

LOCATION MAP 1"=1,000'±

**LEGEND**

N/F	Now or Formerly
F.Y.S.	Front Yard Setback
R.Y.S.	Rear Yard Setback
x 28.4	spot grade
⊙	monument as noted
△ A#	wetland flagging (freshwater)
e	proposed electric line
w	proposed water line
s	proposed sewer line
50' WS	50' wetland setback
100' RB	100' riverbank setback
LOD	limit of disturbance
50' PW	50' perimeter wetland

**DISTRICT DIMENSIONAL REGULATIONS**

District	RB - Residential B
Use	Single Family Dwelling or Other Permitted Use
Min. Lot Size	60,000 Sq. Ft.
Min. Front Yard Depth	50 feet
Min. Side Yard Depth	25 feet
Min. Rear Yard Depth	50 feet
Min. Front Yard-Acc. Bldg.	50 feet
Min. Side Yard-Acc. Bldg.	10 feet
Min. Rear Yard-Acc. Bldg.	15 feet
Max. Hgt. of Princ. Bldg.	32 feet
Max. Hgt. of Acc. Bldg.	25 feet
Max. % Imperv. Surf.	16%
Min. Lot Frontage	150 feet

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	OWN BY	CHK BY

SCALE: 1"=40'  
 CA JOB # 220014-2  
 JUNE 24, 2022

DRAWN BY: TWC  
 CHECK BY: MAC

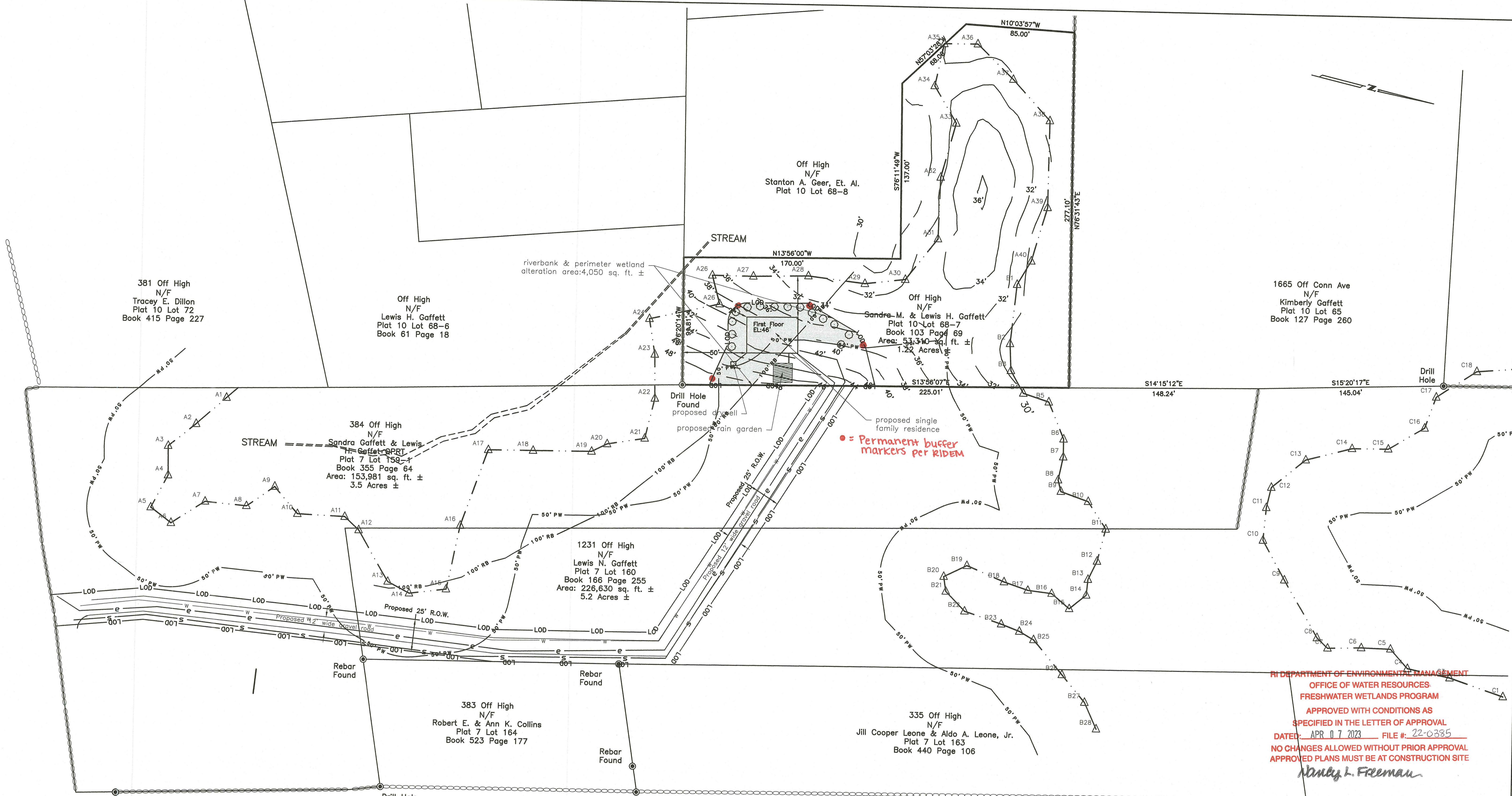
**SITE PLAN  
 PROPOSED EASEMENT AND  
 ROAD  
 THROUGH LOTS 159-1 & 160  
 ASSESSOR PLAT #7  
 PROPOSED HOUSE ON LOT  
 68-7 ASSESSOR PLAT 10  
 SANDRA GAFFETT  
 & LEWIS GAFFETT  
 OFF HIGH  
 PLAT 10 LOTS 68-7  
 NEW SHOREHAM, RHODE ISLAND**

