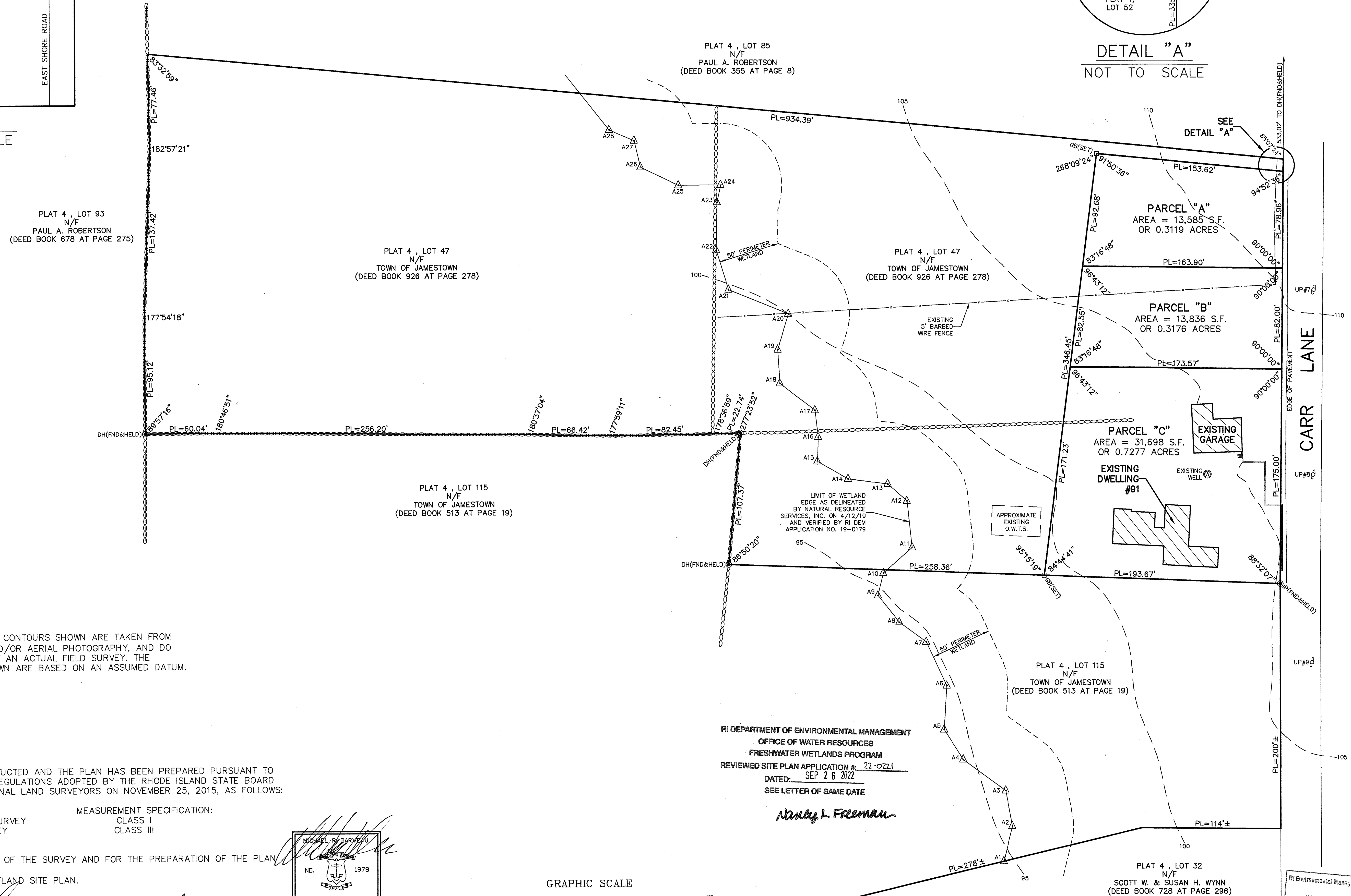
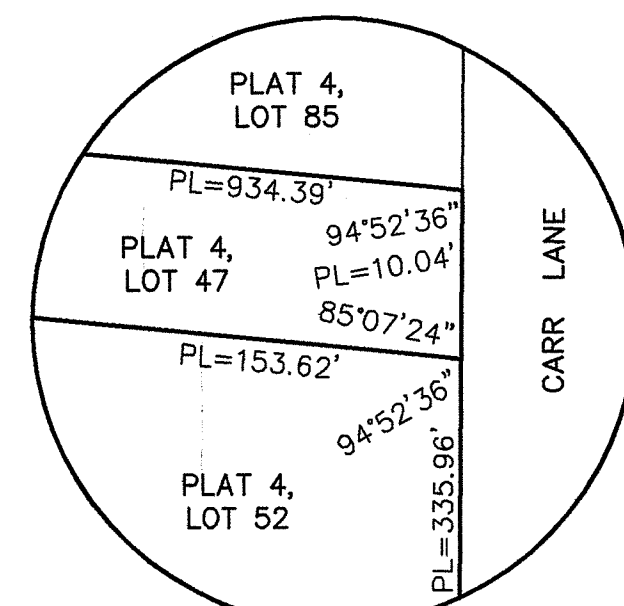


