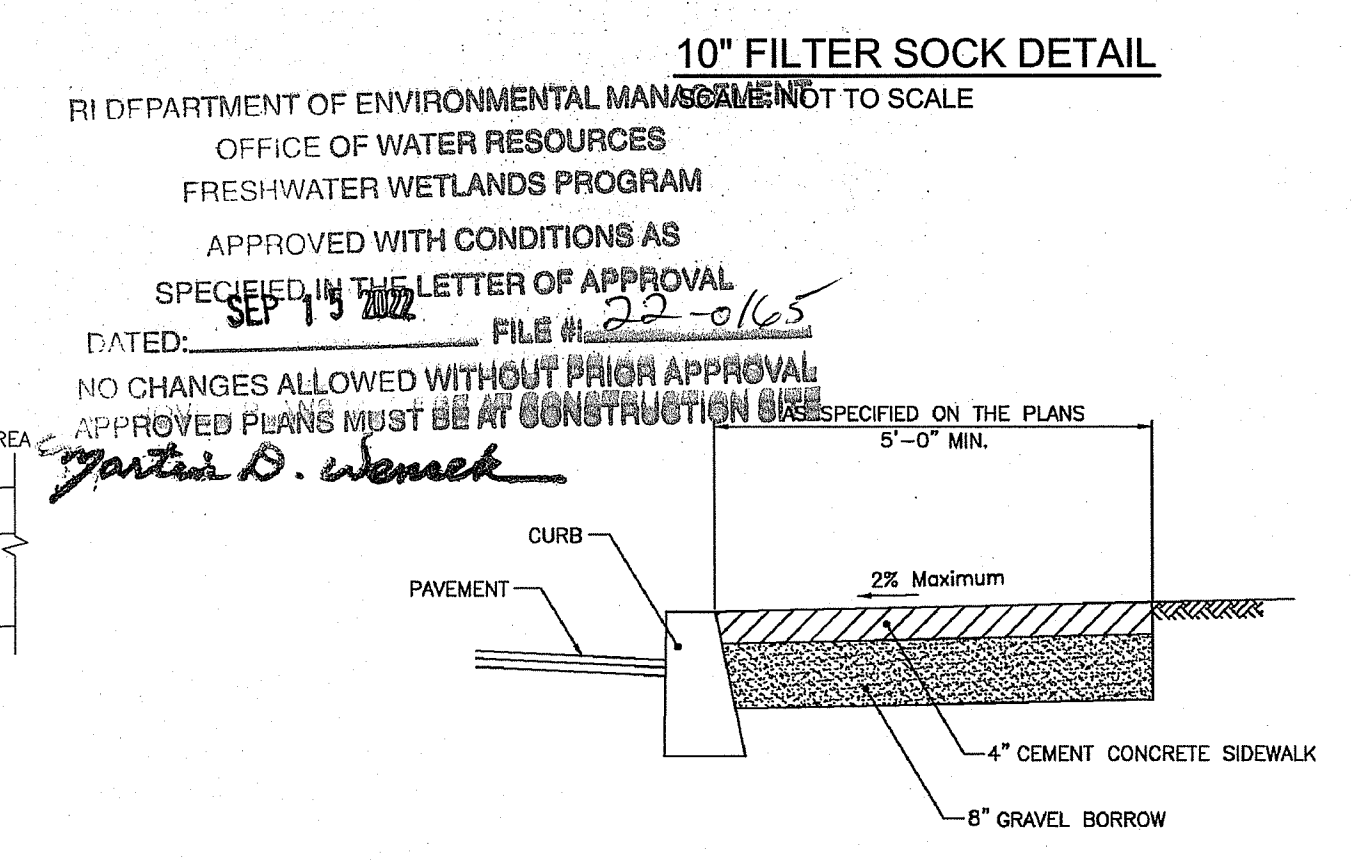
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

PRECAST CONCRETE CURB (RIDOT STD 7.2.4)
SCALE: NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

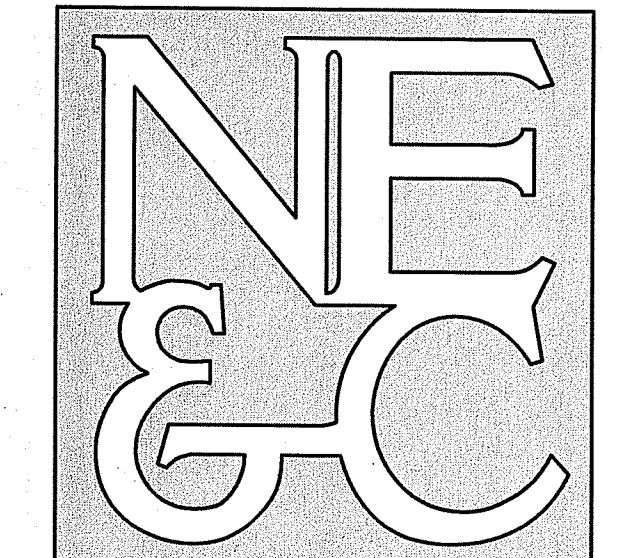
CURB SETTING DETAIL (RIDOT STD 7.6.0)
SCALE: NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

