

LOCATION PLAN SCALE: 1" = 2,000'

OWNER/APPLICANT:
 CHARLES E. WERCHADLO
 183 WESTCOTT ROAD
 NORTH SCITUATE, RI 02857

- PLAN SHEET REFERENCES:
1. PLAN SHEET S-1 FOR OVERALL STORMWATER PLAN FOR LOT 2
 2. PLAN SHEETS S-2 & S-3 FOR DETAILED STORMWATER DESIGN FOR LOT 2
 3. PLAN SHEETS ND-1 & ND-2 FOR NOTES AND DETAILS

SOIL DATA CHART

PbB	PAXTON FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
Rf	RIDGEBURY, LEICESTER, AND WHITMAN SOILS, 0-8% SLOPES, EXTREMELY STONY
WoB	WOODBRIDGE FINE SANDY LOAM, 0-8% SLOPES, VERY STONY

ZONING DATA - REQUIREMENTS

ZONE RS-120	MINIMUM LOT AREA	120,000 S.F.
	MINIMUM LOT WIDTH	300'
	MINIMUM SETBACKS	
	FRONT YARD	50'
	SIDE YARD	35'
	REAR YARD	60'
	MAXIMUM BUILDING COVERAGE	15%
	MAXIMUM BUILDING HEIGHT	36'

ZONING DATA - NEW LOT 1

ZONE RS-120	EXISTING	PROPOSED
MINIMUM LOT AREA	869,384± S.F.	376,527± S.F.
MINIMUM LOT WIDTH	318.21'	259.63'
MINIMUM SETBACKS		
FRONT YARD	67.29'	67.29'
SIDE YARD	141.71'	117.21'
REAR YARD	1007.34'	425.55'
MAXIMUM BUILDING COVERAGE	0.3%	0.6%
MAXIMUM BUILDING HEIGHT	--	--

ZONING DATA - NEW LOT 2

ZONE RS-120	PROPOSED
MINIMUM LOT AREA	492,857± S.F.
MINIMUM LOT WIDTH	58.66'
MINIMUM SETBACKS	
FRONT YARD	89.2±
SIDE YARD	141±
REAR YARD	84±
MAXIMUM BUILDING COVERAGE	0.7%±
MAXIMUM BUILDING HEIGHT	--

- LEGEND
- A.P. ASSESSOR'S PLAT
 - N/F NOW OR FORMERLY
 - SQ.FT. SQUARE FEET
 - IR IRON ROD FOUND
 - DH DRILL HOLE FOUND

GENERAL NOTES:

1. TOPOGRAPHY AND ELEVATIONS AS SHOWN HEREON IS TAKEN FROM ACTUAL SURVEY LOCATIONS, AND REFERENCES THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD88). THE HORIZONTAL DATUM IS THE RHODE ISLAND STATE PLANE COORDINATES.
2. SUBJECT SITE IS LOCATED WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOOD HAZARD) SCITUATE, RHODE ISLAND, MAP NUMBER 4407C0270G, MAP EFFECTIVE DATE: MARCH 2, 2009.
3. EXCEPT WHERE SHOWN, THE SITE IS ENTIRELY WOODED AND UNDEVELOPED.
4. FRESHWATER WETLAND DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. OF HARRISVILLE, R.I. IN JULY 2019. FLAGS WERE ACCURATELY LOCATED BY SCITUATE SURVEYS, INC.
5. THERE ARE NO KNOWN EXISTING SEWERS, WATER MAINS, CULVERTS OR OTHER UNDERGROUND STRUCTURES WITHIN THE SUBJECT SITE OR IMMEDIATELY ADJACENT THERETO.

REFERENCES:

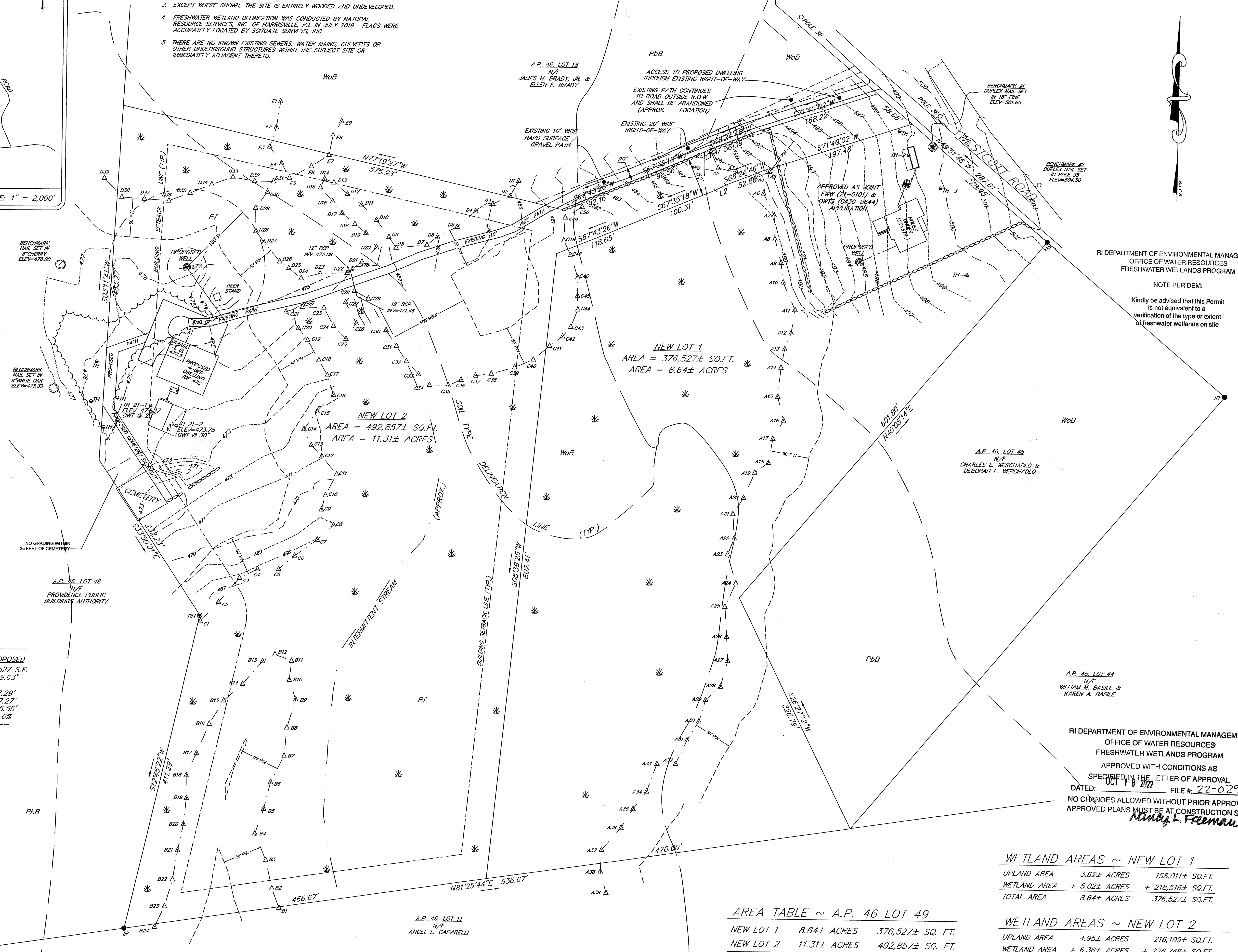
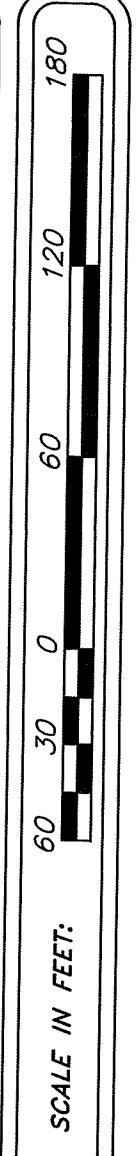
1. PLAN ENTITLED "SURVEY PLAN SHOWING PROPOSED DIVISION OF LAND OF NORMAN C. SAUTE AND DOROTHEA C. SAUTE, WESTCOTT ROAD, SCITUATE, RHODE ISLAND, DATED JULY 2, 1991" BY SCITUATE SURVEYS, INC.
2. PLAN ENTITLED "BEING ASSESSOR'S PLAT 46, LOT NO. 18, RECORD PLAN, WESTCOTT VIEW, LOCATION WESTCOTT ROAD, SCITUATE, RHODE ISLAND, PREPARED FOR ELLEN BRADY, REVISED DATED NOVEMBER 1, 2004" BY BOYER ASSOCIATES.

LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	S63°34'42"W	15.96'
L2	S63°34'42"W	15.60'

FOR STREET INDEX, FILE UNDER:
 WESTCOTT ROAD

SCITUATE SURVEYS, INC.
 410, TROQUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING / MAPPING / SITE PLANNING



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

CERTIFICATION: THIS PLAN WAS PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2016, AS FOLLOWS:
 TYPE OF SURVEY: BOUNDARY SURVEY
 TYPE OF SUBCARRIER: DATA ACCUMULATION SURVEY
 STATEMENT OF PURPOSE: THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE AP 46, LOT 49 INTO TWO LOTS.
 SIGNATURE: *Angelo M. Raimondi*
 TITLE: PROFESSIONAL LAND SURVEYOR
 No. 1762

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: OCT 18 2022 FILE #: 22-0298
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

WETLAND AREAS ~ NEW LOT 1

UPLAND AREA	3.62± ACRES	158,011± SQ.FT.
WETLAND AREA	+ 5.02± ACRES	+ 218,516± SQ.FT.
TOTAL AREA	8.64± ACRES	376,527± SQ.FT.

AREA TABLE ~ A.P. 46 LOT 49

NEW LOT 1	8.64± ACRES	376,527± SQ. FT.
NEW LOT 2	11.31± ACRES	492,857± SQ. FT.
TOTAL	19.95± ACRES	869,384± SQ. FT.

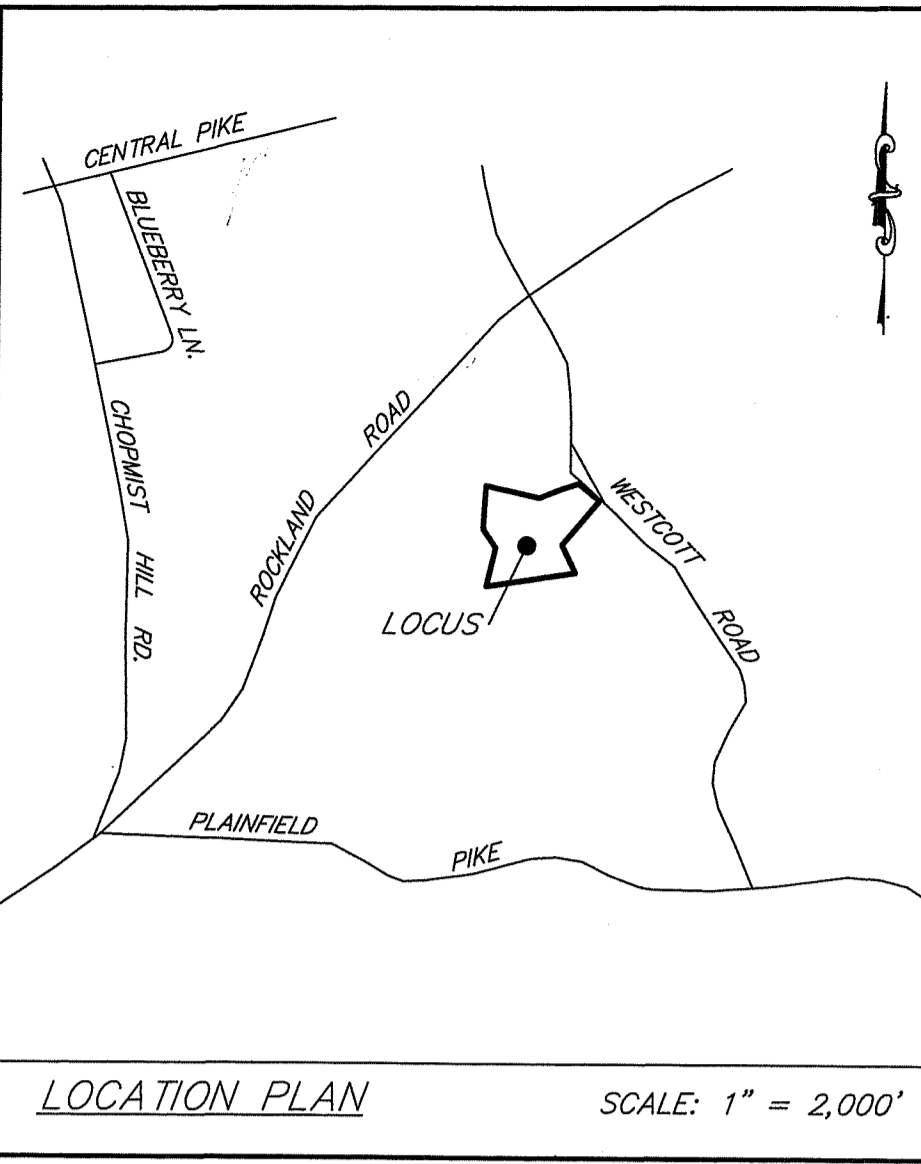
WETLAND AREAS ~ NEW LOT 2

UPLAND AREA	4.95± ACRES	216,109± SQ.FT.
WETLAND AREA	+ 6.36± ACRES	+ 276,748± SQ.FT.
TOTAL AREA	11.31± ACRES	492,857± SQ.FT.