**LEGEND**

PL	PROPERTY LINE
DH	DRILL HOLE
IP	IRON PIPE
GB	GRANITE BOUND
FND	FOUND
N/F	NOW OR FORMERLY
S.F.	SQUARE FEET
A#	WETLAND FLAG NUMBER
NO.	NUMBER



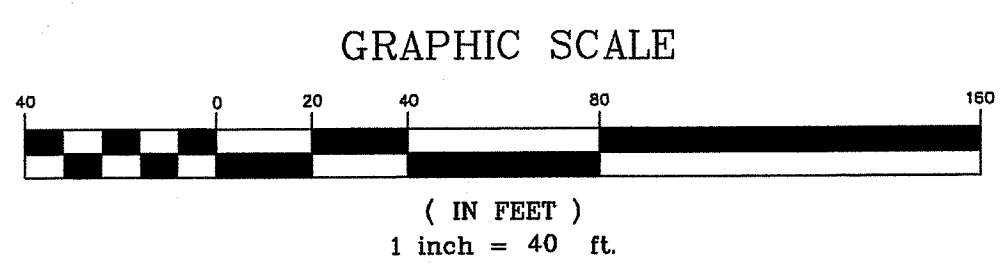
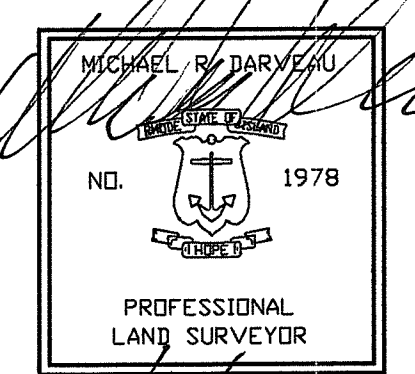
NOTE:  
THE EXISTING CONTOURS SHOWN ARE TAKEN FROM USGS MAPS AND/OR AERIAL PHOTOGRAPHY, AND DO NOT REPRESENT AN ACTUAL FIELD SURVEY. THE CONTOURS SHOWN ARE BASED ON AN ASSUMED DATUM.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: CLASS I CLASS III  
DATA ACCUMULATION SURVEY

STATEMENT OF PURPOSE:  
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
1) PREPARE A PROPOSED WETLAND SITE PLAN.

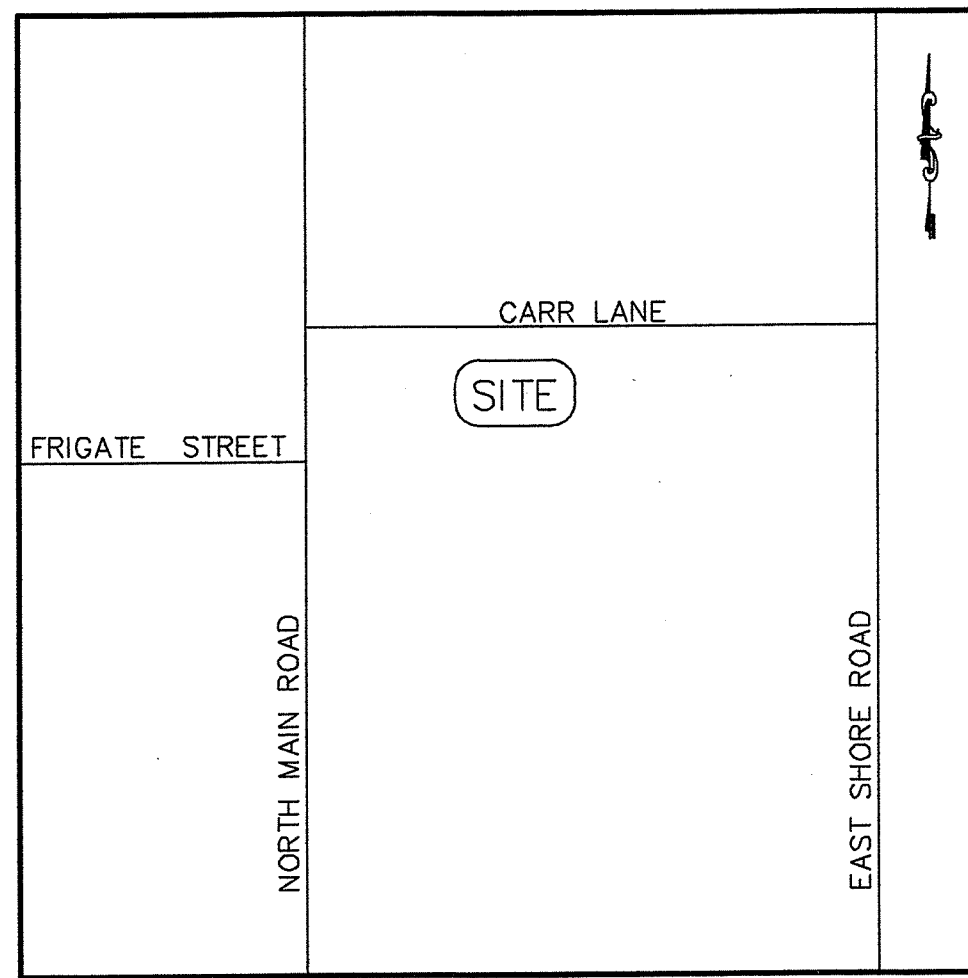
BY: *Michael R. Darveau*  
MICHAEL R. DARVEAU, PLS#1978  
PRESIDENT, DARVEAU LAND SURVEYING, INC.  
DATE: *6/14/22*  
COA #LS-A497



