

(B) BUSINESS HIGHWAY DISTRICT  
SOURCE: REFERENCE #7

ITEMS	REQUIRED
MIN LOT AREA	N/A
MIN LOT WIDTH	N/A
MIN FRONTAGE	N/A
MIN FRONT YARD	25'
MIN SIDE YARD	15'
MIN REAR YARD	30'
MAX BUILDING HEIGHT	35' / 20' *
MAX BUILDING COVERAGE	N/A
PARKING REQUIREMENTS	NONE

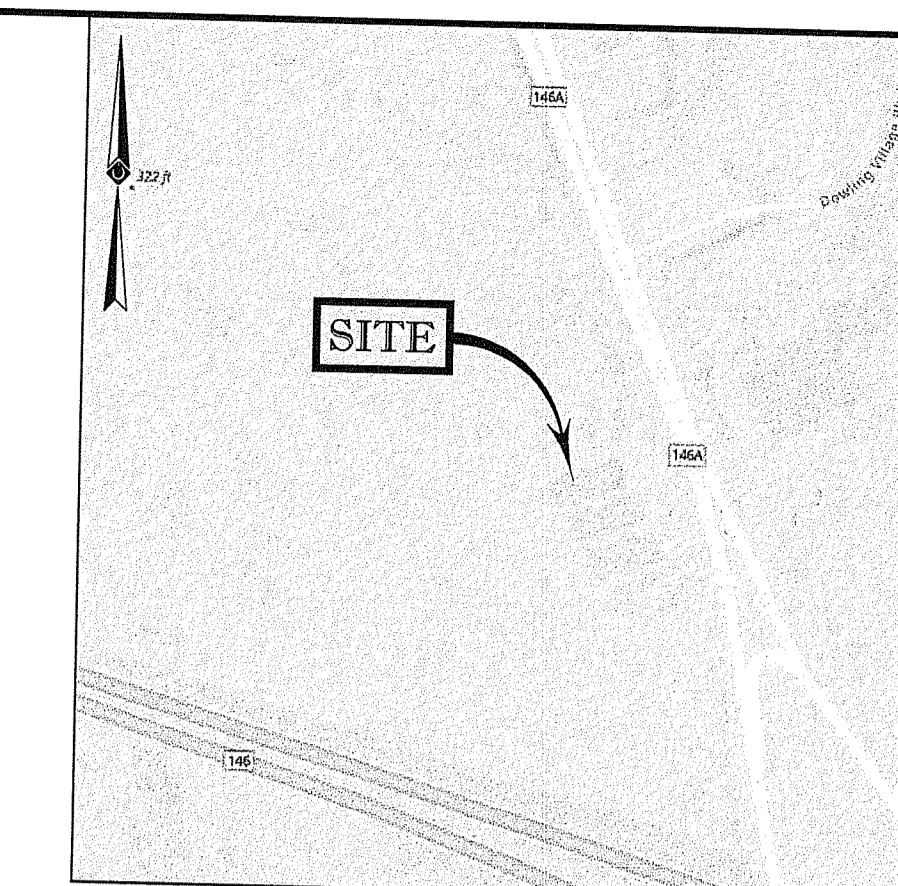
MAP 13  
LOT 144  
N/F LANDS OF  
NARRAGANSETT ELEC CO  
(PER GS)

MAP 13  
LOT 145  
N/F LANDS OF  
NARRAGANSETT ELEC CO  
(PER GS)

MAP 13  
LOT 103  
N/F LANDS OF  
385 EDDIE, LLC  
BK. 715, PG. 207

MAP 13  
LOT 104  
N/F LANDS OF  
STORAGE PROS NORTH  
SMITHFIELD, LLC  
BK. 707, PG. 25

MAP 13  
LOT 107  
N/F LANDS OF  
BARBARA WEST BUTTERS  
(PER GS)



LOCUS MAP  
© 2015 ESRI WORLD STREET MAPS  
NOT TO SCALE

NOTES:

- PROPERTY KNOWN AS LOT 103 & 104 SHOWN ON THE TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY, STATE OF RHODE ISLAND MAP NO. 13.
- LOT 103 AREA = 165,604 SQUARE FEET OR 3.802 ACRES  
LOT 104 AREA = 440,120 SQUARE FEET OR 10.104 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING, INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.