CEMENT CONCRETE SIDEWALK (RIDOT STD 43.1.0)
SCALE: NOT TO SCALE

1	RIDEM COMMENTS	12AUG22	
0	RIDEM SUBMISSION	27APR22	
No.	Revision	Date	App.
Designed By: JJR	Drawn by: JJR	Checked by: GES	
Scale: AS SHOWN	Date: REV. 12AUG22		
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348 ADAMS LANE			
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Drawing Title:			
PROPOSED			
DETAILS SHEET 1			
Drawing Number:		C-8	
Sheet		8 of 10	
Project Number:		21132.1	
Survey Index:			
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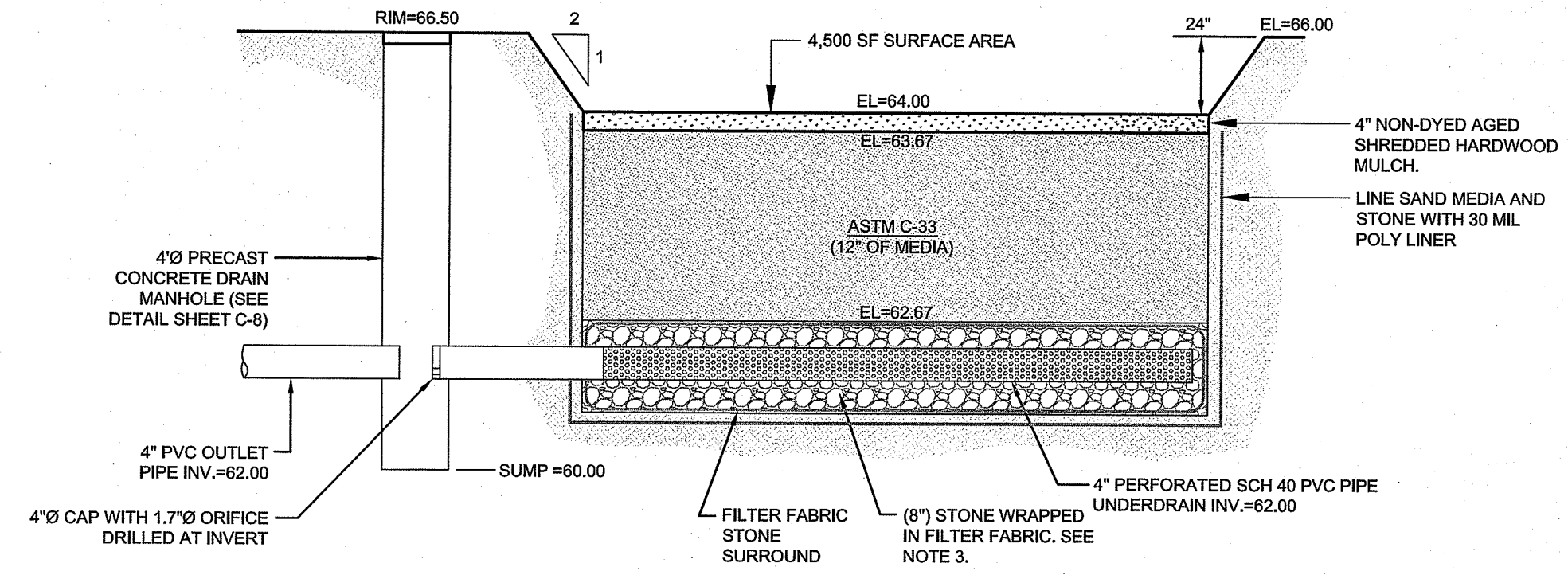
AREA TABLE

