

NORTHEAST ENGINEERS & CONSULTANTS, INC.

NE & C

A KNOWLEDGE CORPORATION®

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION # 22-036
 DATED: NOV 04 2022
 SEE LETTER OF SAME DATE
Martin D. Senack

GENERAL NOTES:

- EXISTING CONDITIONS ARE THE RESULT OF GROUND SURVEYS PERFORMED BY NEAC IN NOVEMBER AND DECEMBER OF 2018 AND UPDATED IN DECEMBER OF 2021. PROPERTY LINE TAKEN FROM PLAN ENTITLED "SULLIVAN SUBDIVISION A.P. 125 LOT 950, LEWIS DRIVE AND BAILEY AVENUE, MIDDLETOWN, RI, PROPOSED SUBDIVISION PLAN" PREPARED BY NEAC LAST REVISED 02MAR21.
- VERTICAL DATUM NAVD88, ESTABLISHED BY GNSS RTK OBSERVATION.
- NORTH ARROW REFERENCES GRID NORTH (RISP NAD83).
- FRESHWATER WETLANDS WERE DELINEATED BY MASON ASSOCIATES, INC. IN MAY OF 2019. WETLANDS FLAGS FIELD LOCATED BY NEAC MAY 13, 2019. WETLAND EDGE VERIFIED BY RIDEM FILE NO. 19-0221.
- LOCATIONS OF ABUTTING PROPERTIES SCALED FROM AERIAL PHOTOGRAPHY AND SHOULD BE CONSIDERED APPROXIMATE.
- SITE IS LOCATED WITHIN TOWN OF MIDDLETOWN WATERSHED PROTECTION DISTRICT ZONE 2.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONSTRUCTION SEQUENCE**
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR/OWNER SHALL NOTIFY THE TOWN OF MIDDLETOWN BUILDING OFFICIAL IN ADVANCE OF HIS INTENT TO BEGIN CONSTRUCTION.
 - CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCE BUILT PER THE DETAIL PROVIDED.
 - INSTALL SILT FENCE, SILT SACKS, CHECK DAMS AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES. EROSION CONTROLS SHALL BE IN PLACE BEFORE ANY OTHER SITE WORK IS UNDERTAKEN.
 - ALL BRUSH TO BE REMOVED IN AREA OF PROPOSED LAWN. REMOVE TREES AND VEGETATION ONLY WHERE NECESSARY. ALL STUMPS TO BE GROUND OR DISPOSED OFF-SITE.
 - AREA OF PROPOSED DRAINAGE SYSTEM SHALL BE DELINEATED. CONSTRUCTION TRAFFIC AND STOCKPILING SHALL BE AVOIDED IN THIS AREA.
 - ROUGH GRADE SITE AS SHOWN. ONLY THOSE AREAS UNDER CONSTRUCTION WILL BE DISTURBED BY EARTHWORK. THE REMAINDER OF THE LOT WILL NOT BE STRIPPED OR DISTURBED UNTIL CONTRACTOR IS DONE WITH THE RESIDENCE CONSTRUCTION AND READY FOR THE FINAL LAWN/LANDSCAPING INSTALLATION.
 - TEMPORARY SOIL STOCKPILES SHALL BE PROTECTED WITH ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.
 - EXCAVATE FOR FOUNDATION. BEGIN RESIDENCE CONSTRUCTION.
 - CONSTRUCT SEWER CONNECTION IN COORDINATION WITH MIDDLETOWN PUBLIC WORKS.
 - CONSTRUCT WATER CONNECTION IN COORDINATION WITH NEWPORT WATER.
 - CONSTRUCT ELECTRIC CONNECTION IN COORDINATION WITH
 - ESTABLISH A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN BUILDING OFFICIAL. COMPLETE AREAS OF LANDSCAPING.
 - UPON COMPLETION OF CONSTRUCTION AND PRIOR TO REMOVAL OF EROSION & SEDIMENT CONTROLS, CONTRACTOR SHALL CONTACT THE BUILDING OFFICIAL FOR A FINAL INSPECTION.
 - MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES. EROSION CONTROLS MUST BE MAINTAINED AND REMAIN IN PLACE UNTIL THE LAWN HAS RECEIVED TWO (2) MOWINGS.