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION #: 22-0221  
DATED: SEP 26 2022  
SEE LETTER OF SAME DATE  
*Nancy L. Freeman*

RI Environmental Management  
JUN 14 2022  
Office of Water Resources

PROJECT NO: 2017_040	SCALE: 1" = 40'	REVISIONS:	PROPOSED WETLAND SITE PLAN FOR <b>CHURCH COMMUNITY HOUSING CORP.</b>	
	DRAWN BY: S.A.K.		PLAT 4, LOT 52 91 CARR LANE JAMESTOWN, RHODE ISLAND	
SHEET NO: 1 OF 2	DATE: JUNE 14, 2022		DARVEAU LAND SURVEYING, INC. P.O. BOX 7918 CUMBERLAND, R.I. 02864 PHONE 401-475-5700 E-MAIL: MIKE@DARVEAUSURVEY.COM	



**LEGEND**

PL	PROPERTY LINE
N/F	NOW OR FORMERLY
S.F.	SQUARE FOOT
UP	UTILITY POLE
TH	TEST HOLE
LT	LEDGE TEST HOLE
ELEV.	ELEVATION
TYP.	TYPICAL
--W--	WATER LINE
T	TOP OF WALL
B	BOTTOM OF WALL

**ZONING INFORMATION:**  
 THE PARCEL IS ZONED: RR-200  
 MINIMUM LOT AREA = 200,000 S.F.  
 MINIMUM LOT WIDTH/FRONTAGE = 300 FEET  
 MINIMUM BUILDING SETBACKS:  
 FRONT YARD = 50 FEET  
 SIDE YARD = 40 FEET  
 REAR YARD = 50 FEET  
 MAXIMUM LOT COVERAGE = 5%  
 MAXIMUM BUILDING HEIGHT = 35 FEET  
 MINIMUM ACCESSORY BUILDING SETBACKS:  
 SIDE YARD = 20 FEET  
 REAR YARD = 20 FEET

**TABLE OF PROPOSED ELEVATIONS:**

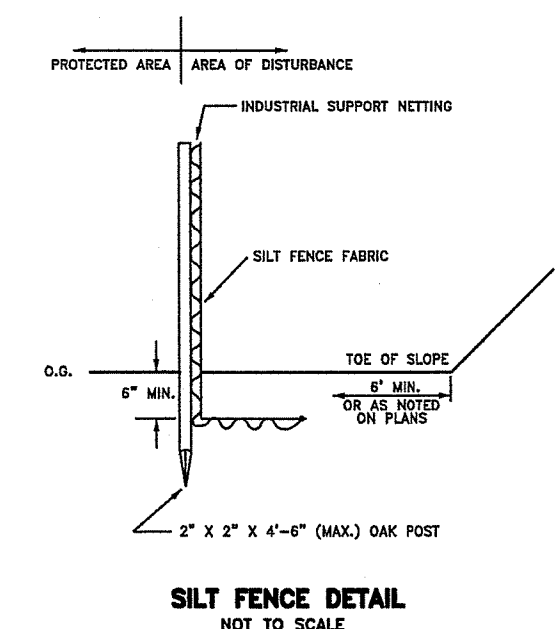
PARCEL "A" DWELLING:	
GROUND AT TH#1	111.9
TOP OF FOUNDATION	115.00
ENTRY LEVEL	116.00
MAIN FLOOR LEVEL	120.50
LOWER LEVEL SLAB	111.50
GARAGE SLAB	111.17
PARCEL "A" LEACH FIELD:	
BOTTOM OF GEOMAT	112.50-112.00
FINISH GRADE OVER GEOMAT	113.25-112.75
5' AWAY BREAK-OUT	112.60-112.10
PARCEL "B" DWELLING:	
TOP OF FOUNDATION	111.50
ENTRY LEVEL	112.50
MAIN FLOOR LEVEL	117.00
LOWER LEVEL SLAB	108.00
GARAGE SLAB	107.67
PARCEL "B" LEACH FIELD:	
BOTTOM OF GEOMAT	109.00
FINISH GRADE OVER GEOMAT	109.75-110.00
5' AWAY BREAK-OUT	109.10
PARCEL "C" LEACH FIELD:	
BOTTOM OF GEOMAT	105.00-103.50
FINISH GRADE OVER GEOMAT	105.75-104.25
5' AWAY BREAK-OUT	105.10-103.60