ELEVATION (FT)	AREA (SF)
66.00	6,489
64.00	5,515
64.00	4,500

MAX STORM ELEVATION TABLE

STORM	ELEVATION (FT)
WG*	63.72
1-YEAR	65.03
2-YEAR	65.09
10-YEAR	65.22
25-YEAR	65.28
100-YEAR	65.35

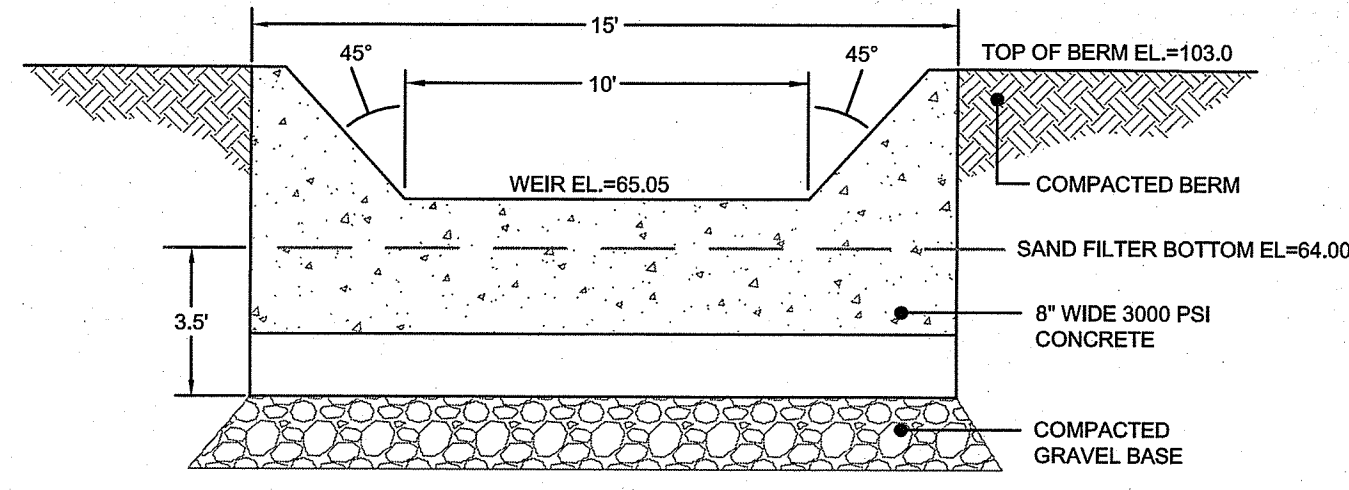
* SPLIT PERVIOUS METHOD



SAND FILTER NOTES:

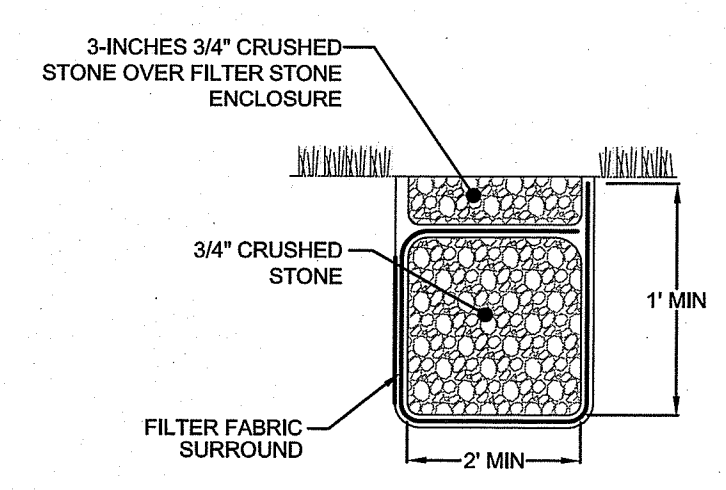
- SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
- SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.075" TO 0.0475"), SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.
- UNDERDRAIN STONE SHALL CONFORM TO AASHTO M-43, 0.25" TO 0.75". MATERIAL MUST BE WASHED CLEAN STONE.
- UNDERDRAIN SHALL BE SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D-1785 OR AASHTO M-278. PERFORATIONS SHALL BE 3/8" @ 6" ON CENTER. PIPE SHALL HAVE 2" OF STONE OVER PIPE. PIPE TO BE WRAPPED IN PERMEABLE GEOTEXTILE FABRIC.
- IMPERMEABLE LINER SHALL BE A 30 MIL POLY-LINER