- TEMPORARY BENCHMARK SET:
- TBM-A: MAG NAIL SET IN ROCK ON LOT 145 AT ELEVATION = 308.62'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - EASEMENT TO NARRAGANSETT ELECTRIC COMPANY SHOWN ON REFERENCED PLANS, SHOWN HEREON.
  - THE LEGAL DESCRIPTION OF THE PROPERTY DESCRIBES A MATHEMATICALLY CLOSED FIGURE.
  - PLANIMETRIC AND TOPOGRAPHIC FEATURES COMPILED BY CONTROL POINT ASSOCIATES, INC., UTILIZING PHOTOGRAMMETRIC METHODS FROM UAV PHOTOGRAPHY. UAV PHOTOGRAPHY PERFORMED BY CONTROL POINT ASSOCIATES, INC., ON MAY 19, 2021 WITH A PHOTO SCALE OF 0.75 CM GSD.
  - PHOTOGRAMMETRIC MAPPING HAS BEEN COMPILED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN DEMONSTRATED TO COMPLY WITH THE AMERICAN SOCIETY OF PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS) CLASS 1 STANDARD FOR A HORIZONTAL MAPPING SCALE OF 1" = 40' AND A CONTOUR INTERVAL OF 1'.
  - AERIAL CONTROL PROVIDED BY CONTROL POINT ASSOCIATES, INC., UTILIZING PROPELLER AEROPLOTS ON MAY 19, 2021.
  - THE DELINEATION LINE SHOWN HEREON WAS TAKEN FROM INFORMATION PROVIDED BY THE CLIENT, SEE REFERENCE #10.

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- X TC 123.45 EXISTING TOP OF CURB ELEVATION
- X G 122.85 EXISTING GUTTER ELEVATION
- X TW 123.45 EXISTING TOP OF WALL ELEVATION
- X BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
- X TI 123.45 EXISTING TOP OF ISLAND ELEVATION
- X BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
- X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- X DS 123.45 EXISTING DOOR SILL ELEVATION
- X LG 125.45 EXISTING LEGAL GRADE ELEVATION
- EM ELECTRIC METER
- E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- S --- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
- T --- APPROX. LOC. UNDERGROUND TELEPHONE LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- DMH DRAINAGE/STORM MANHOLE
- EMH ELECTRIC MANHOLE
- SMH SANITARY/SEWER MANHOLE
- UMH UNKNOWN MANHOLE
- WMH WATER MANHOLE
- CB CATCH BASIN OR INLET
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- INV INVERT ELEVATION
- GRT GRATE ELEVATION
- CC CONC CURB
- V VENT

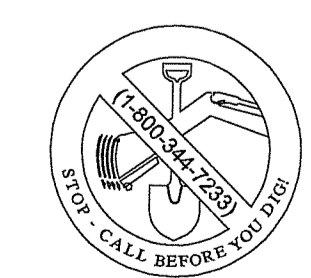
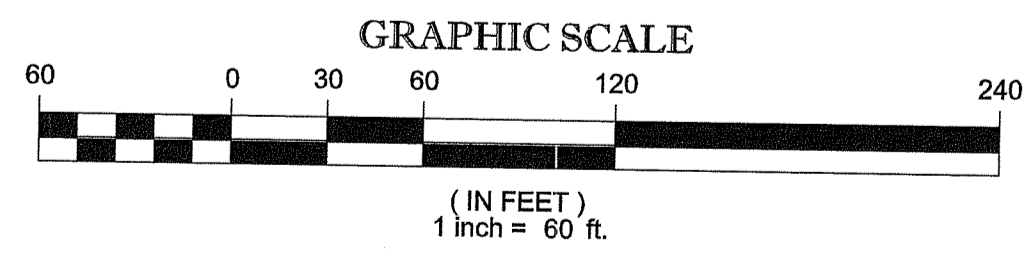
TABLE OF APPARENT ENCROACHMENTS