**SOIL EVALUATION TABLE OF ELEVATIONS:**

GROUND AT TH#1	111.9
WATER TABLE AT TH#1	109.9
GROUND AT TH#2	110.2
WATER TABLE AT TH#2	107.9
GROUND AT TH#3	109.3
WATER TABLE AT TH#3	106.3
GROUND AT TH#4	108.1
WATER TABLE AT TH#4	106.1
GROUND AT TH#5	106.7
WATER TABLE AT TH#5	104.7
GROUND AT TH#6	104.3
WATER TABLE AT TH#6	101.8
GROUND AT TH#7	104.3
WATER TABLE AT TH#7	102.3

**GENERAL NOTES:**

- THE PARCEL IS PLAT 4, LOT 52.
- THE TOTAL PARCEL AREA IS 59,119 S.F. OR 1.3572 ACRES.
- THE EXISTING DWELLING ADDRESS IS 91 CARR LANE.
- SEE DEED BOOK 116 AT PAGE 66 FOR TITLE REFERENCE.
- THE PARCEL IS ZONED: RR-200.
- THE BASIS OF BEARING SHOWN ON THIS PLAN WAS TAKEN FROM A MAGNETIC READING PERFORMED DURING SURVEY FIELD WORK ON MARCH 1, 2018.
- THERE WERE NO AREAS OF EXISTING OR POTENTIAL AGRICULTURAL USE ON THE PARCEL AT THE TIME OF SURVEY.
- THERE WERE NO COMMUNITY LANDMARKS, HISTORIC CEMETERIES, HISTORIC STRUCTURES, OR IMMEDIATELY ADJACENT TO THE PARCEL AT THE TIME OF SURVEY.
- THERE ARE NO PROPOSED ADDITIONAL OPEN SPACE AREAS AS A RESULT OF THIS PLAN.
- THERE WERE NO SCENIC VIEWS TO, FROM OR WITHIN THE PARCEL AT THE TIME OF SURVEY.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL APPEARS TO BE LOCATED WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FEMA FLOOD MAP 44005C0086J FOR THE TOWN OF JAMESTOWN, EFFECTIVE DATE: SEPT. 4, 2013.
- THERE ARE NO PROPOSED STUMP DUMPS AS A RESULT OF THIS PLAN.
- THERE WAS NO RESERVOIR OR TRIBUTARY STREAM OBSERVED WITHIN 500-FOOT OF THE SITE AT THE TIME OF SURVEY.



**LOCUS**  
NOT TO SCALE

**SEDIMENTATION AND EROSION CONTROL:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION & EROSION CONTROL.
- EMBANKMENT SLOPES & ALL DISTURBED AREAS ARE TO RECEIVE A LAYER OF TOPSOIL (LOAM) AND SEED.
- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING AND PRIOR TO ANY ROUGH GRADING, A TEMPORARY SILT FENCE OR HAY BALES SHALL BE PLACED AT THE LIMIT OF PERMANENT DISTURBANCE PER PLAN.
- ALL EROSION & SEDIMENTATION CONTROL SHALL BE PERIODICALLY MAINTAINED DURING BUILDING CONSTRUCTION BY THE CONTRACTOR.

**EROSION & SOIL STABILIZATION PROGRAM:**

- TEMPORARY TREATMENTS SHALL CONSIST OF A SILT FENCE, HAY BALES OR PROTECTIVE COVERS SUCH AS FABRIC MATS.
- THE SILT FENCE OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVER IS ESTABLISHED.
- NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCT. 15.
- ALL FILL, IF REQUIRED, SHALL BE CLEAN AND THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RIDWP STANDARD SPECIFICATION SECTION 202.