WESTCOTT ESTATES
 MASTER PLAN
 OF LAND OF
 CHARLES E. WERCHADLO
 ASSESSOR'S PLAT 46 LOT 49
 WESTCOTT ROAD
 SCITUATE, RHODE ISLAND
 RI Environmental Management
 Office of Water Resources
 OCT 06 2022

PROJECT NO.: SS1140.03
 DRAWING NO.: SS4933
 DRAWN BY: C. J. BITTIG

SCALE: 1"=60' DATE: MARCH 30, 2022 REVISION: JUNE 24, 2022 SHEET 1 OF 6



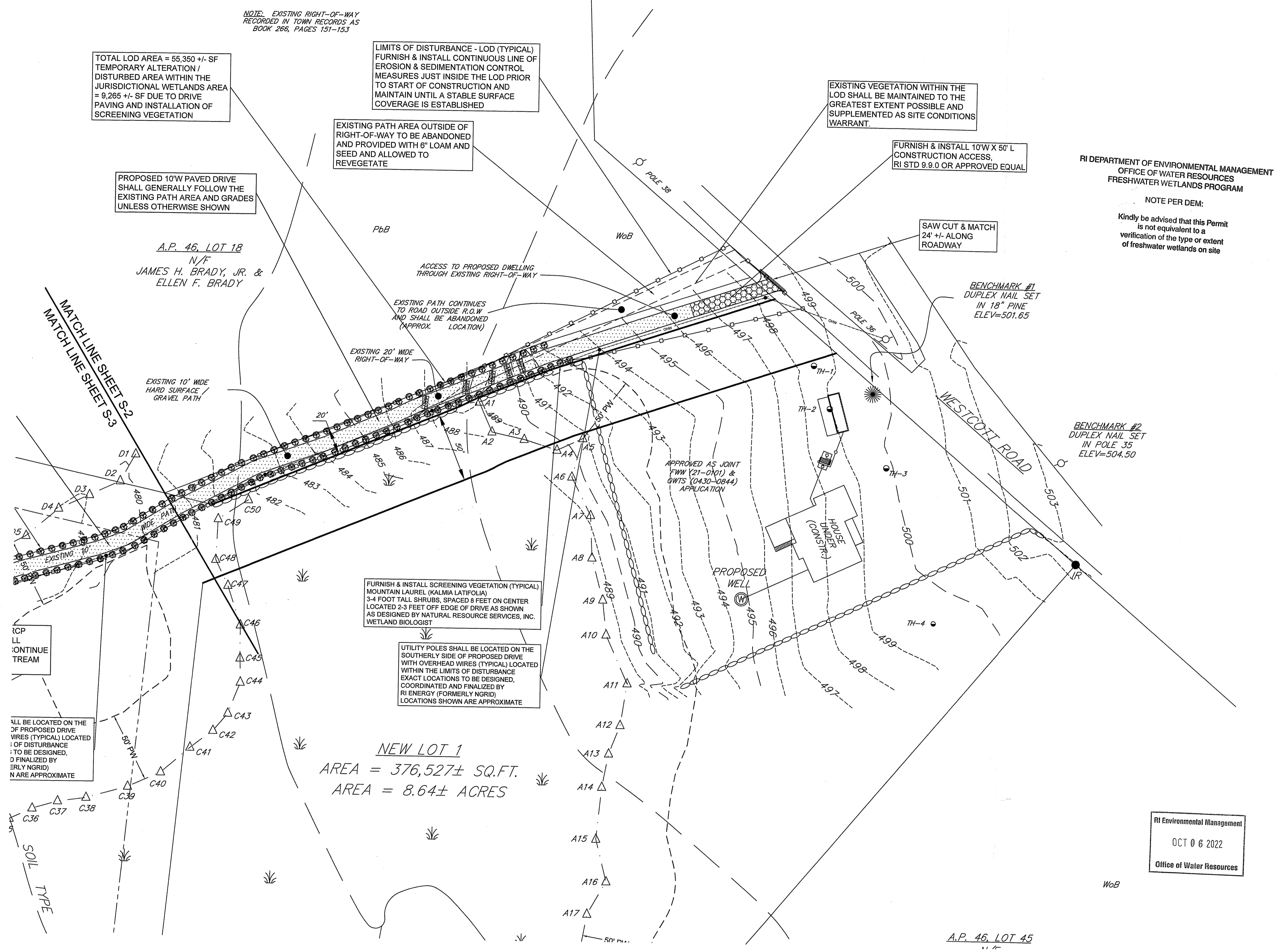
LOCATION PLAN SCALE: 1" = 2,000'

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY LINE	---
$\Delta C49$	WETLAND FLAG	
	SCREENING VEGETATION	$\odot \odot \odot$
	CONSTRUCTION ACCESS	$\square \square \square$
---	CONTOUR LINE	---00---
	LIMITS OF DISTURBANCE WITH E & S CONTROLS	-o-o-
∞	STONE WALL	
50' PW	PERIMETER WETLAND	
100' RBW	RIVERBANK WETLAND	
	DRIVE	$\square \square \square$
	CUT & MATCH	$\square \square \square$
$\odot TH$	TEST HOLE	
	SWAMP AREA	$\square \square \square$
\odot	UTILITY POLE	\bullet
	WATER LINE	---W---
	OVERHEAD WIRE	---OHW---

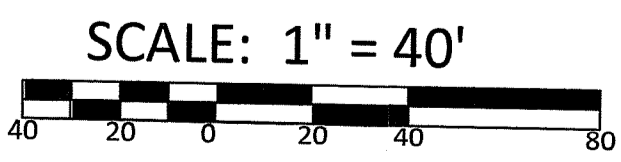
- PROJECT NOTES:**
- HOUSE SIZE AND LAYOUT PROVIDED BY OWNER'S REPRESENTATIVE
 - OWTS SHOWN ON PLANS IS PRELIMINARY. FINAL DESIGN TO BE PREPARED BY SCITUATE SURVEYS, INC. GRADING AROUND OWTS AREA SHALL BE MODIFIED AS WARRANTED DURING FINAL DESIGN, BUT SHALL NOT CHANGE THE OVERALL DRAINAGE PATTERN AND PROPOSED STORMWATER MEASURES.