PREPARED FOR  
**KERRI GAFFETT**

MARK A. CASTELLANOS  
 No. 2511  
 PROFESSIONAL LAND SURVEYOR

**S-1**

SHEET 1 OF 3  
 CHERENZIA & ASSOCIATES, LTD.

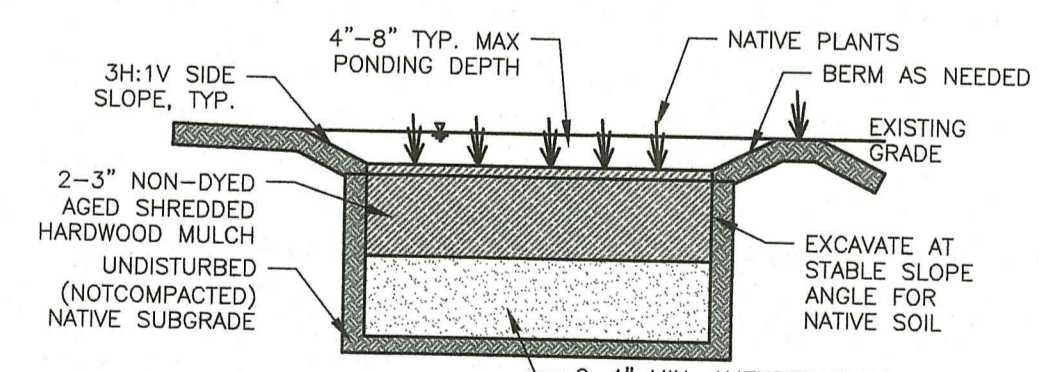


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
**FRESHWATER WETLANDS PROGRAM**  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: APR 07 2023 FILE #: 22-0335  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
**FRESHWATER WETLANDS PROGRAM**