2. EARTHWORK NOTES:

- DURING THE PERIOD OF CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
- FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- ALL FILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
- EXCESS QUANTITIES OF SOIL WILL BE REMOVED FROM SITE BY CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

3. VEGETATIVE PRACTICE:

- PERMANENT MEASURES:**
- EROSION CONTROL BLANKET SHALL BE INSTALLED ON ANY SLOPES STEEPER THAN 3:1 (SEE PLAN).
 - A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2" SHALL BE REMOVED.
 - THE FOLLOWING SEEDING MIXTURE SHALL BE APPLIED AT THE INDICATED RATE UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.

RED FESCUE:	40 LBS/ACRE
KENTUCKY BLUEGRASS:	40 LBS/ACRE
PERENNIAL RYEGRASS:	20 LBS/ACRE
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE
- TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)**
- LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:

LIMESTONE:	2 TONS/ACRE
FERTILIZER: (10-10-10):	600 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:

WINTER RYE:	100 LBS/ACRE
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 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

4. SHORT-TERM MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
- FILTER SOCK SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN. AT A MINIMUM THE BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND/OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - ANY EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - THE STONE CONSTRUCTION ENTRANCE SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE REMOVED PRIOR TO FINAL SURFACING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
 - SEEDED AREAS SHALL BE FERTILIZED AND RESEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF REVIEWING ENTITIES.
 - MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. ONCE CONSTRUCTION OF THE SITE IS COMPLETE, MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

5. DRAINAGE NOTES:

- ALL DRAIN PIPES ARE TO BE SCH. 40 PVC PIPE OR ADS N-12 TYPE IB (SOLITIGHT) UNLESS OTHERWISE SPECIFIED.
- ROOF OVERHANGS SHALL BE GUTTERED WITH DOWNSPOUTS CONVEYED TO THE RAIN GARDEN. CONNECTIONS SHALL BE COORDINATED WITH PROJECT ARCHITECT.
- THE RAIN GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL PROVIDED.
- AREA OF THE RAIN GARDEN SHALL NOT BE USED FOR STOCKPILING OF MATERIAL OR EQUIPMENT DURING CONSTRUCTION.
- MAINTENANCE OF THE RAIN GARDEN DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. ONCE CONSTRUCTION OF THE SITE IS COMPLETE, MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

ZONING DATA TABLE (R-40 WITH WATER AND SEWER)	REQUIRED	PROPOSED
MINIMUM LOT AREA:	40,000 SQ. FT.	86,799 SQ. FT.
MINIMUM SETBACKS:		
FRONT LINE	40 FT.	42.3 FT.
SIDE LINE	30 FT.	114.7 / 102.1 FT.
REAR LINE	60 FT.	64.2 FT.
ACCESSORY SIDE	30 FT.	N/A
ACCESSORY REAR	15 FT.	N/A
MAXIMUM LOT COVERAGE:	15%	6.1%
MAXIMUM BUILDING HEIGHT:	35 FT.	35FT MAX

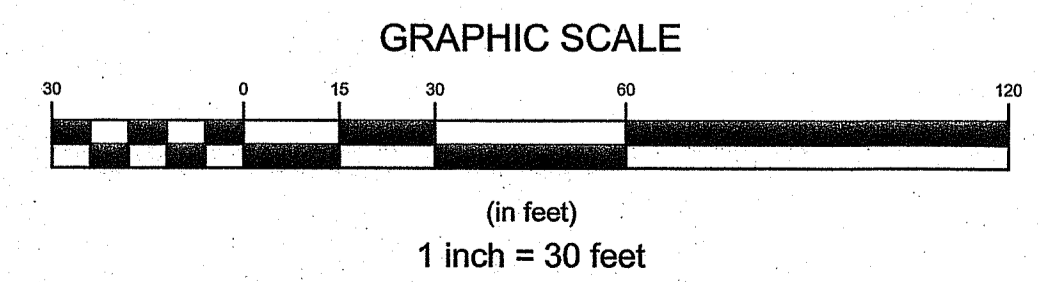
WATER QUALITY CALCULATIONS	
PROPOSED IMPERVIOUS (SQUARE FEET)	PER TABLE 8 OF THE STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR A SINGLE FAMILY RESIDENTIAL DEVELOPMENT, AN 8" DEEP RAIN GARDEN IN SILT LOAM AND LOAM WOULD REQUIRE AN AREA OF 843 SQUARE FEET TO PROVIDE SUFFICIENT TREATMENT.
NEW RESIDENCE (WOVERHANGS)	5,284
TOTAL	5,284
PROPOSED IMPERVIOUS = 5,284 SF	A RAIN GARDEN WITH AN AREA OF 856 SQUARE FEET IS PROVIDED.
WATER QUALITY REQ. FOR NEW IMPERVIOUS = 1,057 SF / 12 = 439 CF	