SAND FILTER WITH UNDERDRAIN CROSS SECTION
SCALE: NOT TO SCALE



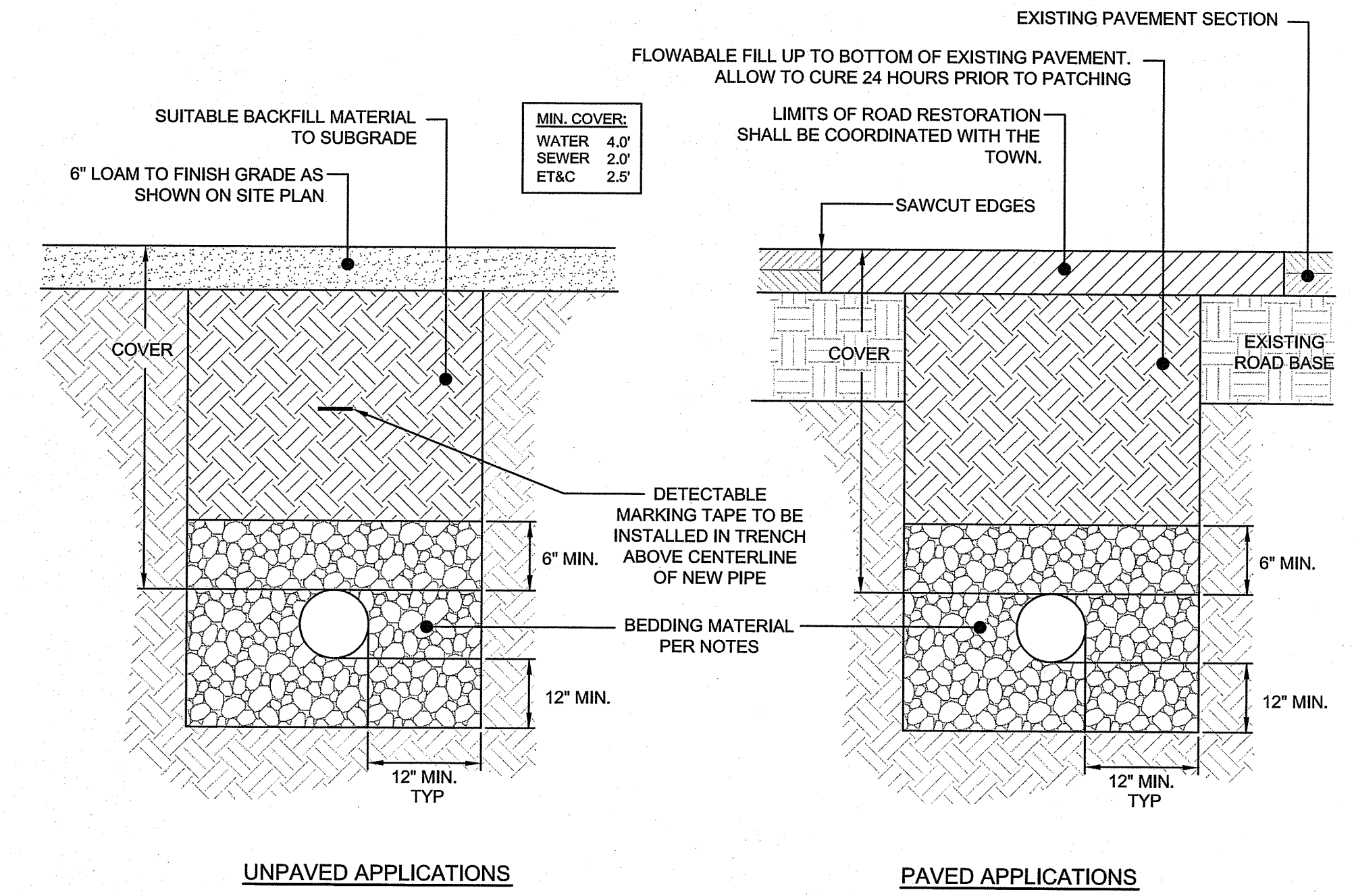
NOTE: THIS DETAIL IS APPLICABLE TO BOTH CONCRETE WEIRS.

SAND FILTER CONCRETE WEIR DETAIL
SCALE: NOT TO SCALE



- NOTES:**
- LEVEL SPREADER TO BE PROTECTED FROM SILTATION DURING CONSTRUCTION AND UNTIL ADJACENT VEGETATION IS FULLY ESTABLISHED. (ENGINEER TO DO FINAL INSPECTION).