NOTE PER DEM:  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



**RAIN GARDEN CONSTRUCTION:**

- A CRUSHED STONE ENTRANCE SHOULD BE INSTALLED AT THE INFLOW TO PREVENT CHANNELING.
- A BERM TO DETAIN STORMWATER, IF REQUIRED, SHOULD BE CONSTRUCTED ALONG THE DOWNHILL SIDE OF THE RAIN GARDEN, PERPENDICULAR TO THE SLOPE OF THE LAWN, OR AS SHOWN ON THE PLANS.
- BE SURE THAT THE SOIL WITHIN THE RAIN GARDEN AREA DOES NOT BECOME COMPACTED BY CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY). IF SOIL BECOMES SEVERELY COMPACTED IT MAY NEED TO BE TILLED AND AMENDED TO MAINTAIN PROPER DRAINAGE.
- THE BOTTOM OF A RAIN GARDEN SHOULD BE LEVEL TO ENCOURAGE THE EVEN DISTRIBUTION OF STORMWATER AND INCREASE INFILTRATION CAPACITY.

**RAIN GARDEN MAINTENANCE NOTES:**

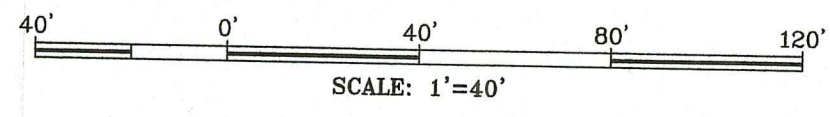
- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN OR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

**RAIN GARDEN**  
 NTS CA-D-019

- NOTES:**
- Bearings and North Arrow Orientation are referenced to the Rhode Island State Plane Coordinate System, NAD-83.
  - Elevations are referenced to the NAVD-88 Vertical Datum, see sheet 2.
  - Wetlands shown hereon were delineated by Natural Resource Services, Inc. on March 16, 2018.
  - The subject parcel resides entirely within FEMA Unshaded X Flood Zone, area of minimal flood hazard. As shown on Flood Insurance Rate Map Panel 44009C0362J, effective October 16, 2013.
  - Water and Sewer lines are to be public.
  - No grade changes proposed for Lot 160.
  - Driveway storm water runoff to be absorbed by gravel road and abutting grass shoulder.

- REFERENCES**
- Harbor View Block Island, R.I. Unit Land Co. July 1913 Scale = 40 ft. per inch F.T. Westcott, Eng'r North Attleborough, Mass.
  - Plan of Right of Ways Through Lots 159-1, 159-2, 165 & 160 Assessor Plat #7 68-6 Assessor Plat #10 New Shoreham, R.I. Owned by Lewis & Nathaniel Gaffett Date: 4/15/13 Revised: 6/22/16 Scale: 1"=50' Hilbern Land Surveying Land Surveys and Planners North Kingstown, RI
  - Administrative Subdivision Conceptual Site Plan In the Town of New Shoreham, Rhode Island A.P. 7, Lot 159-1, 159-2, 160 - Ebbett's Hollow Prepared for: Lew Gaffett July 30, 2018 Scale: 1"=50' South County Survey Co. Charlestown, RI
  - Site Plan Prepared for Lewis N. Gaffett Assessor's Plat 7, Lot 160 PVT R.O.W. Westerly Off of High Street Town of New Shoreham, RI Scale: 1"=30' Date: Feb, 1998-July, 1999 Richard A. Greene Associates, Inc.
  - Proposed Easement and Road Through Lots 159-1 & 160 Assessor Plat #7 Proposed House on Lot 68-7 Assessor Plat 10 New Shoreham, R.I. Owned by Lewis, Sandra & Nathaniel Gaffett Date: 4/14/11 Revised: 12/17/12 Scale: 1"=50' Hilbern Land Surveying Land Surveys and Planners North Kingstown, RI DEM Permit #12-0095