**SEDIMENTATION CONTROL PROGRAM:**

- A TEMPORARY SILT FENCE, HAY BALES OR PROTECTIVE COVER SHALL BE INSTALLED PRIOR TO CONSTRUCTION & SHALL BE MAINTAINED ON A DAILY BASIS. IN ADDITION TO THE LINE OF THE SILT FENCE AT THE LIMIT OF PERMANENT DISTURBANCE, TEMPORARY BARRIERS SHALL BE CONSTRUCTED AT THE TOE OF THE DISTURBED (CUT OR FILL) SLOPES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED.
- ALL HAY BALES USED WITH THE SILT FENCE ARE TO HAVE TWO STAKES DRIVEN INTO EACH HAY BALE.
- THE SILT FENCE AND HAY BALES ARE TO BE INSPECTED DAILY AND REPLACED AS NEEDED.
- ALL SEDIMENTATION AND EROSION CONTROLS MUST BE INSTALLED AND PASS THE TOWN OF JAMESTOWN'S INSPECTION PRIOR TO ANY CONSTRUCTION WORK.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

**SLOPE STABILIZATION AND VEGETATION:**

- THE SILT FENCE OR HAY BALES SHALL BE PLACED AT THE TOE OF ALL DISTURBED SLOPES. THIS SHALL BE MAINTAINED AS A SEDIMENT BARRIER UNTIL THE SLOPES ARE STABILIZED WITH GRASS.
- THE DISTURBED SLOPES (CUT OR FILL) SHALL BE IMMEDIATELY MULCHED AS AN EROSION PROTECTION MEASURE.
- MAINTAIN MULCH UNTIL THE SLOPES ARE STABILIZED WITH A SATISFACTORY GROWTH OF GRASS.
- VEGETATION REMOVED MAY BE SHREDDED AND CHIPPED ON SITE FOR USE AS MULCH, OR IT MAY BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- THE RESEEDING OF THE DISTURBED SLOPES SHALL BE CONDUCTED WITH SEED MATERIALS SELECTED FOR PRODUCTION OF A QUICK COVER AND HARDY STAND. PARTICULARLY A CONSERVATION GRASS SEED OR COMPARABLE. THE SEEDING SHALL BE IN ACCORDANCE WITH COMMON NURSERY PRACTICE IN THE RHODE ISLAND AREA.
- PROVIDED THAT THE PROVISIONS OF THE SEDIMENTATION & EROSION CONTROL PLAN ARE IMPLEMENTED, THERE WILL BE NO ADVERSE ENVIRONMENTAL EFFECTS FROM THE PROPOSED CONSTRUCTION.

**VEGETATED SWALE NOTES:**

- VEGETATED SWALES SHALL HAVE MODERATE SIDE SLOPES FLATTER THAN 3:1 FOR MOST CONDITIONS.
- VEGETATED SWALES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 4% (E.G. 4 FOOT DROP OVER A HORIZONTAL DISTANCE OF 100 FEET).
- VEGETATED SWALES SHALL BE INSPECTED ANNUALLY AND SHOULD BE INSPECTED AFTER LARGE STORM EVENTS.
- ERODED SIDE SLOPES AND CHANNEL BOTTOMS SHALL BE STABILIZED AS NECESSARY.
- IF THE SURFACE OF THE VEGETATED SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP ANY HARD-PAKED SEDIMENT, AND THEN RESEDED.
- VEGETATION IN SWALES SHALL BE MOWED AS REQUIRED TO MAINTAIN MINIMUM GRASS HEIGHTS IN THE 4-6 INCHES RANGE.
- EVERY FIVE YEARS, THE CHANNEL BOTTOM SHOULD BE SCRAPED TO REMOVE SEDIMENT AND TO RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE, AND SHOULD BE SEED TO RESTORE GROUND COVER, WHERE NECESSARY.
- GRASSES OR SEDGES ARE TYPICALLY USED IN VEGETATED SWALES, BUT OTHER NATIVE PLANTS CAN BE USED IN ACCORDANCE WITH THE RHODE ISLAND COASTAL PLANT GUIDE, WHICH IS LOCATED AT CELS.URI.EDU/TESTSITE/COASTALPLANTS/COASTALPLANTGUIDE.HTM.
- THE VEGETATED SWALE SHALL BE PHYSICALLY DELINEATED PRIOR TO THE START OF CONSTRUCTION TO PREVENT ADDITIONAL COMPACTION.

**DRAINAGE COMPUTATIONS:**

THE PURPOSE OF THESE DRAINAGE COMPUTATIONS IS TO DETERMINE THE REQUIRED STORM WATER CONTROLS FOR EACH PROPOSED 1,216 S.F. DWELLING. THESE COMPUTATIONS WILL SATISFY THE TOWN REQUIREMENTS BY DEMONSTRATING THAT THE INCREASE IN THE DIFFERENCE BETWEEN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT VOLUME OF RUNOFF FROM A 10-YEAR, 24-HOUR STORM EVENT WILL BE CONTAINED ON SITE.