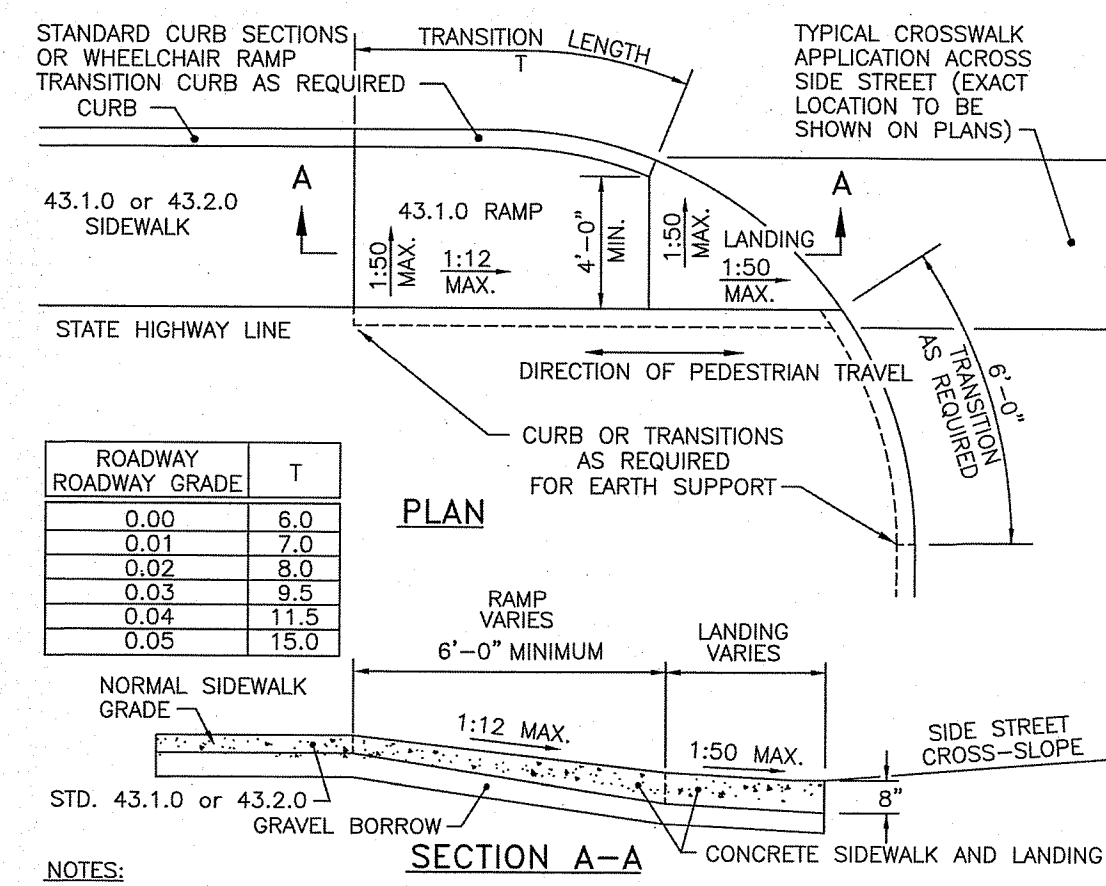
QPA STONE LEVEL SPREADER DETAIL
SCALE: NOT TO SCALE



TRENCH NOTES:

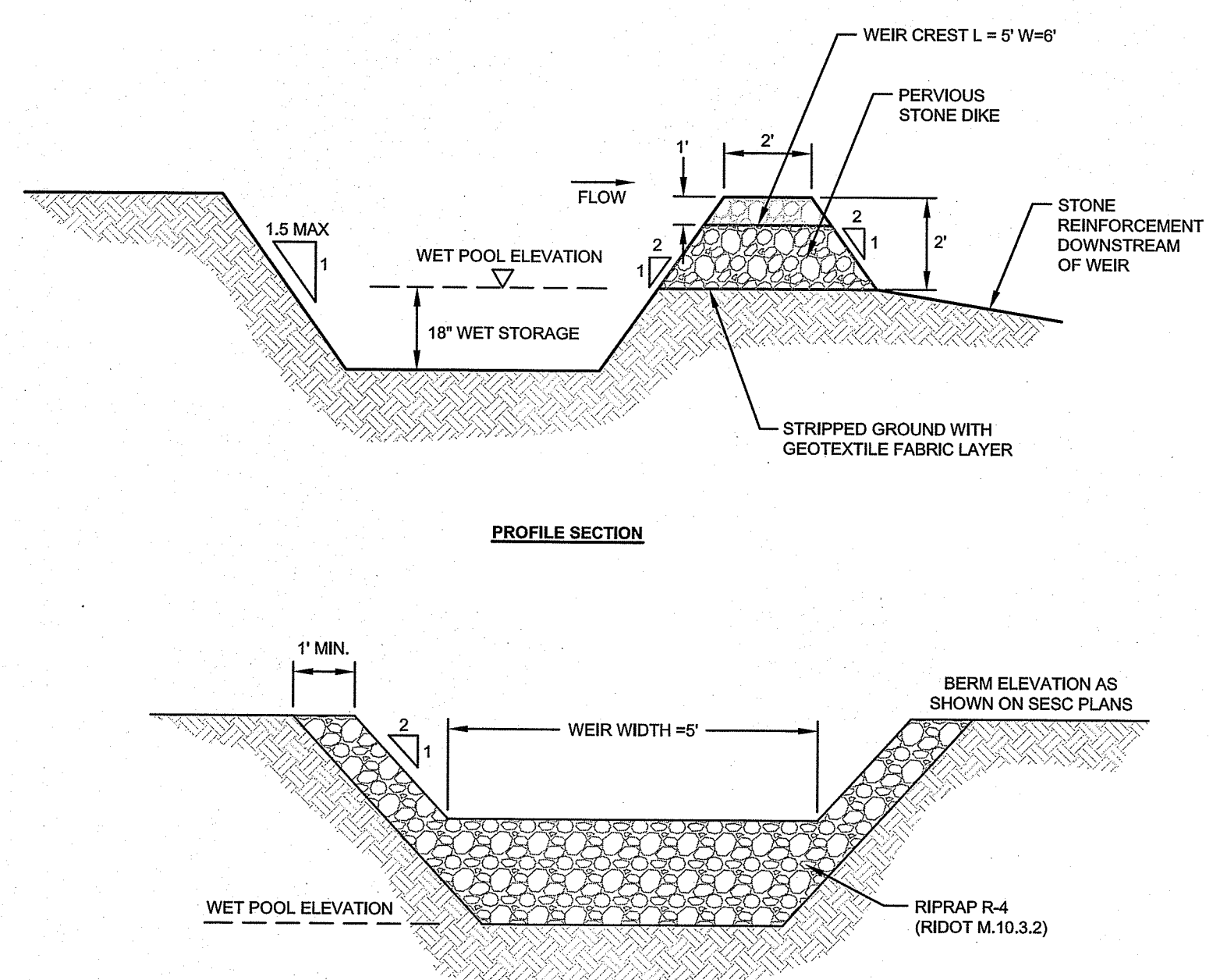
- UNSATURABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
- TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
- SEWER AND DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
- ALL PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
- ALL DRAIN PIPES SHALL BE PVC SCH40 UNLESS OTHERWISE INDICATED.
- ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F670.
- BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 90% MAXIMUM DENSITY (AASHTO T180). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
- SEWER AND DRAINAGE PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RI DOT STANDARD M.01.09 TYPE II MATERIAL.
- WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
- UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE TOWN OF BRISTOL PUBLIC WORKS DEPARTMENT.
- WHEN TRENCH EXCAVATION IS ADJACENT TO OR UNDER EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SHEETING AND BRACING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE FROM POSSIBLE SLIDES, CAVE-INS AND SETTLEMENT AND FOR PROPERLY SUPPORTING EXISTING STRUCTURES AND FACILITIES WITH BEAMS, STRUTS OR UNDERPINNING TO FULLY PROTECT THEM FROM DAMAGE.

UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 - THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
 - WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION SHALL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
 - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 - DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 - LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 - ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 - WHERE THE ROAD PROFILE EXCEEDS 3/4% THE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 - THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 - MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 - AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.

SIDEWALK ADA RAMP DETAIL
SCALE: NOT TO SCALE



TYPICAL TEMPORARY SEDIMENT TRAP DETAILS
SCALE: NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: SEP 15 2022 FILE # 22-066
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Martin D. Wenzel

No.	Revision	Date	App.
1	RIDEM COMMENTS	12AUG22	
0	RIDEM SUBMISSION	27APR22	

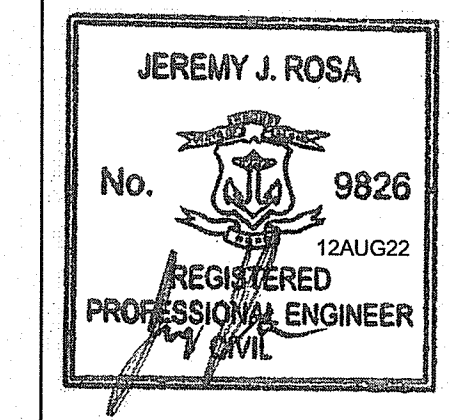
Designed By: JJR Drawn by: JJR Checked by: GES
Scale: AS SHOWN Date: REV. 12AUG22

Project Title:
BRISTOL SELF STORAGE
A.P. 41 LOT 4
180 MOUNT HOPE AVENUE
BRISTOL, RHODE ISLAND

Applicant:
DXD SS F1 LAND LLC
1718 CENTRAL AVENUE SW, SUITE B
ALBUQUERQUE, NM 87104

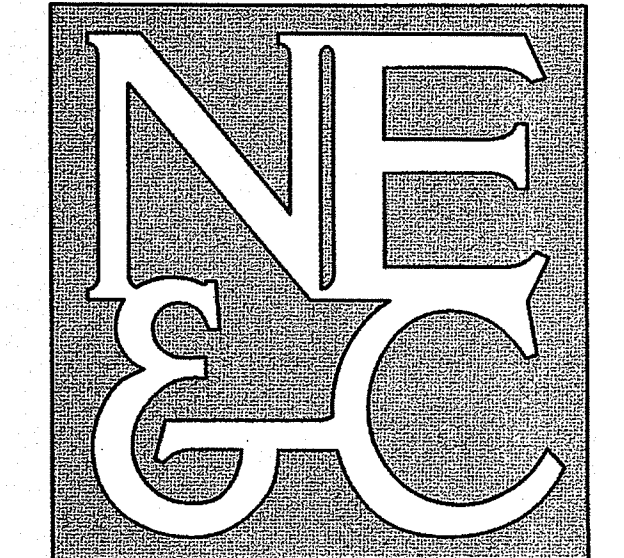
Owner:
MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885

Drawing Title:
**PROPOSED
DETAILS SHEET 2**



Drawing Number:
C-9
Sheet **9** of **10**
Project Number:
21132.1
Survey Index:

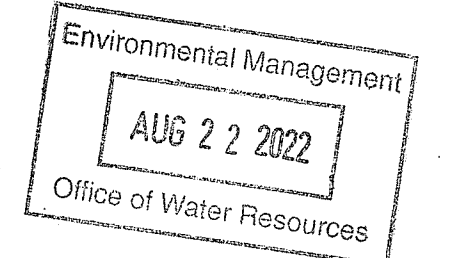
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PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



PLAN REFERENCES:

1. PLAN ENTITLED "PROPERTY LINE AND EXISTING CONDITIONS PLAN ASSESSORS' PLAT 41 LOT 4, ALTANSPS LAND TITLE SURVEY" PREPARED BY VANASSE HANGEN BRUSTLIN, INC. (VHB) DATED JULY 6, 2021.