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NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7293, AND/OR ALL LOCAL UTILITY COMPANIES)



No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR/JBS
Checked by:	GES	Date:	27JUN22

Scale: 1"=40' Date: 27JUN22

Project Title:
**A.P. 125, LOT 951
 0 BAILEY AVENUE
 MIDDLETOWN
 RHODE ISLAND 02841**

Owner:
 SPRINGTIDE BUILDING & SERVICES, LLC
 132 WINTER STREET
 FRAMINGHAM, MA 01702

Issued for:
 RIDEM

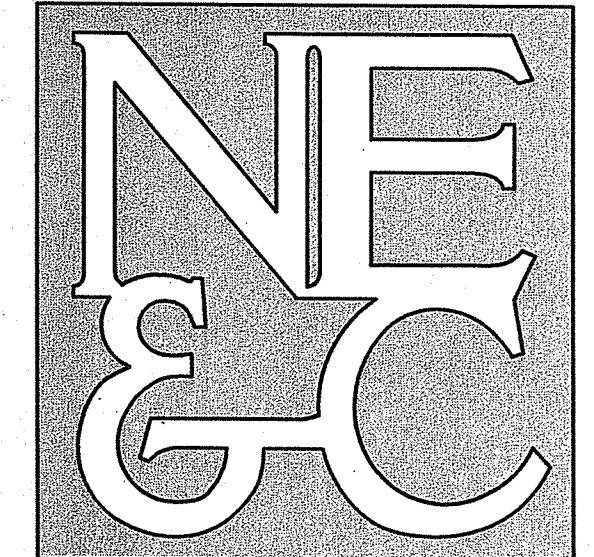
Drawing Title:
**PROPOSED
 CONDITIONS PLAN**

RI Environmental Management
 JUN 29 2022
 Office of Water Resources

Drawing Number:
C-1

Sheet 1 of 2
 Project Number:
18213.1
 Survey Index:
13 - 125 - 951

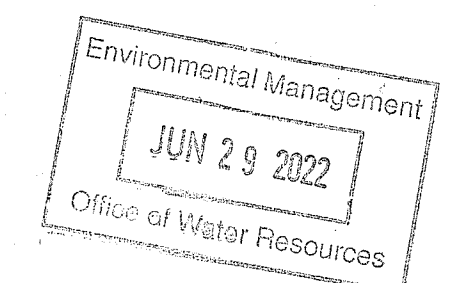
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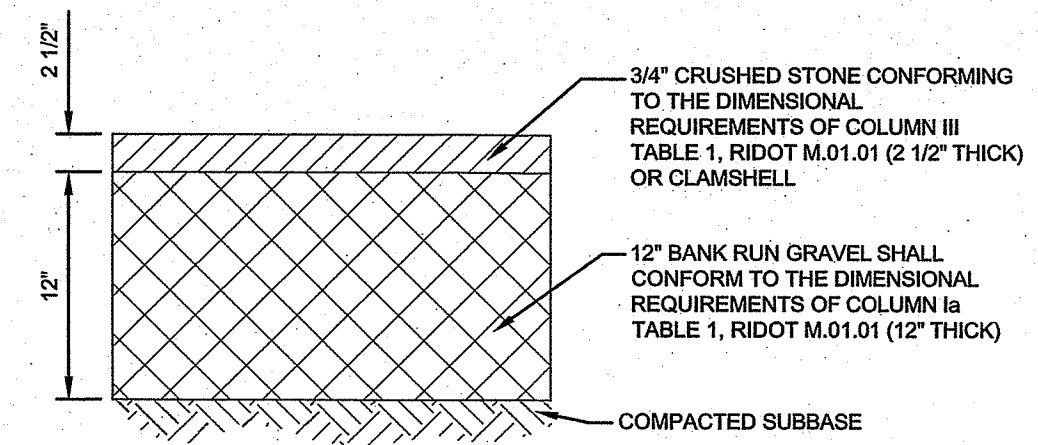
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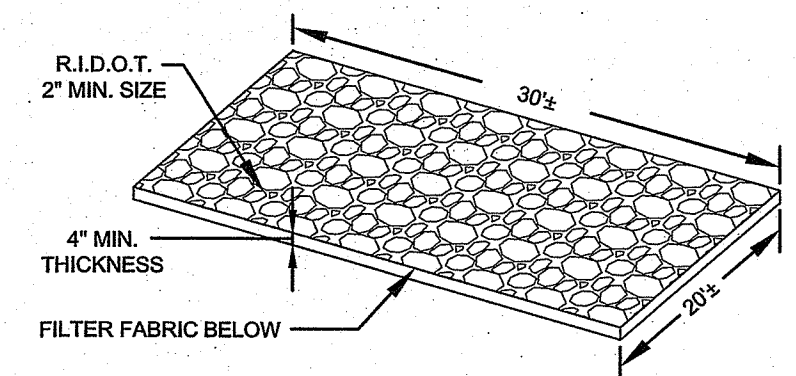
SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL



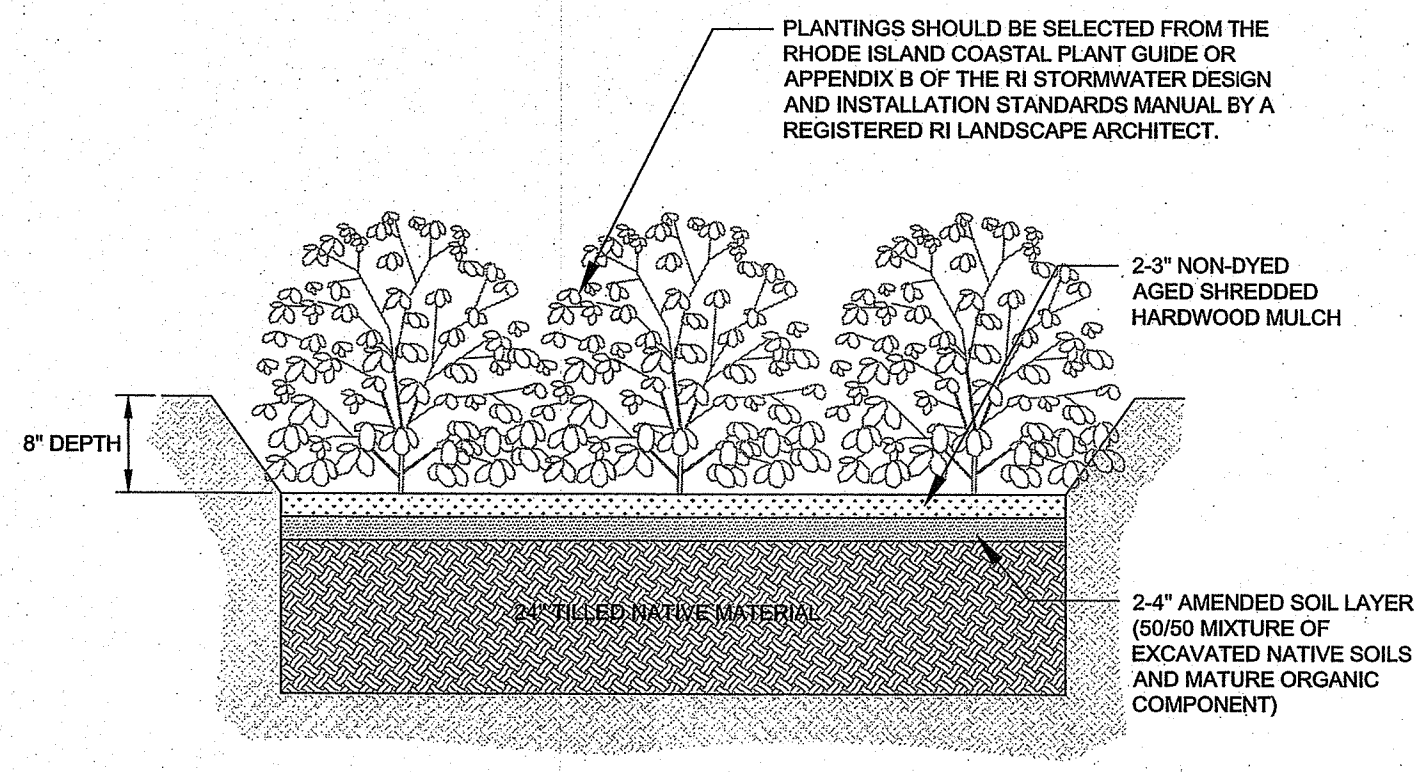
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION #: 22-0316
DATED: NOV 04 2022
SEE LETTER OF SAME DATE
Justin B. Weneck