A	THE SHED ON LOT 103 CROSSES INTO LOT 145 BY AS MUCH AS 8.2'
B	THE METAL STORAGE CONTAINERS ON LOT 103 CROSS INTO LOT 145 BY AS MUCH AS 19.3'
C	BUILDING OVER 15' SIDE YARD SETBACK LINE BY 12.1'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF NORTH SMITHFIELD, PROVIDENCE COUNTY, MAP 12 & 13.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 157 OF 451, MAP NUMBER 44007C0167G, EFFECTIVE DATE: MARCH 2, 2009.
- MAP ENTITLED "PLAN OF LAND IN NO. SMITHFIELD, RHODE ISLAND TO BE PURCHASED BY, BLACKSTONE VALLEY ELECTRIC COMPANY FROM IRENE B WEST, PAUL C WEST & LUCILLE C WEST", PREPARED BY: SCHOFIELD BROTHERS, INC., DATED: APRIL 15, 1971, ON FILE WITH THE CITY CLERK'S OFFICE AS PLAT 8330X.
- MAP ENTITLED "ADMINISTRATIVE SUBDIVISION PLAN OF LAND PLAT 13 LOTS 10, 104, 106 & 138 EDDIE DOWLING HIGHWAY NORTH SMITHFIELD, RHODE ISLAND", PREPARED BY: GUERRIERRE & HALNON, INC., DATED: APRIL 28, 2004, ON FILE WITH THE CITY CLERK'S OFFICE.
- PLAN SET ENTITLED "PLAT SHOWING LAND IN NORTH SMITHFIELD TAKEN IN FEE SIMPLE FOR FREEWAY PURPOSES ON BEHALF OF THE STATE OF RHODE ISLAND & PROVIDENCE PLANTATIONS BY THE DIRECTOR OF PUBLIC WORKS", DATED: JULY 1988, ON FILE WITH THE DEPARTMENT OF TRANSPORTATION AS PLAT 1033.
- MAP ENTITLED "PLAT SHOWING LAND IN NORTH SMITHFIELD - WOONSOCKET TAKEN ON BEHALF OF THE STATE OF RHODE ISLAND BY VOTE AND ORDER OF DEPARTMENT OF PUBLIC WORKS", DATED: OCTOBER 18, 1939, ON FILE WITH THE DEPARTMENT OF TRANSPORTATION AS PLAT 641.
- REPORT ENTITLED "ZONING COMPLIANCE REPORT PREPARED FOR SROA CAPITAL, 385 EDDIE, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY", PREPARED BY: CDS COMMERCIAL DUE DILIGENCE SERVICES, DATED AUGUST 20, 2021.
- PLAN SET ENTITLED "08-210888-00-CPA-390EDDIEDOWLINGHWY-NSMITHFIELD-RI", PREPARED BY: CONTROL POINT ASSOCIATES, INC., DATED: DECEMBER 20, 2021.
- MAP ENTITLED "NEW ENGLAND SELF STORAGE, LLC MODIFICATION EXISTING CONDITIONS IN THE TOWN OF NORTH SMITHFIELD, RHODE ISLAND", PREPARED BY: GUERRIERRE & HALNON, INC., DATED: JUNE 3, 2003, LAST REVISED: OCTOBER 2, 2006, PROVIDED BY CLIENT.
- ELECTRONIC SHAPE FILES OF WETLAND DELINEATION LINE PROVIDED BY CLIENT.
- FIELD SKETCH PREPARED BY CONTROL POINT ASSOCIATES, INC., SUBSURFACE UTILITY ENGINEERING, DATED DECEMBER 20, 2021.



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

FIELD DATE: 7-15-2021  
2-18-2022

FIELD BOOK NO.: 21-3

FIELD BOOK PG.: 157

FIELD CREW: J.O. B.S.B.