- PLAN REFERENCE NOTES:**
- PLAN SHEET 1 OF 6 FOR MASTER PLAN LAYOUT
 - PLAN SHEET S-1 FOR OVERALL STORMWATER DESIGN
 - PLAN SHEET S-2 FOR DETAILED STORMWATER DESIGN IN EASTERN PORTION OF SUBLOT 2
 - PLAN SHEET ND-1 AND ND-2 FOR STORMWATER NOTES & DETAILS

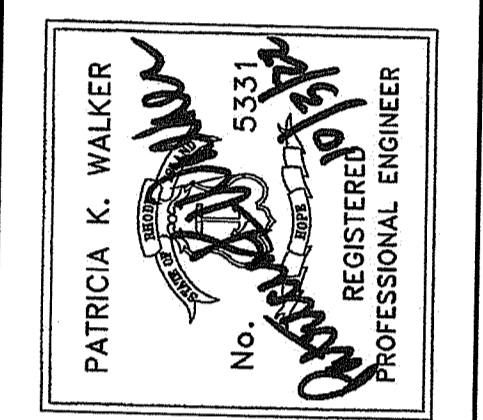
OWNER / APPLICANT
CHARLES E. WERCHADLO
 183 WESTCOTT ROAD
 NORTH SCITUATE, RI 02857
 401-524-4611
 CWERCHADLO@GMAIL.COM



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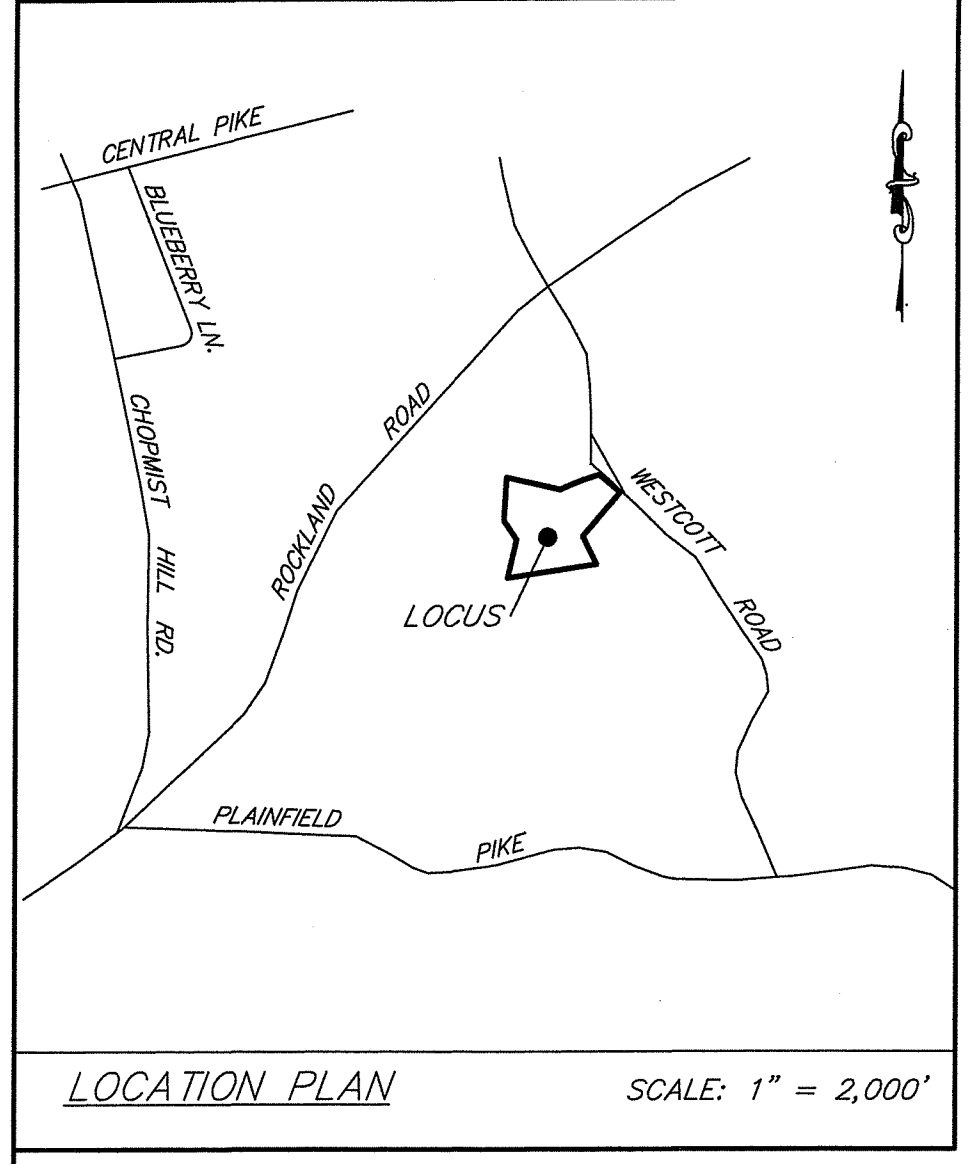
REVISIONS	DESCRIPTION	DATE
	RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM	SEPT & OCT 2022
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Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wel1, pw@gmail.com

DETAILED STORMWATER PLAN NO. 1
 WERCHADLO 2 RESIDENCE
 ASSESSOR'S PLAT 46 / LOT 49 / SUBLOT 2
 WESTCOTT ROAD
 SCITUATE, RHODE ISLAND

DATE: JUNE 2022
 REVISED SEPT/OCT 2022
 SHEET: S - 2
 SHEET 3 OF 6



EXISTING	DESCRIPTION	PROPOSED
	PROPERTY LINE	---
△ C49	WETLAND FLAG	
	SCREENING VEGETATION	⊗ ⊗ ⊗
	CONSTRUCTION ACCESS	⊞ ⊞ ⊞
---	CONTOUR LINE	100
---	LIMITS OF DISTURBANCE WITH E & S CONTROLS	□ □ □
∞	STONE WALL	
50' PW	PERIMETER WETLAND	
100' RBW	RIVERBANK WETLAND	
	DRIVE	▨ ▨ ▨
	CUT & MATCH	▨ ▨ ▨
⊙ TH	RAIN GARDEN	⊙ TH
⊙ TH	TEST HOLE	⊙ TH
	SWAMP AREA	⊞ ⊞ ⊞
○	UTILITY POLE	○
	WATER LINE	—W—
	OVERHEAD WIRE	---OHW---