GRAVEL DRIVEWAY WITH STONE TOP SECTION
SCALE: NOT TO SCALE

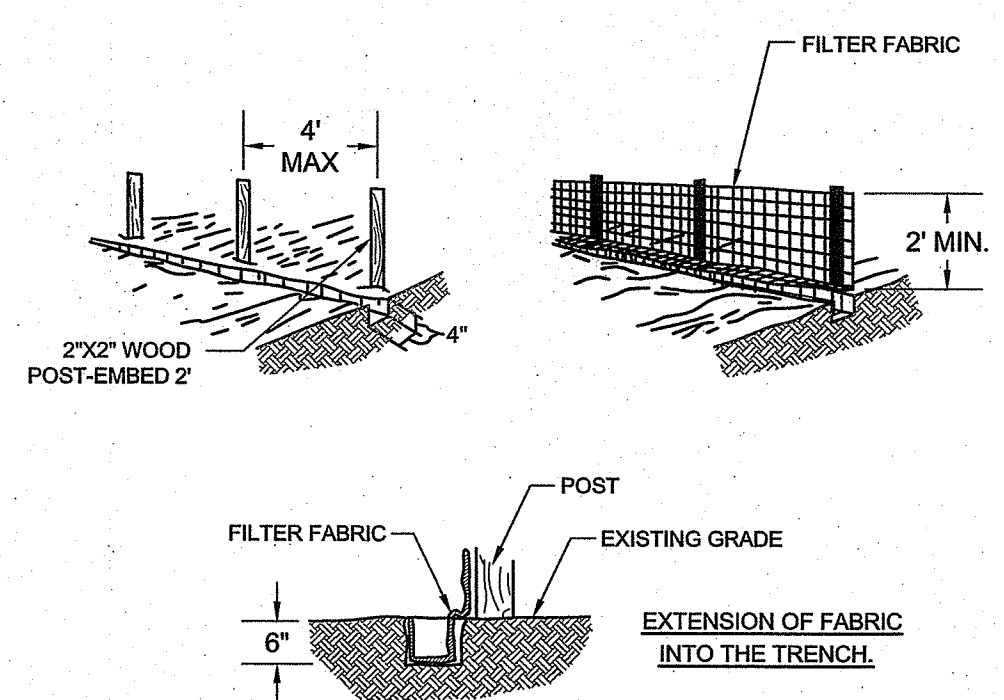


CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



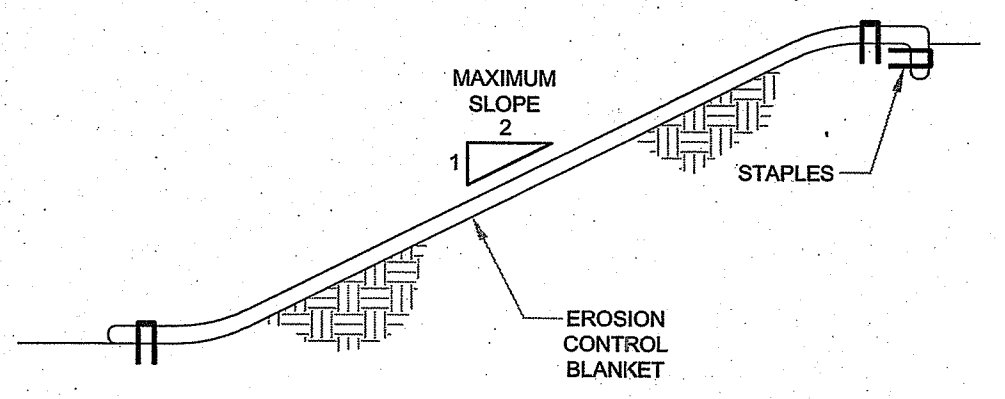
- NOTES:**
1. A CRUSHED STONE ENTRANCE SHALL BE INSTALLED AT INFLOW TO PREVENT CHANNELING.
 2. DOWNHILL SIDE OF GARDEN SHALL BE BERMED TO PROVIDE THE NECESSARY DEPTH.

