

ZONING: R-10 (10,000 S.F.)  
 SUB-STANDARD LOT OF RECORD  
 50' FRONTAGE  
 MINIMUM LOT WIDTH 100'  
 YARDS: FRONT 25'  
 SIDE 8'  
 REAR 20'

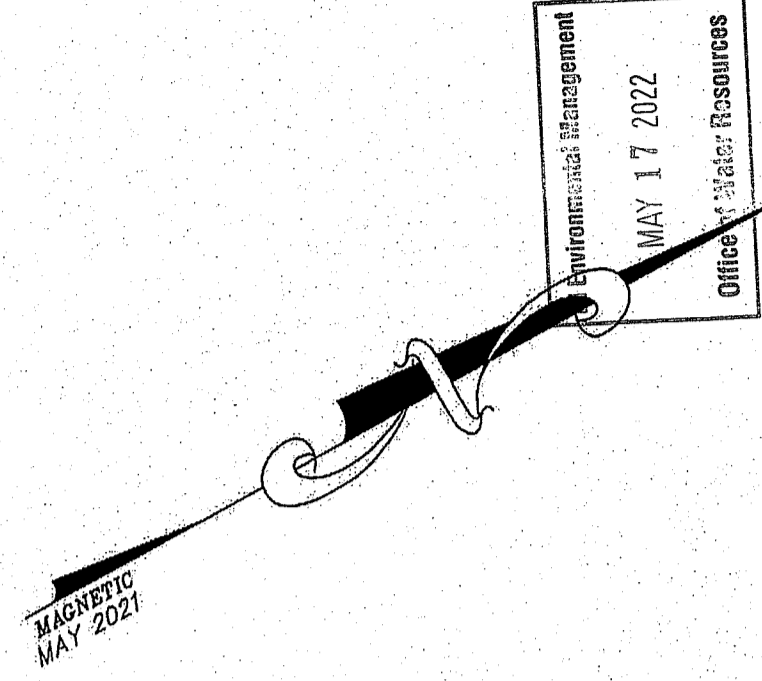
EXISTING LOT COVERAGE NOTE:

EXISTING DWELLING = 801 SQ. FT.  
 SHED = 64 SQ. FT.  
 REAR DECK / STAIRS = 218 SQ. FT.  
 FRONT DECK / STAIRS = 100 SQ. FT.  
 CONG. STAIRS = 25 SQ. FT.

TOTAL = 1,208 SQ. FT.  
 1,208 SQ. FT. / 5,000 SQ. FT. = 24.1% LOT COVERAGE

SURVEY STREET INDEX

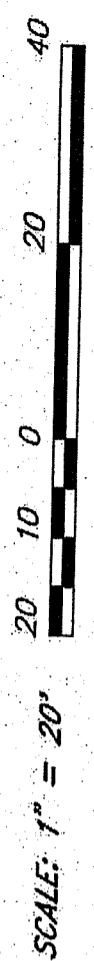
THIS PLAN SHALL BE FILED UNDER SEWELL ROAD



FLYNN SURVEYS INC.

22 STANTON AVENUE  
 NARRAGANSETT, R.I. 02882  
 401-783-6290

LAND SURVEYING / MAPPING / SITE PLANNING



PLAN REFERENCES:

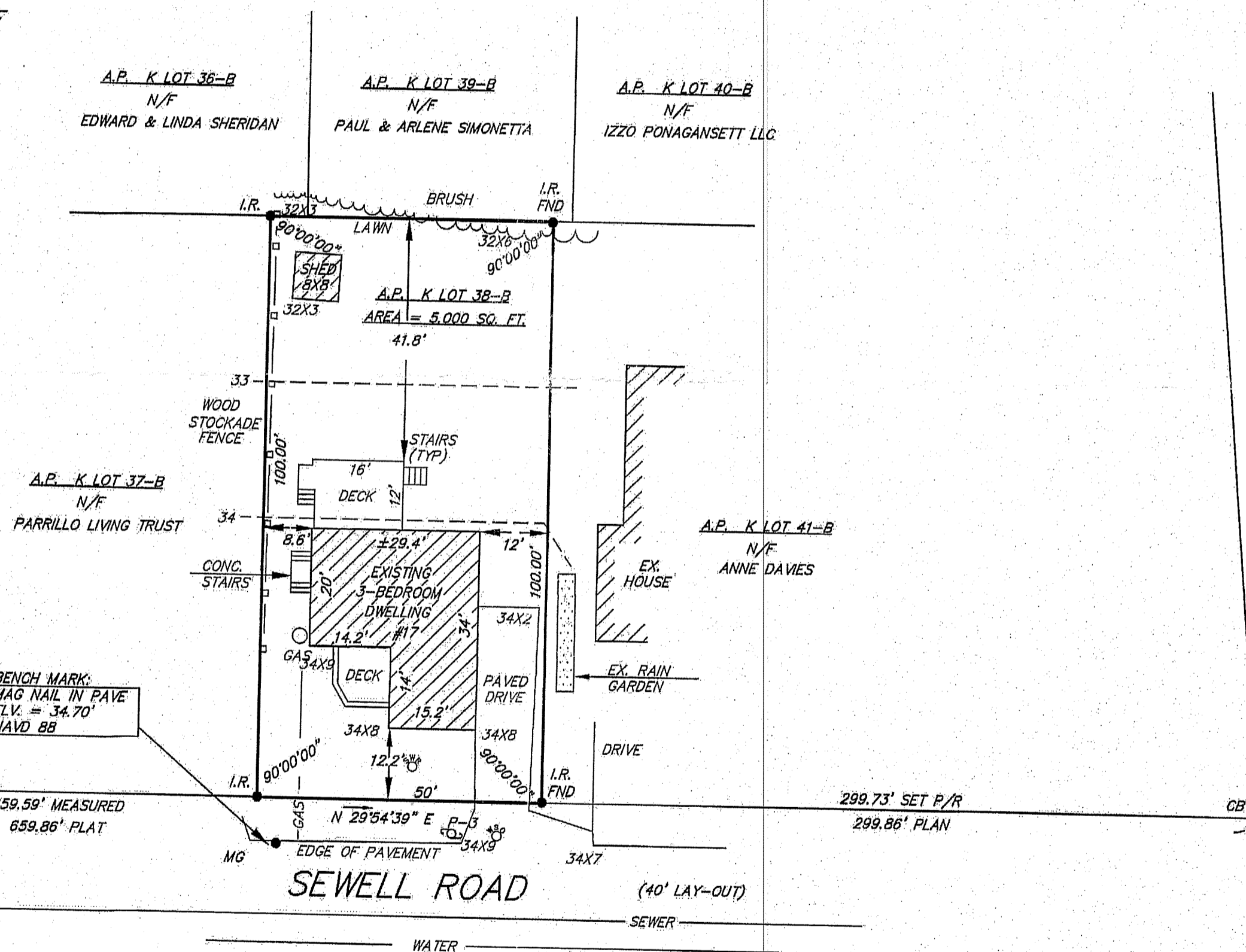
SCARBORO HILLS, SECTION B NARRAGANSETT, R.I. OWNED BY LAWRENCE F. COFFEY ET UX WALTER J. GRADY ENGR SEPTEMBER 1941 PLAT BOOK 18 PAGES 6 & 7

LEGEND

- A.P. ASSESSORS PLAT
- N/F NOW OR FORMERLY
- CB CONCRETE BOUND FOUND
- I.R. IRON ROD
- MG MAG NAIL
- FND FOUND
- ⊕ UTILITY POLE
- ⊗ SEWER MAN-HOLE
- ⊗ GAS GATE
- ⊗ WATER GATE
- ⊗ SEWER LATERAL PER TIES
- ⊗ WATER SERVICE
- 25 --- EXISTING CONTOUR
- 25X2 ELEVATION SPOT SHOT

GENERAL NOTES:

- 1.) SITE LIES IN ZONE "X" PER FEMA FLOOD INSURANCE MAP COMMUNITY PANEL # 44009 C 0213 J DATED:10/16/2013
- 2.) SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00 - 01 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:  
 COMPREHENSIVE BOUNDARY SURVEY CLASS 1  
 TOPOGRAPHIC SURVEY ACCURACY T-2  
 VERTICAL ACCURACY STANDARD V-2  
 STATEMENT OF PURPOSE:  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 EXISTING CONDITIONS PLAN  
 BY: JAMES G. FLYNN P.L.S. NO. 1904 CONF. A 288

DATE: MAY 30, 2021  
 SCALE: 1" = 20'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION #: 22-0179  
 DATED: MAY 26 2022

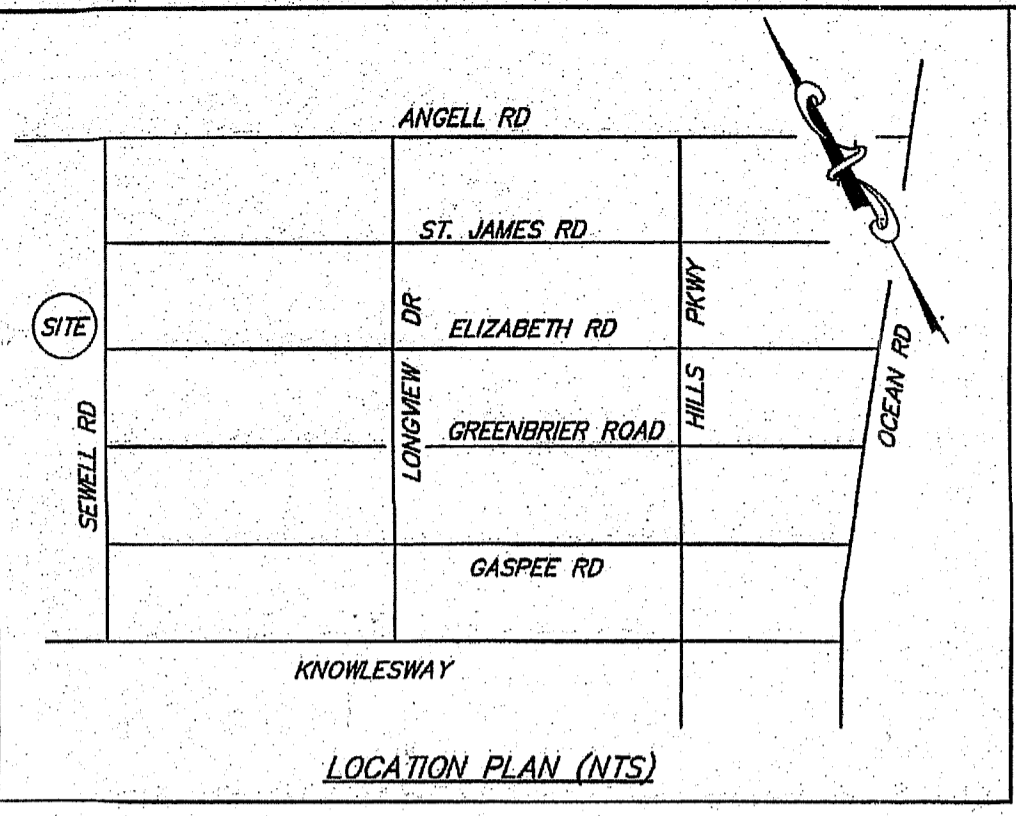
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

PREPARED FOR:  
 MORELAND & ANNA MARIE LORD  
 32 TANNERY HILL LANE  
 HEBRON, CT. 06248

SURVEY PLAN SHOWING  
 EXISTING CONDITIONS  
 ASSESSOR'S PLAT K LOT 12 B  
 17 SEWELL ROAD  
 NARRAGANSETT, R.I.