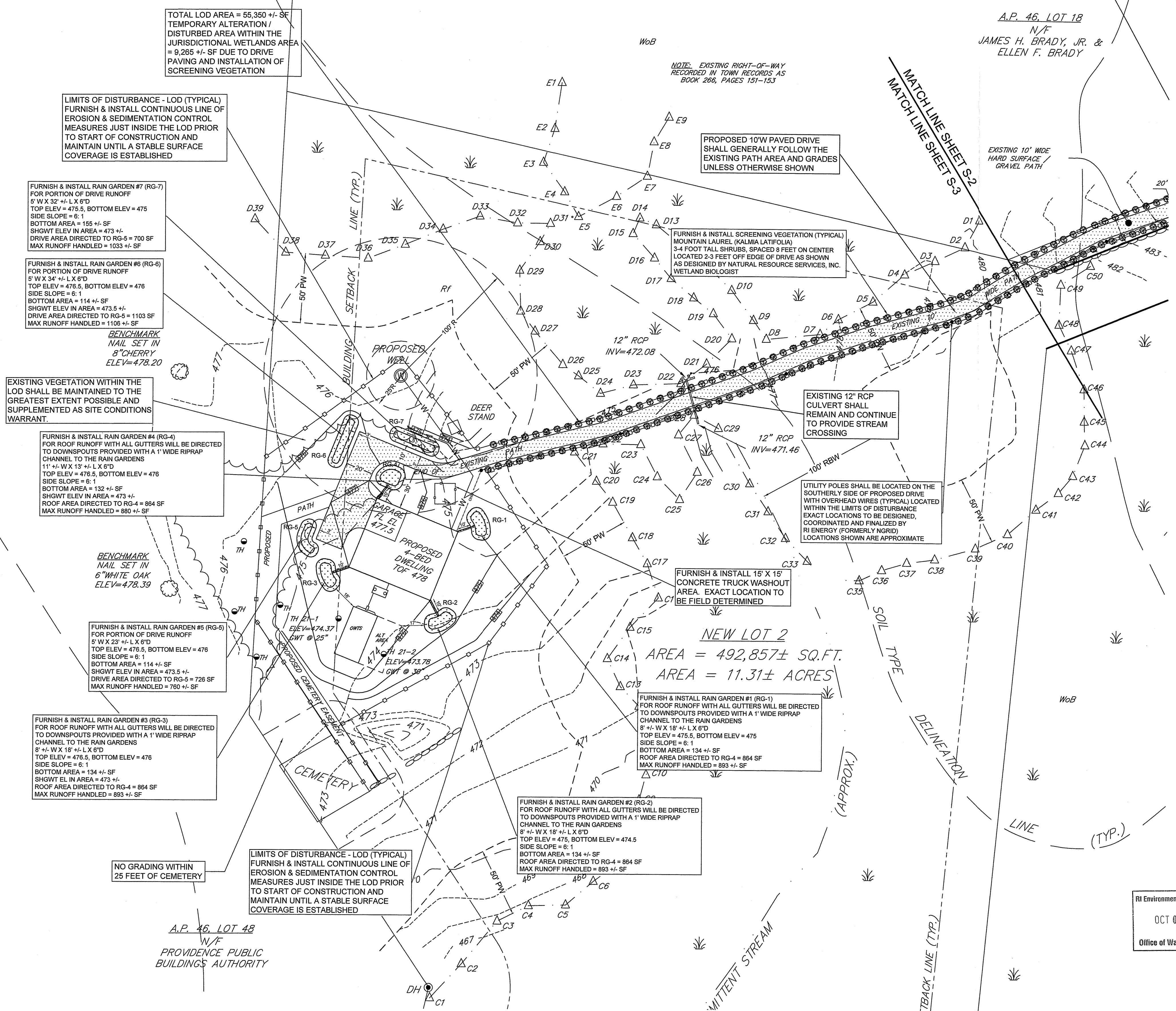
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- PLAN SHEET S-3 FOR DETAILED STORMWATER DESIGN IN WESTERN PORTION OF SUBLLOT 2
- PLAN SHEET ND-1 AND ND-2 FOR STORMWATER NOTES & DETAILS

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 183 WESTCOTT ROAD
 NORTH SCITUATE, RI 02857
 401-524-4611
 CWERCHADLO@GMAIL.COM



TOTAL LOD AREA = 55,350 +/- SF
 TEMPORARY ALTERATION /
 DISTURBED AREA WITHIN THE
 JURISDICTIONAL WETLANDS AREA
 = 9,265 +/- SF DUE TO DRIVE
 PAVING AND INSTALLATION OF
 SCREENING VEGETATION

LIMITS OF DISTURBANCE - LOD (TYPICAL)
 FURNISH & INSTALL CONTINUOUS LINE OF
 EROSION & SEDIMENTATION CONTROL
 MEASURES JUST INSIDE THE LOD PRIOR
 TO START OF CONSTRUCTION AND
 MAINTAIN UNTIL A STABLE SURFACE
 COVERAGE IS ESTABLISHED

FURNISH & INSTALL RAIN GARDEN #7 (RG-7)
 FOR PORTION OF DRIVE RUNOFF
 5' W X 32' +/- L X 6' D
 TOP ELEV = 475.5, BOTTOM ELEV = 475
 SIDE SLOPE = 6:1
 BOTTOM AREA = 155 +/- SF
 SHOWT ELEV IN AREA = 473 +/-
 DRIVE AREA DIRECTED TO RG-5 = 700 SF
 MAX RUNOFF HANDLED = 1033 +/- SF

FURNISH & INSTALL RAIN GARDEN #6 (RG-6)
 FOR PORTION OF DRIVE RUNOFF
 9' W X 34' +/- L X 6' D
 TOP ELEV = 478.5, BOTTOM ELEV = 478
 SIDE SLOPE = 6:1
 BOTTOM AREA = 114 +/- SF
 SHOWT ELEV IN AREA = 473.5 +/-
 DRIVE AREA DIRECTED TO RG-5 = 1103 SF
 MAX RUNOFF HANDLED = 1106 +/- SF

EXISTING VEGETATION WITHIN THE
 LOD SHALL BE MAINTAINED TO THE
 GREATEST EXTENT POSSIBLE AND
 SUPPLEMENTED AS SITE CONDITIONS
 WARRANT.

FURNISH & INSTALL RAIN GARDEN #4 (RG-4)
 FOR ROOF RUNOFF WITH ALL GUTTERS WILL BE DIRECTED
 TO DOWNSPOUTS PROVIDED WITH A 1' WIDE RIPRAP
 CHANNEL TO THE RAIN GARDENS
 11' +/- W X 13' +/- L X 8' D
 TOP ELEV = 476.5, BOTTOM ELEV = 476
 SIDE SLOPE = 6:1
 BOTTOM AREA = 132 +/- SF
 SHOWT ELEV IN AREA = 473 +/-
 ROOF AREA DIRECTED TO RG-4 = 864 SF
 MAX RUNOFF HANDLED = 880 +/- SF

FURNISH & INSTALL RAIN GARDEN #5 (RG-5)
 FOR PORTION OF DRIVE RUNOFF
 5' W X 23' +/- L X 6' D
 TOP ELEV = 478.5, BOTTOM ELEV = 478
 SIDE SLOPE = 6:1
 BOTTOM AREA = 114 +/- SF
 SHOWT ELEV IN AREA = 473.5 +/-
 DRIVE AREA DIRECTED TO RG-5 = 726 SF
 MAX RUNOFF HANDLED = 760 +/- SF