NOTES:

1. NORTH ARROW REFERENCES GRID NORTH (RISP NAD83).
2. SUBJECT PARCEL FALLS WITHIN THE GENERAL BUSINESS (GB) ZONING DISTRICT.
3. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A PORTION OF A.P. 41 LOT 4 IN BRISTOL, RI TO CREATE TWO CONFORMING LOTS AND TO SHOW A CONSERVATION EASEMENT ACROSS BOTH PROPERTIES.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. NORTHEAST ENGINEERS & CONSULTANTS, INC. IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

LEGEND:

- PROPERTY LINE
- ADJUTTER PROPERTY LINE
- PROPOSED CONSERVATION EASEMENT
- PROPOSED SUBDIVISION LINE
- PROPOSED ACCESS OR PARKING EASEMENT

No.	Revision	Date	App.
2	REVISIONS TO PRELIMINARY SUBMISSION	09AUG22	
1	PRELIMINARY PLAN SUBMISSION	18MAY22	
0	RIDEM SUBMISSION	27APR22	

Designed By: _____ Drawn by: JJR Checked by: GES
Scale: 1"=40' Date: REV. 09AUG22

BRISTOL SELF STORAGE
A.P. 41 LOT 4
180 MOUNT HOPE AVENUE
BRISTOL, RHODE ISLAND

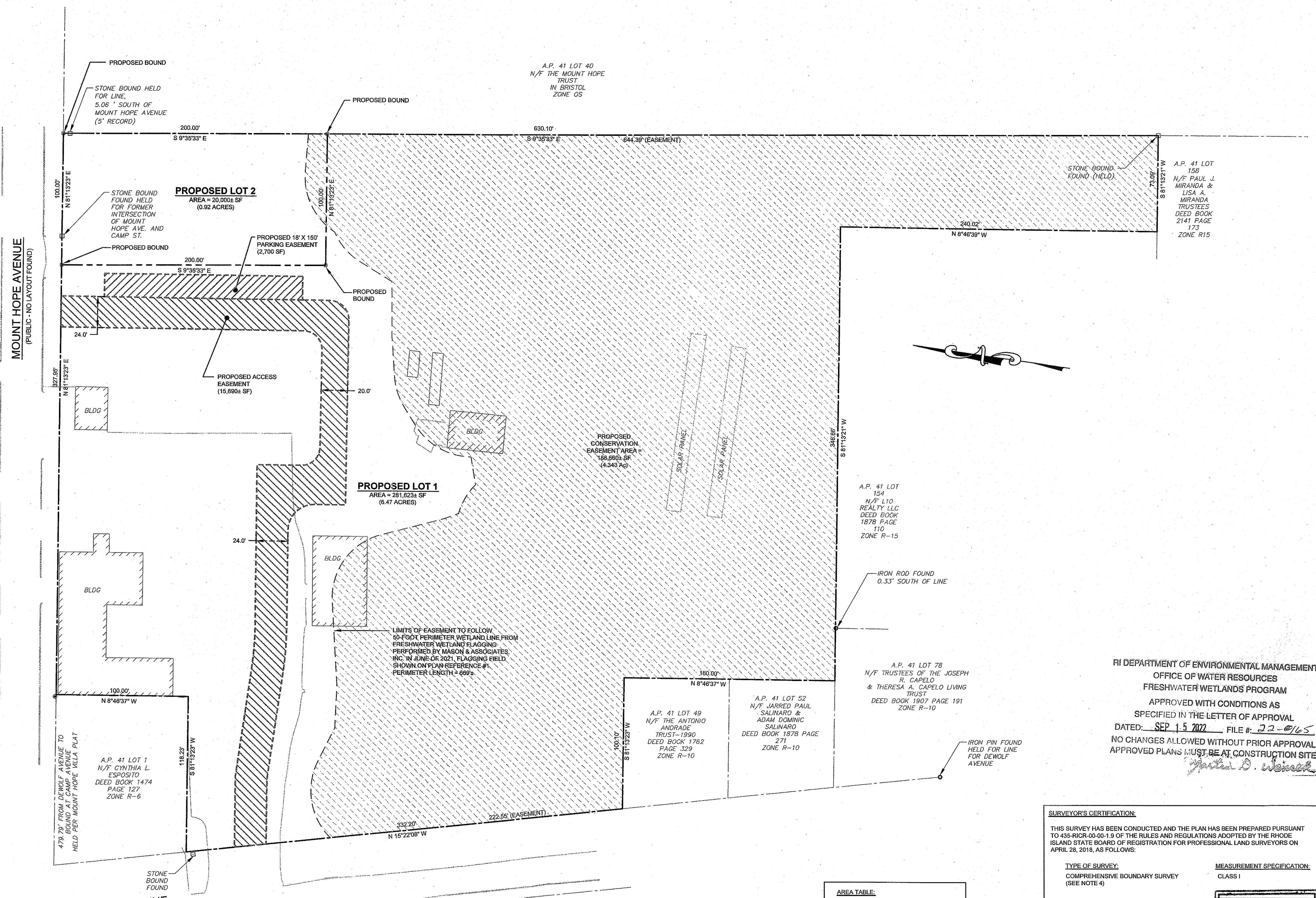
Applicant: DXD SS F1 LAND LLC
1718 CENTRAL AVENUE SW, SUITE B
ALBUQUERQUE, NM 87104