THE TOWN REQUIRES THE USE OF RUN-OFF COEFFICIENTS AS FOLLOWS:

- TIMBER/FOREST = 15%
- LAWN (0-5% SLOPE) = 15%
- COMPACTED GRAVEL = 75%
- ROOFS = 95%

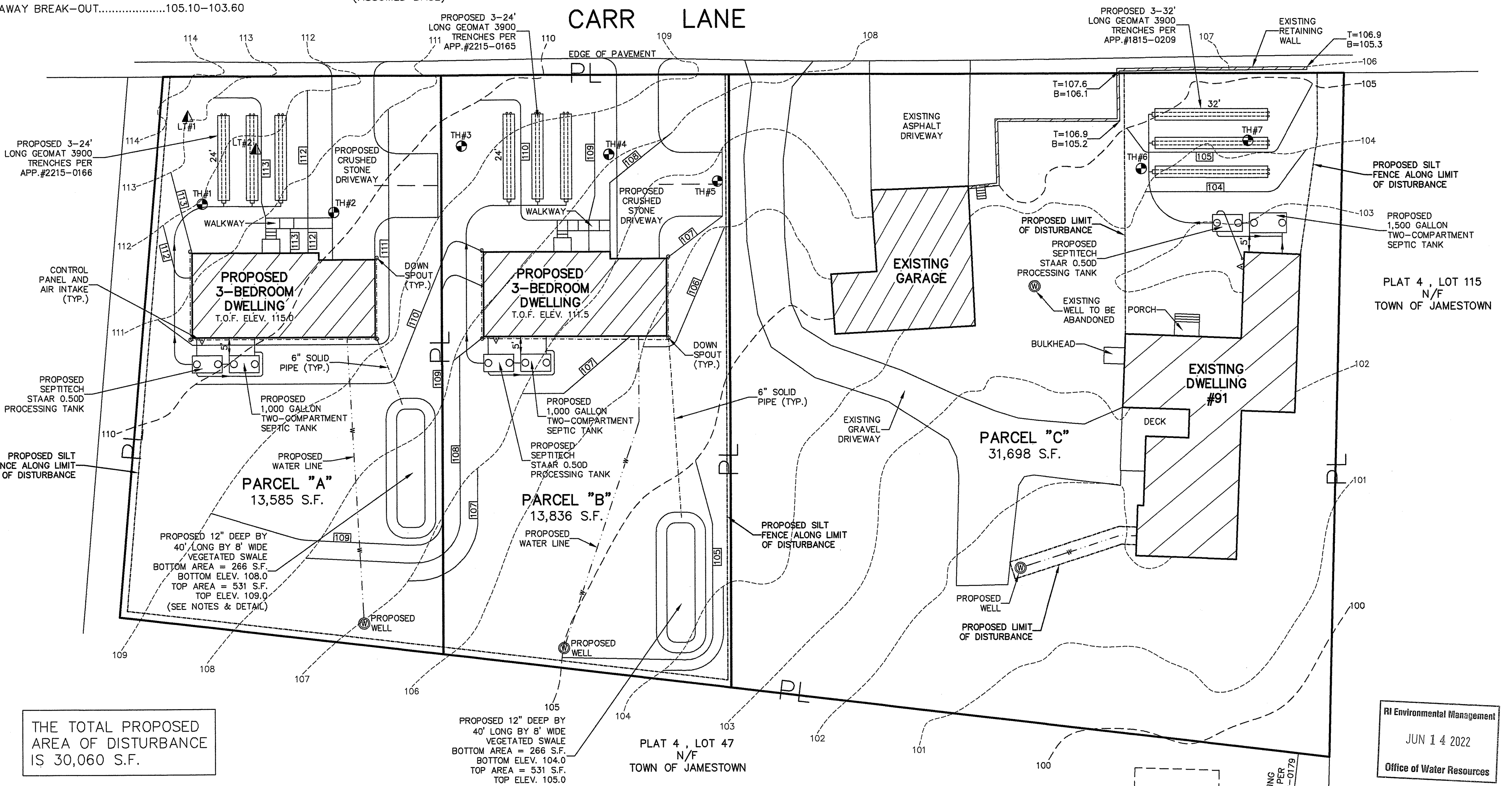
- POST-DEVELOPMENT: RUN-OFF COEFFICIENT FOR PROPOSED DWELLING ROOF = 0.95
- PRE-DEVELOPMENT: RUN-OFF COEFFICIENT FOR AREA = 0.15
- INCREASE IN RUN-OFF COEFFICIENT = 0.95 - 0.15 = 0.80
- RAINFALL INTENSITY = 0.4083 FEET OR 4.9 INCHES
- AREA OF NEW GARAGE = 1,216 S.F.
- STORMWATER RUN-OFF = C X I X A
- STORMWATER RUN-OFF = 0.80 X 0.4083 FEET X 1,216 S.F. = 397.2 C.F.
- THEREFORE, THE INCREASE IN STORMWATER RUN-OFF IS 398 C.F.

**STORAGE VOLUME WITHIN EACH VEGETATED SWALE:**

- BOTTOM AREA OF EACH VEGETATED SWALE = 266 S.F.
- TOP AREA OF EACH VEGETATED SWALE = 531 S.F.
- DEPTH OF EACH VEGETATED SWALE = 1 FOOT
- TOTAL VOLUME OF EACH VEGETATED SWALE = (266 S.F. + 531 S.F.) / 2 X 1.0' (DEPTH) = 399 C.F.