FURNISH & INSTALL RAIN GARDEN #3 (RG-3)
 FOR ROOF RUNOFF WITH ALL GUTTERS WILL BE DIRECTED
 TO DOWNSPOUTS PROVIDED WITH A 1' WIDE RIPRAP
 CHANNEL TO THE RAIN GARDENS
 8' +/- W X 18' +/- L X 6' D
 TOP ELEV = 476.5, BOTTOM ELEV = 476
 SIDE SLOPE = 6:1
 BOTTOM AREA = 134 +/- SF
 SHOWT ELEV IN AREA = 473 +/-
 ROOF AREA DIRECTED TO RG-4 = 864 SF
 MAX RUNOFF HANDLED = 893 +/- SF

FURNISH & INSTALL RAIN GARDEN #2 (RG-2)
 FOR ROOF RUNOFF WITH ALL GUTTERS WILL BE DIRECTED
 TO DOWNSPOUTS PROVIDED WITH A 1' WIDE RIPRAP
 CHANNEL TO THE RAIN GARDENS
 8' +/- W X 18' +/- L X 6' D
 TOP ELEV = 475, BOTTOM ELEV = 474.5
 SIDE SLOPE = 6:1
 BOTTOM AREA = 134 +/- SF
 ROOF AREA DIRECTED TO RG-4 = 864 SF
 MAX RUNOFF HANDLED = 893 +/- SF

FURNISH & INSTALL RAIN GARDEN #1 (RG-1)
 FOR ROOF RUNOFF WITH ALL GUTTERS WILL BE DIRECTED
 TO DOWNSPOUTS PROVIDED WITH A 1' WIDE RIPRAP
 CHANNEL TO THE RAIN GARDENS
 8' +/- W X 18' +/- L X 6' D
 TOP ELEV = 475.5, BOTTOM ELEV = 475
 SIDE SLOPE = 6:1
 BOTTOM AREA = 134 +/- SF
 ROOF AREA DIRECTED TO RG-4 = 864 SF
 MAX RUNOFF HANDLED = 893 +/- SF

LIMITS OF DISTURBANCE - LOD (TYPICAL)
 FURNISH & INSTALL CONTINUOUS LINE OF
 EROSION & SEDIMENTATION CONTROL
 MEASURES JUST INSIDE THE LOD PRIOR
 TO START OF CONSTRUCTION AND
 MAINTAIN UNTIL A STABLE SURFACE
 COVERAGE IS ESTABLISHED

NO GRADING WITHIN
 25 FEET OF CEMETERY

A.P. 46, LOT 48
 W/F
 PROVIDENCE PUBLIC
 BUILDINGS AUTHORITY

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM

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Wendy L. Freeman

SCALE: 1" = 40'

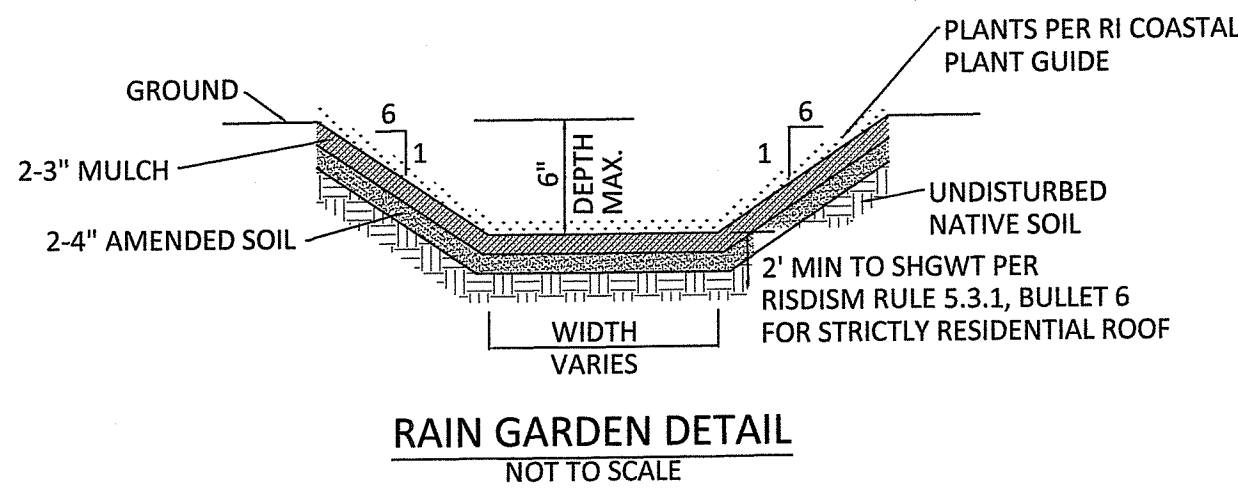
REVISIONS	DESCRIPTION	DATE	SEPT & OCT 2022	RIDEM WETLANDS COMMENTS

PATRICIA K. WALKER
 No. 5331
 REGISTERED PROFESSIONAL ENGINEER

Walker Engineering, Ltd.
 31 Vale Court
 West Greenwich, RI 02817
 Phone / Fax (401) 397-8745
 Email: wsl31.pw@gmail.com

DETAILED STORMWATER PLAN NO. 2
 WERCHADLO 2 RESIDENCE
 ASSESSOR'S PLAT 46 / LOT 49 / SUBLLOT 2
 WESTCOTT ROAD
 SCITUATE, RHODE ISLAND

DATE: JUNE 2022
 REVISED SEPT/OCT 2022
 SHEET: S - 3
 SHEET 4 OF 6



RAIN GARDEN NOTES

1. THE MAXIMUM DEPTH OF ALL RAIN GARDENS SHALL BE 6 INCHES
2. THE BOTTOM WIDTH OF THE RAIN GARDEN IS GENERALLY 5.5 FEET TYPICALLY
3. THE RAIN GARDENS SHALL HAVE A SIDE SLOPE OF 6:1 (3 FEET IN 6 INCHES)
4. THE RAIN GARDENS SHALL BE LOCATED A MINIMUM OF 10' OFF BUILDING, 15 FEET FROM OWTS, 3 FEET OFF DRIVE EDGE, AND 25 FEET OFF WELL
5. THE RAIN GARDENS SHALL CONTAIN A 2 TO 4 INCH AMENDED SOIL LAYER AND A 2 TO 3 INCH MULCH LAYER
6. THE AMENDED SOIL LAYER OF THE RAIN GARDEN SHOULD BE A 50/50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST
7. PLANTS SHALL TOLERATE WET CONDITIONS BUT ALSO VERY DRY CONDITIONS. USE THE RI COASTAL PLANT GUIDE AT WWW.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM TO SELECT APPROPRIATE SPECIES (FILTER SELECTION FOR RAIN GARDEN). REFER TO TWO EXAMPLE PLANTING PLANS FOR RESIDENTIAL RAIN GARDENS. PLANTINGS SHALL INCLUDE A MINIMUM OF THREE DIFFERENT PLANT SPECIES, INCLUDING SHRUBS AS WELL AS HERBACEOUS SPECIES.