Owner: MOUNT HOPE LLC
348 ADAMS LANE
WARREN, RI 02885

PROPOSED SUBDIVISION PLAN

Drawing Number:	C-10
Sheet	10 of 10
Project Number:	21132.1
Survey Index:	---

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A.P. 43, LOT 91
N/F PATRICIA A. HUNTER LE
REM. CHRISTINA M. RESENDES
& BRIAN T. HUNTER TC
BK. 1821, PG. 331
ZONE R-10

WOODBINE ST.
(PUBLIC RIGHT OF WAY)

A.P. 43, LOT 49
N/F 189 MOUNT HOPE
AVE, LLC
BK. 1570, PG. 75
ZONE R-10

A.P. 43,
LOT 45
N/F GINA C.
DISANO
BK. 2026,
PG. 269
ZONE R-10

MILFORD ST.
(PUBLIC RIGHT OF WAY)

A.P. 43,
LOT 37
N/F JOHN R. & EVELYN T.
COCCIO LIFE ES
BK. 1116,
PG. 205
ZONE R-10

A.P. 43,
LOT 36
N/F
PAUL G. BRANCO
BK. 1405,
PG. 241
ZONE R-10

A.P. 43, LOT 35
N/F JAMES &
DIANE M. VIERA
BK. 264, PG. 264
ZONE R-10

A.P. 43, LOT 34
N/F JEFFREY P. &
ANGELA M. COULBERT, TE
BK. 2058, PG. 20
ZONE R-10

A.P. 43, LOT 11
N/F KATHY L. FRANCO
BK. 1923, PG. 311
ZONE R-6

MOUNT HOPE AVENUE
(PUBLIC - NO LAYOUT FOUND)

DEWOLF AVENUE
(PUBLIC - NO LAYOUT FOUND)

A.P. 38, LOT 1
N/F KIMBERLY A.
WALSH-SORENSEN & JAMES
SORENSEN TRUSTEES
BK. 1833, PG. 94
ZONE R-6

A.P. 38, LOT 2
N/F MICHAEL &
EUGENIA JT SANTOS
BK. 2008, PG. 101
ZONE R-10

A.P. 38, LOT 27
N/F JAMES F. RICCIO JT.
ETAL
BK. 389, PG. 303
ZONE R-10

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit
is not equivalent to a
verification of the type or extent
of freshwater wetlands on site

AREA TABLE:

A.P. 41 LOT 4	301,623± SF
PROPOSED LOT 1	281,623± SF
PROPOSED LOT 2	20,000± SF

ZONING DATA TABLE
GB GENERAL BUSINESS DISTRICT

MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH/FRONTAGE	100 FT.
MAXIMUM COVERAGE BY STRUCTURES	40%
MAXIMUM COVERAGE BY STRUCTURES AND PAVEMENT	70%
MAXIMUM HEIGHT OF PRINCIPAL BUILDING	35 FT.
MAXIMUM HEIGHT OF ACCESSORY BUILDING	35 FT.
MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY	25 FT.
MINIMUM YARD DIMENSIONS	
FRONT	25 FT.
SIDE	10 FT.
REAR	30 FT.

SURVEYOR'S CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY (SEE NOTE 4)
MEASUREMENT SPECIFICATION: CLASS 1

STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO DETERMINE AND MONUMENT THE LOCATION OF THE PROPERTY BOUNDARIES OF A.P. 41, LOT 4 AND TO SHOW A PROPOSED TWO (2) LOT COMMERCIAL SUBDIVISION OF LAND.

SEAN M. LEACH
No. 1907
PROFESSIONAL LAND SURVEYOR
SEAN M. LEACH
DINES 010122
COA No. 0334