**STREET INDEX  
 OFF HIGH**



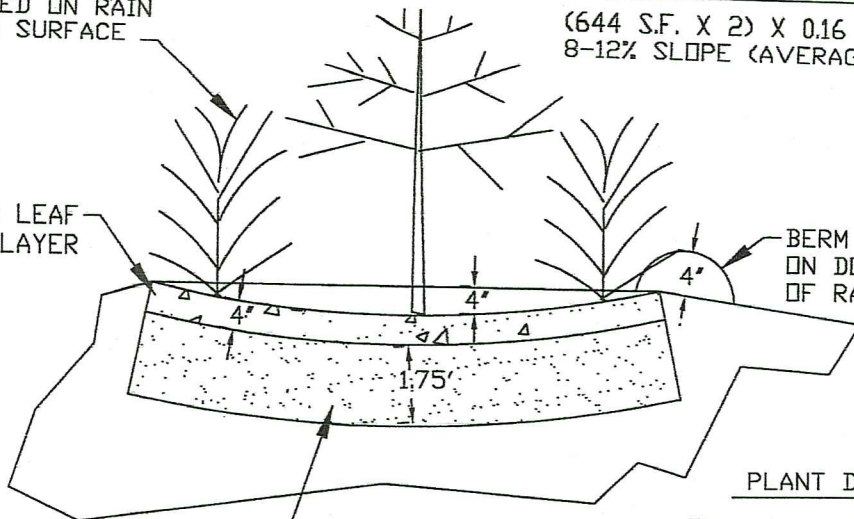
RI Department of Environmental Management  
Office of Water Resources  
MAR 27 2023

NATIVE SPECIES OF PLANTS  
TO BE PLANTED ON RAIN  
GARDEN SURFACE

RAIN GARDEN AREA REQUIRED:

(644 S.F. X 2) X 0.16 = 206 S.F.  
8-12% SLOPE (AVERAGE) = 8" DEPTH

MULCH AND OR LEAF  
COMPOST LAYER



BERM TO BE BUILT  
ON DOWNHILL SIDE  
OF RAIN GARDEN

PLANT DENSITY

TREES 1 PER 250 S.F.  
SHRUBS 1 PER 5 S.F.  
HERBACEOUS VEGETATION 1 PER 2.5 S.F.

SANDY LOAM LAYER  
CONSISTING OF 85-88% SAND, 8-12% SILT  
0-2% CLAY, 3-5% ORGANIC MATERIAL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

RAIN GARDEN DETAIL

APPROVED WITH CONDITIONS AS  
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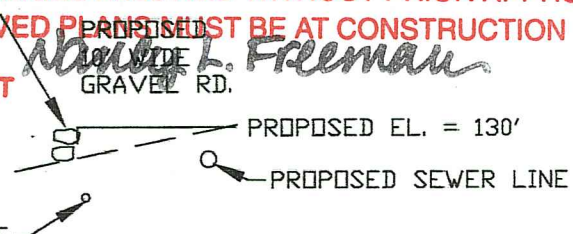
MAGNETIC NORTH 2009

STONE RETAINING WALL

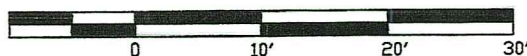
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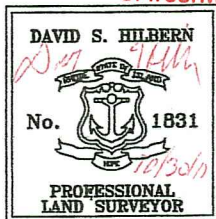


SCALE IN FEET



THIS PLAN AND SURVEY CONFORM TO A CLASS III  
STANDARD AS ADOPTED BY THE RHODE ISLAND  
BOARD FOR PROFESSIONAL LAND SURVEYORS.

BY: *David S. Hilbern*  
REGISTERED PROFESSIONAL LAND SURVEYOR



CROSS SECTION OF PROPOSED ALTERATION TO  
EMERGENT PLANT COMMUNITY WETLAND ON  
LOT 68-6 ASSESSOR PLAT 10  
OWNED BY LEWIS GAFFETT

SHEET 2 OF 2

DATE 3/29/11 REVISED 10/30/11 SCALE: 1" = 10'

HILBERN  
Land Surveying

Land Surveyors and Planners

225 SHADY LEA RD. N. KINGSTOWN R I  
401-294-4080 02852

\* Not to scale

Sheet 2 of 3