DRAWN: B.A.V., E.G.F.

REVIEWED: B.A.V.

APPROVED: C.E.L.

DATE: 3-08-2022

SCALE: 1" = 60'

FILE NO.: 03-210292-01

DWG. NO.: 1 OF 2

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**SROA ACQUISITIONS, LLC**  
395 EDDIE DOWLING HIGHWAY  
LOT 103 & 104, MAP 13  
TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY  
STATE OF RHODE ISLAND

**CONTROL POINT ASSOCIATES, INC.**  
WARREN, NJ 908-608-0090  
CHALFONT, PA 215-712-8800  
MT LAUREL, NJ 609-457-0299  
MANHATTAN, NY 646-780-0411  
LONG ISLAND, NY 631-580-2645  
ALBANY, NY 518-317-3010  
ROCHESTER, NY 585-250-1764

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
- MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY)
- MEASUREMENT SPECIFICATION: III
- VERTICAL CONTROL STANDARD: V-3
- TOPOGRAPHIC SURVEY ACCURACY: T-1

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS ENCLOSED WITH RAISED IMPRESSION OR STAMPED WITH SIGNATURE OF SURVEYOR

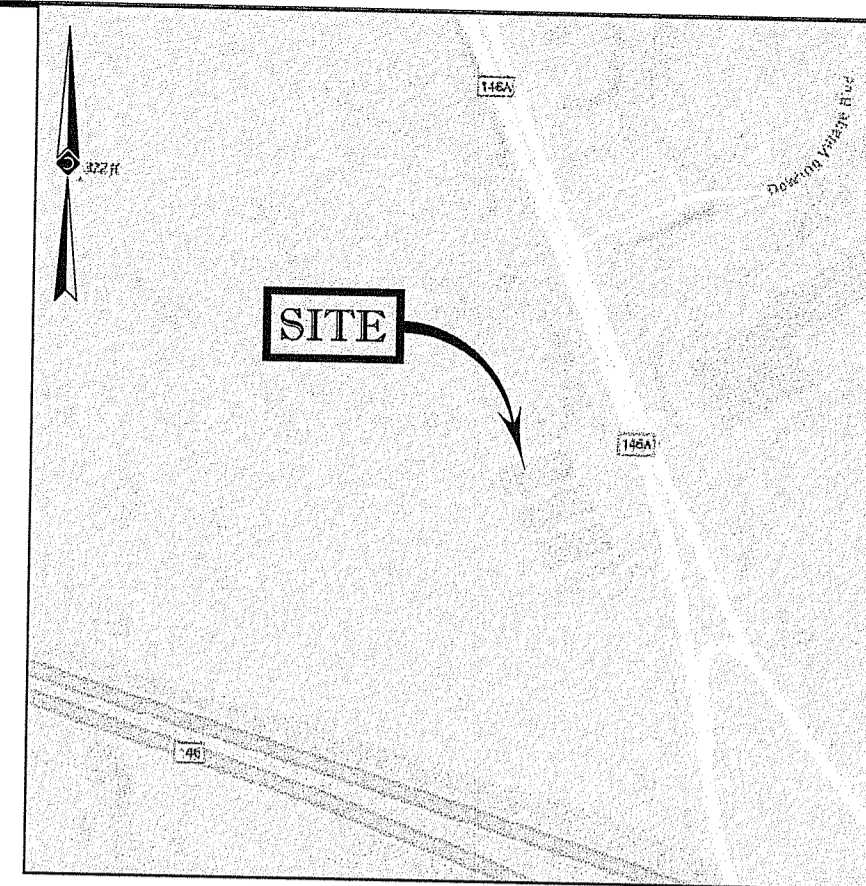
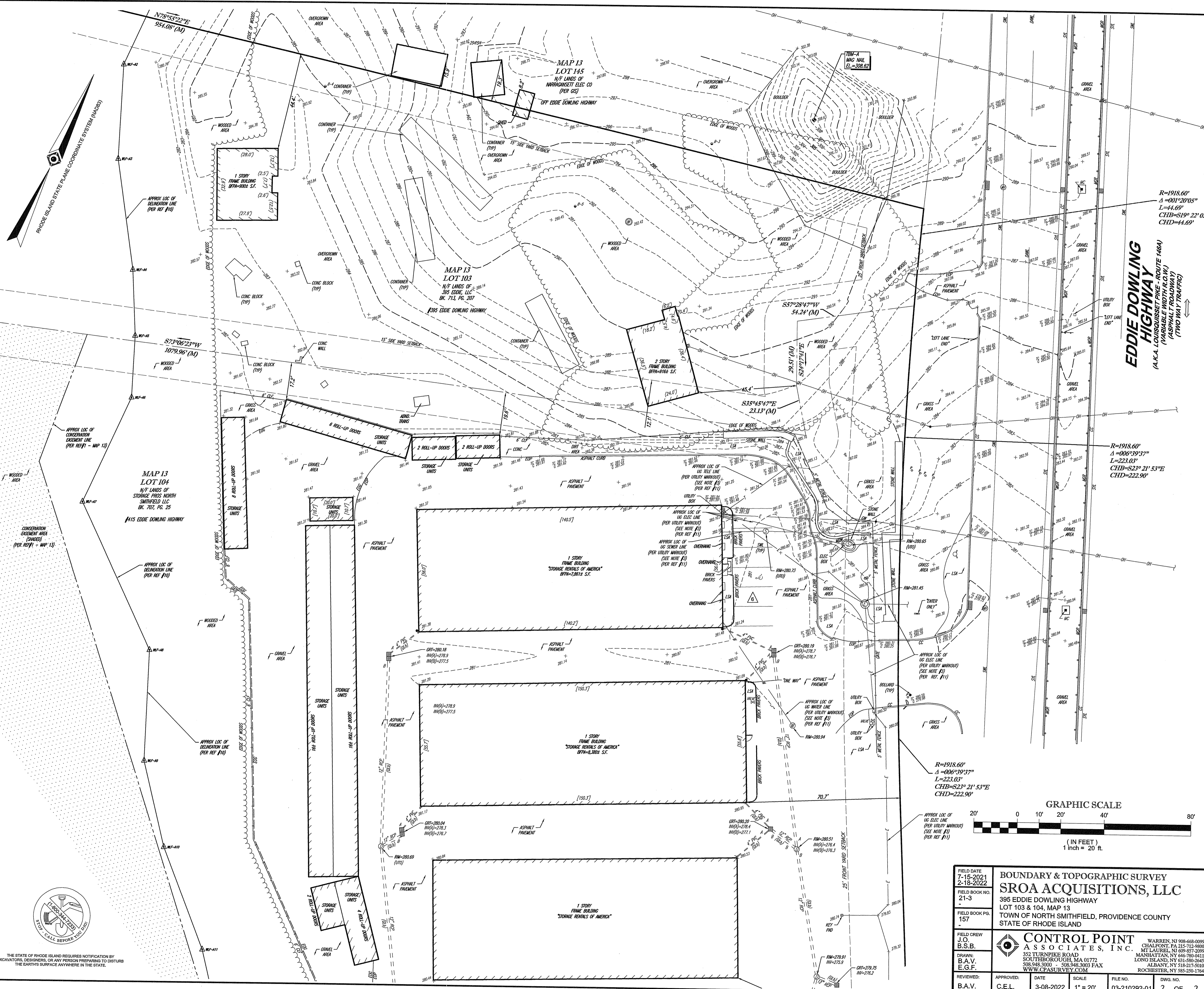
THIS PLAN IS AS FOLLOWS:  
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

APPROVED: CHARLES E. LENT  
PROFESSIONAL LAND SURVEYOR  
1947  
MAY 19 2022  
Rhode Island State Board of Water Resources  
Division of Water Resources