**CONCLUSIONS:**

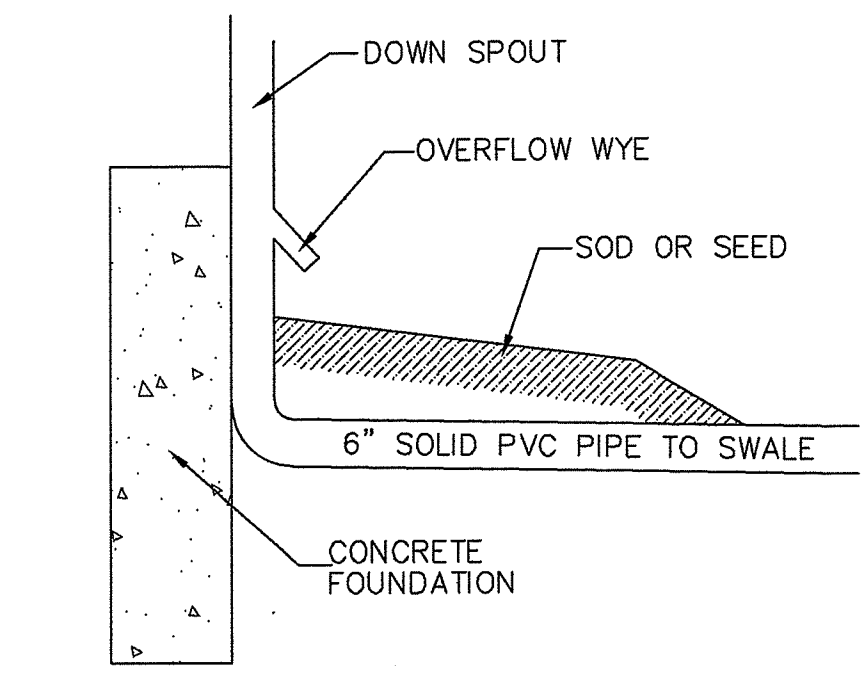
PARCELS "A" AND "B" SHALL EACH HAVE A 8'x40' VEGETATED SWALE. EACH SWALE SHALL COLLECT STORM WATER RUN-OFF FROM THE PROPOSED DWELLING ON EACH PARCEL. THESE STORMWATER CONTROL SYSTEMS WILL PROVIDE THE STORM WATER CONTROLS FOR THE DIFFERENCE BETWEEN THE POST-DEVELOPMENT AND PRE-DEVELOPMENT VOLUME OF RUN-OFF FOR A 10-YEAR, 24-HOUR STORM EVENT ON SITE.



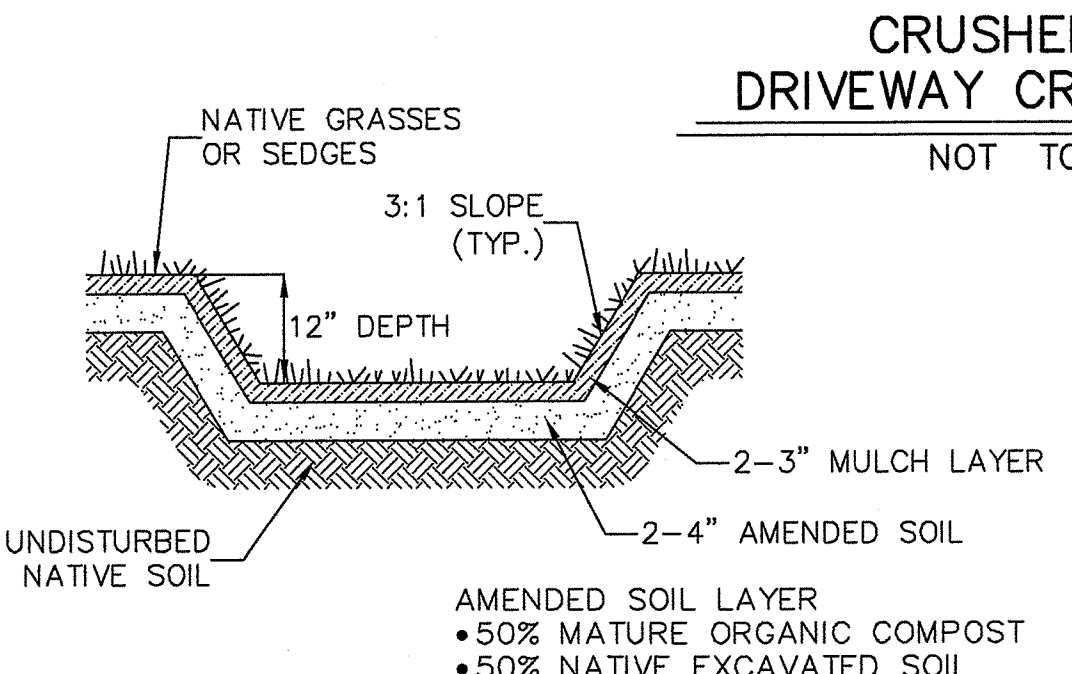
THE TOTAL PROPOSED AREA OF DISTURBANCE IS 30,060 S.F.