RAIN GARDEN MAINTENANCE NOTES

1. RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY.
2. RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL
3. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON
4. SILT / SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS
5. PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED
6. SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR
7. FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDEN
8. PERENNIAL PLANTS AND GROUND COVER SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

Figure 4. Rain Garden Example - Planting Plan 1

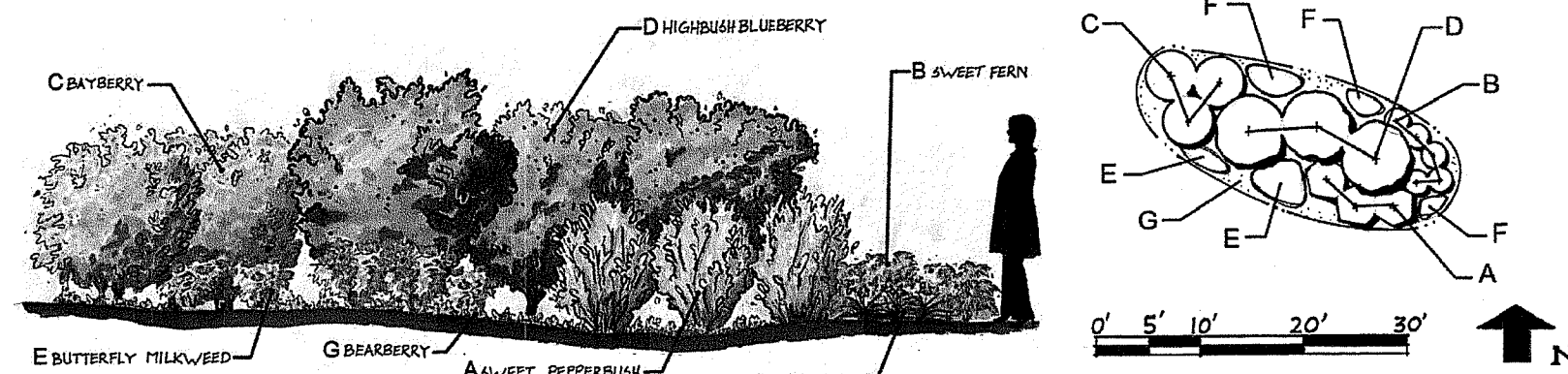
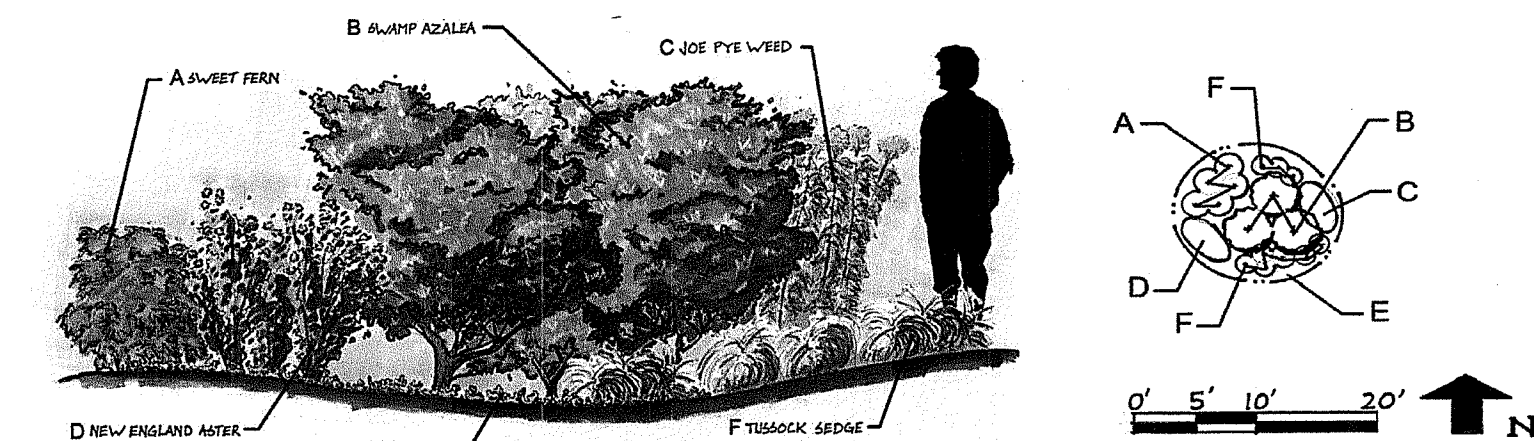


Figure 5. Rain Garden Example - Planting Plan 2



PLANTING PLAN SAMPLES FOR RAIN GARDEN

SOURCE: STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.

STORMWATER NOTES DURING CONSTRUCTION

1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
2. STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL DEVELOPMENT REQUIREMENTS.
3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RI STORMWATER MANUAL AND TOWN OF SCITUATE REQUIREMENTS.
4. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
5. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
6. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
7. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEDED IMMEDIATELY.
8. NO DRAINAGE MEASURES SHALL BE LOCATED WITHIN 15 FEET OF ANY COMPONENTS OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
9. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
10. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
11. MAINTENANCE OF ALL STORMWATER MEASURES SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
12. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEDED IMMEDIATELY.
13. NO CHANGES IN THE OVERALL EXISTING DRAINAGE PATTERN ARE PROPOSED.

GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED SINGLE FAMILY RESIDENCE LOCATED ON ASSESSOR'S PLAT 46, LOT 49, SUBLOT 2

RESPONSIBLE PARTY FOR MAINTENANCE

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM ONCE THEY ARE COMPLETELY CONSTRUCTED.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREA FOR THE RAIN GARDENS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE RAIN GARDEN AREA DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
- THE RAIN GARDEN SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE IS PROVIDED AS PART OF THE DESIGN. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION. ALL MAINTENANCE PERFORMED SHALL BE DONE IN A MANNER TO MAINTAIN THE INFILTRATION CAPACITY OF THE RAIN GARDENS.
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.
- SCREENING VEGETATION ALONG SIDES OF DRIVE SHALL BE MAINTAINED THROUGHOUT THE YEAR. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND LIFE, SHOULD ANY OF THESE MATERIALS BECOME DISEASED OR DIE, THEY SHALL BE REPLACED IN KIND AND LOCATION.

DESCRIPTION OF APPLICABLE EASEMENTS
NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES
THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE PROPERTY OWNER'S FUNDS SHALL BE USED AS REQUIRED.

- MINIMUM VEGETATIVE COVER REQUIREMENTS
- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.
- NO PESTICIDES OR FERTILIZERS SHALL BE USED IN THE RAIN GARDEN.