JOB NO. 1618  
 DRAWING NO. 1618



**PLAN REFERENCES:**  
 SCARBORO HILLS, SECTION B NARRAGANSETT, R.I. OWNED BY LAWRENCE F. COFFEY ET UX WALTER J. GRADY ENGR SEPTEMBER 1941 PLAT BOOK 18 PAGES 6 & 7

**SITE DATA:**  
**FLOOR AREA RATIO MATRIX:**

TIER	NET LOT AREA	FAR	MAXIMUM HARDSCAPE
4	4,001 - 5,000	0.40	50%

MAXIMUM FLOOR AREA ALLOWED 2,000 SQ. FT.  
 5,000(0.40) = 2,000 SQ. FT.  
**FLOOR AREA RATIO (FAR)**  
 THE AGGREGATE FLOOR AREA OF A BUILDING DIVIDED BY THE TOTAL NET LOT AREA OF THE GIVEN PARCEL EXPRESSED AS A DECIMAL

FIRST FLOOR	900 SQ. FT.
SECOND FLOOR - STAIRS	870 SQ. FT.
CHIMNEY 2' X 4'8"	9 SQ. FT.

PROPOSED (FAR) TOTAL = 1,779 SQ. FT.  
 1,779 SQ. FT. / 5,000 SQ. FT. = 35.6% TOTAL FAR

**HARDSCAPE:**

	MAX ALLOWED - 50%
HOUSE / PORCH	1050 SQ. FT.
STAIRS	44 SQ. FT.
DRIVEWAY	806 SQ. FT.

PROPOSED HARDSCAPE TOTAL = 1,900 SQ. FT.  
 1,900 SQ. FT. / 5,000 SQ. FT. = 38% TOTAL HARDSCAPE

**SOFTSCAPE:**

	MIN. REQUIRED - 50%
PROPOSED SOFTSCAPE TOTAL	
FRONT YARD = (1,250 SQ. FT.)	
638 SQ. FT. + / 18 SQ. FT. = 656 SQ. FT.	
656 SQ. FT. / 1,250 SQ. FT. = 54% SOFTSCAPE PROVIDED	

**EXISTING LOT COVERAGE NOTE:**

EXISTING DWELLING	= 801 SQ. FT.
SHED	= 64 SQ. FT.
REAR DECK / STAIRS	= 218 SQ. FT.
FRONT DECK / STAIRS	= 100 SQ. FT.
CONC. STAIRS	= 25 SQ. FT.
<b>TOTAL</b>	<b>= 1,208 SQ. FT.</b>

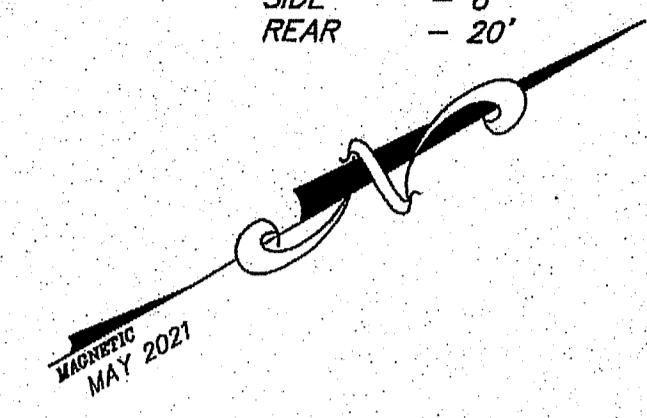
1,208 SQ. FT. / 5,000 SQ. FT. = 24.1% LOT COVERAGE

**PROPOSED LOT COVERAGE NOTE:**

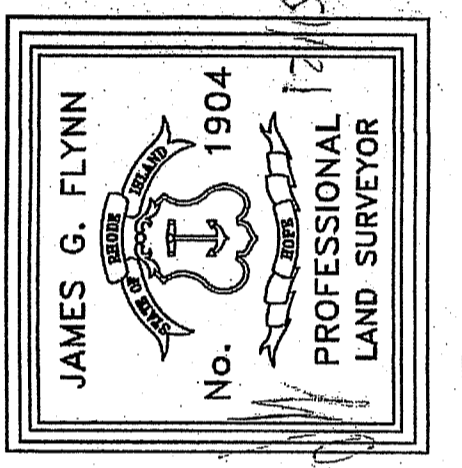
PROPOSED DWELLING	= 900 SQ. FT.
COVERED PORCH	= 150 SQ. FT.
REAR / STAIRS	= 24 SQ. FT.
FRONT / STAIRS	= 12 SQ. FT.
SIDE / STAIRS	= 8 SQ. FT.
<b>TOTAL</b>	<b>= 1,094 SQ. FT.</b>