**STORMWATER MANAGEMENT AREAS:**

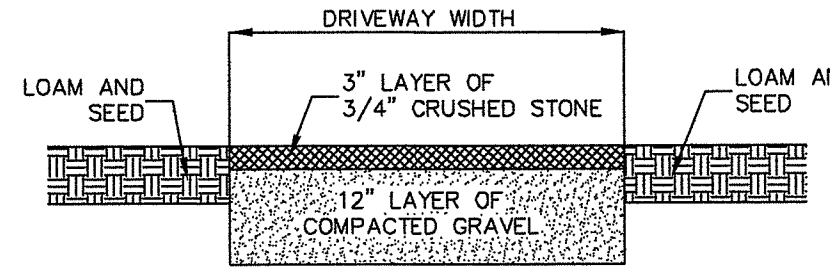
- PARCEL "A" - 8'x40' VEGETATED SWALE FOR THE PROPOSED DWELLING.
- PARCEL "B" - 8'x40' VEGETATED SWALE FOR THE PROPOSED DWELLING.
- PARCEL "C" - THERE IS NO INCREASE IN IMPERVIOUS AREA, THEREFORE, NO STORMWATER MANAGEMENT IS REQUIRED.



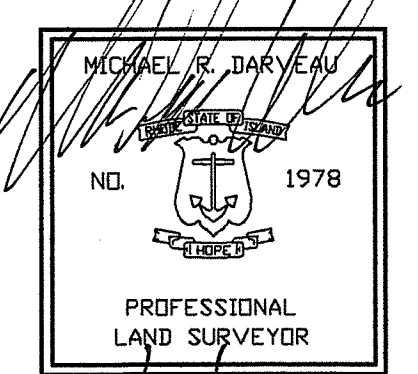
**OVERFLOW WYE DETAIL**  
NOT TO SCALE



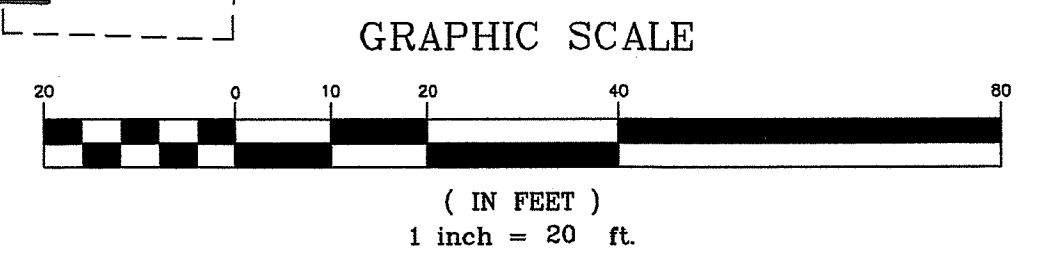
**VEGETATED SWALE CROSS-SECTION**  
NOT TO SCALE



**CRUSHED STONE DRIVEWAY CROSS-SECTION**  
NOT TO SCALE



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION #: 22-0224  
 DATED: SEP 26 2022  
 SEE LETTER OF SAME DATE  
 Nancy L. Freeman



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:  
 LIMITED CONTENT BOUNDARY SURVEY  
 DATA ACCUMULATION SURVEY  
 TOPOGRAPHIC ACCURACY

MEASUREMENT SPECIFICATION:  
 CLASS III  
 CLASS III  
 T-2

STATEMENT OF PURPOSE:  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 1) PREPARE A PROPOSED WETLAND SITE PLAN.

BY: *Michael R. Darveau*  
 MICHAEL R. DARVEAU, #LS1978  
 PRESIDENT, DARVEAU LAND SURVEYING, INC.

DATE: *6/14/22*  
 COA #LS-A497

PROPOSED WETLAND SITE PLAN FOR  
**CHURCH COMMUNITY HOUSING CORP.**  
 PLAT 4, LOT 52  
 91 CARR LANE  
 JAMESTOWN, RHODE ISLAND

**DARVEAU LAND SURVEYING, INC.**  
 P.O. BOX 7918  
 CUMBERLAND, R.I. 02864  
 PHONE 401-475-5700  
 E-MAIL: MIKE@DARVEAUSURVEY.COM

RI Environmental Management  
 JUN 14 2022  
 Office of Water Resources

SCALE: 1" = 20'  
 DRAWN BY: S.A.K.  
 REVISED: [ ]  
 PROJECT NO: 2017\_040  
 SHEET NO: 2 OF 2  
 DATE: JUNE 14, 2022