GENERAL STORMWATER AND DRAINAGE NOTES

1. DESIGN OF PROPOSED HOUSE PROVIDED BY PROPERTY OWNER / APPLICANT.
2. STORMWATER MEASURES HAVE BEEN DESIGNED IN ACCORDANCE WITH "STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT"
3. RAIN GARDENS SHALL BE CONSTRUCTED AND INSTALLED AS PART OF THE OVERALL SITE IMPROVEMENTS PROPOSED.

GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE TOWN PUBLIC WORKS AND ENGINEERING DEPARTMENTS.
3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.
7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.
8. DRIVEWAY SHALL BE IMPERVIOUS PAVEMENT SURFACE IN ACCORDANCE WITH TOWN OF SCITUATE REQUIREMENTS, AS APPLICABLE.
9. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.
10. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.
11. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
12. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.
13. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.
14. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 4-FOOT MAXIMUM HEIGHT.

TREATMENT OF EXISTING CONDITIONS

1. EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE.
2. VEGETATION SHALL BE SUPPLEMENTED WHERE SITE CONDITIONS WARRANT BY PROPOSED LANDSCAPING TO ENSURE ADEQUATE SCREENING BUFFERS ARE PROVIDED IN ACCORDANCE WITH STATE OF RHODE ISLAND AND TOWN OF SCITUATE REQUIREMENTS.

LIMITS OF DISTURBANCE NOTES:

1. PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.
2. THE CONTINUOUS LINE OF EROSION CONTROLS (HAYBALES & SILT FENCE, RI STD. 9.3.0 OR STRAW WATTLES OR SILT SOCKS) SHALL BE LOCATED WITHIN THE LOD AS SITE CONDITIONS WARRANT AND AS SHOWN ON THE PLANS ON THE DOWNHILL SIDE OF THE LOD. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS SITE CONDITIONS WARRANT.
3. EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
4. AREAS DISTURBED DURING CONSTRUCTION, EXCLUDING THE DRIVES, STRUCTURES, AND STORMWATER MEASURES SHALL BE LANDSCAPED PER OWNER'S DIRECTIONS AND AT A MINIMUM BE LOAM & SEEDED.
5. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL STABLE GROUND COVER IS ESTABLISHED.
6. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE. EXISTING BOULDERS MAY BE UTILIZED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT.

GENERAL WATER NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
3. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH AWWA AND RI DEPARTMENT OF HEALTH (RIDOH) RULES, REGULATIONS, SPECIFICATIONS, AND DETAILS.
4. WATER PIPE SHALL BE IN ACCORDANCE WITH AWWA & RIDOH STANDARDS.
5. ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS, AND MATERIALS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, AWWA STANDARDS, AND STATE AND GOVERNMENTAL REQUIREMENTS.
6. CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST RESTRAINTS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
7. LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO RIDOH REQUIREMENTS, AWWA RECOMMENDATIONS, RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) REQUIREMENTS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
8. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST RESTRAINTS, FITTINGS, CASTINGS, ETC. SHALL BE AWWA, RIDOH, AND RIDEM APPROVED MATERIALS AND METHODS (AT THE TIME OF CONSTRUCTION).
9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND VALIDATIONS OF STANDARDS AND SPECIFICATIONS AS REQUIRED BY TOWN AND STATE AGENCIES.
10. METHODS OF TRENCHING, BEDDING, INSTALLATION, BACKFILLING, TESTING AND CHLORINATING OF WATER FACILITIES SHALL CONFORM TO RIDOH, AWWA, RIDEM, STATE AND LOCAL REQUIREMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS-BUILT PLANS DETAILING LOCATION OF CONNECTIONS, TEES, AND VALVES AS REQUIRED BY AND IN CONFORMANCE WITH STATE AND TOWN REQUIREMENTS.
12. CHLORINATION OF WATER SYSTEM SHALL CONFORM TO RIDOH AND RIDEM REQUIREMENTS AND REGULATIONS AND SHALL NOT RESULT IN THE DISCHARGE OF CHLORINATED WATER TO ON-SITE WETLANDS AND WATERCOURSES.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

ORDER OF PROCEDURE

1. PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR. SAID FLAGGING SHALL BE TEMPORARY, HIGH-VISIBILITY MARKINGS.
2. PRIOR TO COMMENCING OPERATIONS, EROSION CONTROLS SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS AND WETLAND AREAS.
3. ALL SEDIMENTATION BARRIERS SHALL BE PROPERLY INSTALLED. AS APPLICABLE AND AS SHOWN ON THE PLANS AND AS MAY BE REQUIRED IN THE FIELD.
4. A CONTINUOUS SEDIMENTATION BARRIER SHALL BE INSTALLED WITHIN THE APPROVED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS PRIOR TO ANY SITE GRADING OR SOIL DISTURBANCE ACTIVITIES.
5. PRIOR TO GENERAL BUILDING CONSTRUCTION, TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS MAY BE REQUIRED TO RECEIVE AND CONTAIN CONSTRUCTION STORMWATER RUNOFF. SAID SEDIMENTATION BASINS SHALL BE CONSTRUCTED OUTSIDE OF ANY WETLAND OR ASSOCIATED PERIMETERS AS SITE CONDITIONS WARRANT.
6. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
7. DURING CONSTRUCTION PHASE, SITE STABILIZATION ACTIVITIES INCLUDING SEEDING AND EROSION & SEDIMENTATION CONTROL REPLACEMENT SHALL BE INITIATED ON SEPTEMBER 1 OF THE YEAR IN PREPARATION FOR SITE OVER WINTER PERIOD.
8. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
9. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
10. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
11. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

EROSION CONTROL PLAN

1. EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO ANY OFF-SITE AREAS AND / OR WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
2. STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROLS JUST INSIDE THE LIMITS OF DISTURBANCE. THE SEDIMENT CONTROLS WILL BE A CONTINUOUS LINE OF HAYBALES AND SILT FENCE OR STRAW WATTLES OR OTHER APPROVED EQUAL.
 - C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - D. INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - E. CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - F. ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 18 2022 FILE #: 22-0298
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

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PLAN REFERENCE NOTES:

1. PLAN SHEET 1 OF 6 FOR MASTER PLAN LAYOUT
2. PLAN SHEET S-1 FOR OVERALL STORMWATER DESIGN
3. PLAN SHEETS S-2 AND S-3 FOR DETAILED STORMWATER DESIGN OF SUBLOT 2
4. PLAN SHEET ND-2 FOR STORMWATER NOTES & DETAILS

RI Environmental Management
OCT 06 2022
Office of Water Resources
NOT TO SCALE

REVISIONS	DESCRIPTION
DATE	RIDEM WETLANDS COMMENTS
SEPT 2022	

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NOTES & DETAILS NO. 1
WERCHADLO 2 RESIDENCE
ASSESSOR'S PLAT 46 / LOT 49 / SUBLOT 2
WESTCOTT ROAD
SCITUATE, RHODE ISLAND

DATE: JUNE 2022
REVISED SEPT 2022
SHEET: ND - 1
SHEET 5 OF 6