1,094 SQ. FT. / 5,000 SQ. FT. = 21.9% LOT COVERAGE

**ZONING:** R-10 (10,000 S.F.)  
 SUB-STANDARD LOT OF RECORD  
 50' FRONTAGE  
 MINIMUM LOT WIDTH - 100'  
 YARDS: FRONT - 25'  
 SIDE - 8'  
 REAR - 20'



**FLYNN SURVEYS INC.**  
 22 STANTON AVENUE  
 NARRAGANSETT, R.I. 02882  
 401-783-6290  
 LAND SURVEYING / MAPPING / SITE PLANNING  
 SCALE: 1" = 20'



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00 - 01 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:  
 COMPREHENSIVE BOUNDARY SURVEY CLASS 1  
 TOPOGRAPHIC SURVEY ACCURACY 1-2  
 VERTICAL ACCURACY STANDARD 1-2  
 STATEMENT OF PURPOSE:  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 PROPOSED CONSTRUCTION PLAN  
 BY: JAMES G. FLYNN P.L.S. NO. 1904 CO#A 286  
 SCALE: 1" = 20'

**GENERAL NOTES:**

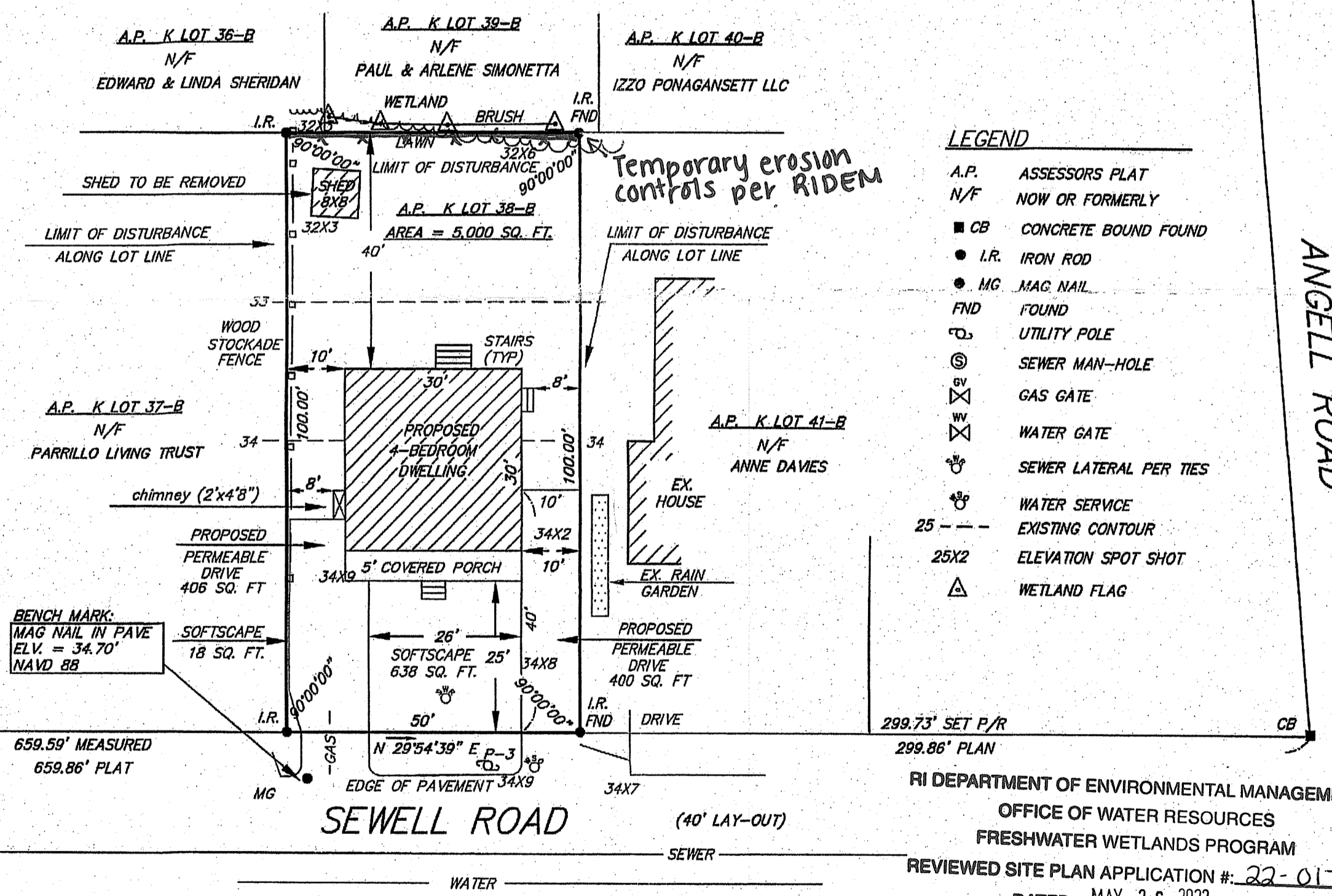
- 1.) SITE LIES IN ZONE "X" PER FEMA FLOOD INSURANCE MAP COMMUNITY PANEL # 44009 C 0213 J DATED: 10/16/2013
- 2.) SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
- 3.) FILTRATION SOCK AND OR SILT FENCE SHALL BE INSTALLED AT ALL DOWN GRADIENT LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- 4.) ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE PERMITS AND REGULATIONS.
- 5.) ALL PERMANENTLY DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD.
- 6.) PROPERTY LINES, PROP. HOUSE AND LIMITS OF WORK SHALL BE ACCURATELY LOCATED AND SURVEY STAKED PRIOR TO COMMENCEMENT OF ANY WORK
- 7.) ALL UTILITIES SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG-SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