3-08-2022  
DATE

CHARLES E. LENT  
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947  
CERTIFICATE OF AUTHORIZATION #A350

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**LEGEND**

---	EXISTING CONTOUR
x	EXISTING SPOT ELEVATION
x	EXISTING TOP OF CURB ELEVATION
x	EXISTING GUTTER ELEVATION
x	EXISTING TOP OF WALL ELEVATION
x	EXISTING BOTTOM OF WALL ELEVATION
x	EXISTING FINISHED FLOOR ELEVATION
x	EXISTING DOOR SILL ELEVATION
EM	ELEC METER
OH	OVERHEAD WIRES
U	APPROX. LOC. UNDERGROUND DRAINAGE LINE
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
C	APPROX. LOC. UNDERGROUND CABLE LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
UP	UTILITY POLE
+	SIGN
MB	MAIL BOX
B	BOLLARD
P	POST
MH	UNKNOWN MANHOLE
CB	CATCH BASIN OR INLET
WMH	WATER MANHOLE
DMH	DRAINAGE/STORM MANHOLE
EMH	ELECTRIC MANHOLE
SMH	SANITARY/SEWER MANHOLE
SW	STONE WALL
MGR	METAL GUARD RAIL
CLF	CHAIN LINK FENCE
MW	MASONRY BLOCK WALL
EDC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(TP)	TYPICAL
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
BLDG	BUILDING
BFFA	BUILDING FOOTPRINT AREA
[16.0]	BUILDING DIMENSION
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
□	DESIGNATES POSSIBLE ENCROACHMENT

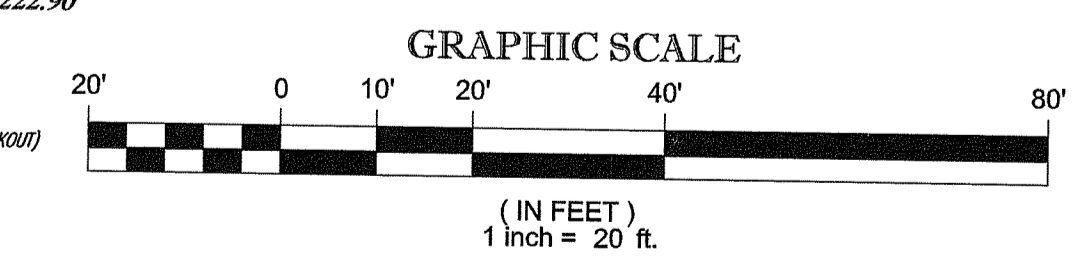
SEE SHEET 1 FOR OVERALL BOUNDARY

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VERTICAL CONTROL STANDARD: TOPOGRAPHIC SURVEY ACCURACY V-3  
TOPOGRAPHIC SURVEY ACCURACY T-1
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**CHARLES E. LENT**  
No. 1947  
PROFESSIONAL LAND SURVEYOR  
3-08-2022



DATE 7-15-2021 2-18-2022	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>SROA ACQUISITIONS, LLC</b> 395 EDDIE DOWLING HIGHWAY LOT 103 & 104, MAP 13 TOWN OF NORTH SMITHFIELD, PROVIDENCE COUNTY STATE OF RHODE ISLAND
FIELD BOOK NO. 21-3	<b>CONTROL POINT ASSOCIATES, INC.</b> WARREN, NJ 908-668-0099 CHALFONT, PA 215-712-9800 MT LAUREL, NJ 609-957-2099 MANHATTAN, NY 646-780-0411 LONG ISLAND, NY 631-580-2645 ALBANY, NY 518-217-5010 ROCHESTER, NY 585-250-1764
FIELD BOOK PG. 157	
FIELD CREW J.O. B.S.B.	<b>APPROVED:</b> C.E.L. <b>DATE:</b> 3-08-2022 <b>SCALE:</b> 1" = 20' <b>FILE NO.:</b> 03-210292-01 <b>DWG. NO.:</b> 2 OF 2
DRAWN: B.A.V. E.G.F.	
REVIEWED: B.A.V.	

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