TYPICAL RAIN GARDEN CROSS SECTION
SCALE: NOT TO SCALE



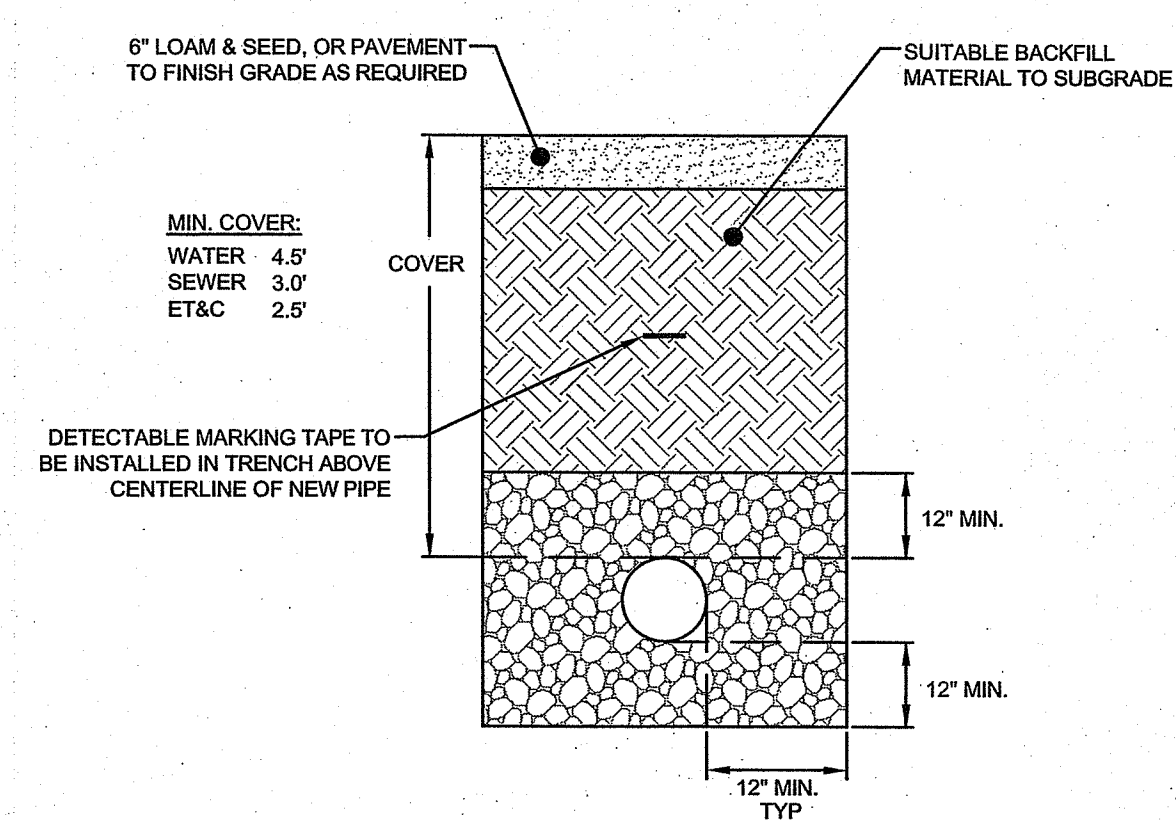
- NOTES:**
1. SET POSTS AND EXCAVATE A 6" X 6" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
 2. STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
 3. BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.

SILT FENCE
SCALE: NOT TO SCALE



- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

EROSION CONTROL BLANKET
SCALE: NOT TO SCALE



UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE

- NOTES:**
1. UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
 2. TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
 3. SEWER AND DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
 4. ALL PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
 5. ALL DRAIN PIPES SHALL BE CLASS III RCP UNLESS OTHERWISE INDICATED.
 6. ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F679.
 7. BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (AASHTO T160). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
 8. SEWER AND DRAINAGE PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RIDOT STANDARD M.01.09 TYPE II MATERIAL.
 9. WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
 10. UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE TOWN OF MIDDLETOWN PUBLIC WORKS DEPARTMENT AND NEWPORT WATER RULES AND REGULATIONS.
 11. WHEN TRENCH EXCAVATION IS ADJACENT TO OR UNDER EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SHEETING AND BRACING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE FROM POSSIBLE SLIDES, CAVES-INS AND SETTLEMENT AND FOR PROPERLY SUPPORTING EXISTING STRUCTURES AND FACILITIES WITH BEAMS, STRUTS OR UNDERPINNING TO FULLY PROTECT THEM FROM DAMAGE.

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No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR/JBS
Checked by:	GES	Scale:	AS SHOWN
Date:	27JUN22	Project Title:	A.P. 125, LOT 951 0 BAILEY AVENUE MIDDLETOWN RHODE ISLAND 02841
Owner:	SPRINGTIDE BUILDING & SERVICES, LLC 132 WINTER STREET FRAMINGHAM, MA 01702		
Issued for:	RIDEM		
Drawing Title:	PROPOSED DETAILS		
Drawing Number:	C-2		
Sheet	2 of 2		
Project Number:	18213.1		
Survey Index:	13 - 125 - 951		
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