**GRADING NOTES:**

SITE GRADING SHALL BE MINIMAL WITH NO PROPOSED GRADE CHANGES ANY GRADING SHALL NOT BE DIVERTED TO NEIGHBORING PROPERTIES

**WETLAND NOTE:**

WETLANDS FLAGGED BY WETLAND BIOLOGIST



**LEGEND**

- A.P. ASSESSORS PLAT
- N/F NOW OR FORMERLY
- CB CONCRETE BOUND FOUND
- I.R. IRON ROD
- MG MAG NAIL
- FND FOUND
- UTILITY POLE
- SEWER MAN-HOLE
- GAS GATE
- WATER GATE
- SEWER LATERAL PER TIES
- WATER SERVICE
- EXISTING CONTOUR
- 25X2 ELEVATION SPOT SHOT
- WETLAND FLAG

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION # 22-0179  
 DATED: MAY 26 2022  
 SEE LETTER OF SAME DATE  
 Nancy L. Freeman

**ZONING ORDINANCE SECTION 7.7 CERTIFICATION**

"THIS PLAN AND THE ACCOMPANYING CALCULATIONS FOR THE PROPOSED STORMWATER MANAGEMENT WAS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF NARRAGANSETT ZONING ORDINANCE SECTION 7.7" SUPPLEMENTARY DRAINAGE REQUIREMENTS" AND WAS DESIGNED TO CONFORM TO THE PROVISIONS THEREOF. I UNDERSTAND THAT THE TOWN OF NARRAGANSETT DOES NOT ASSUME LIABILITY FOR STORMWATER MANAGEMENT FACILITIES DESIGNED BY OTHERS."

BY: *Jan Kelly*  
 JAMES G. FLYNN P.L.S. NO. 1904  
 (NO DRAINAGE REQUIRED)

THIS PLAN SHALL BE FILED UNDER SEWELL ROAD  
 NOTE PER DEM: Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

PREPARED FOR:  
 MORELAND & ANNA MARIE LORD  
 32 TANNERY HILL LANE  
 HEBRON, CT. 06248

**SURVEY PLAN SHOWING**  
**PROPOSED CONSTRUCTION**  
**ASSESSOR'S PLAT K LOT 12 B**  
**17 SEWELL ROAD**  
**NARRAGANSETT, R.I.**

JOB NO. 1618  
 DRAWING NO. 1618-1