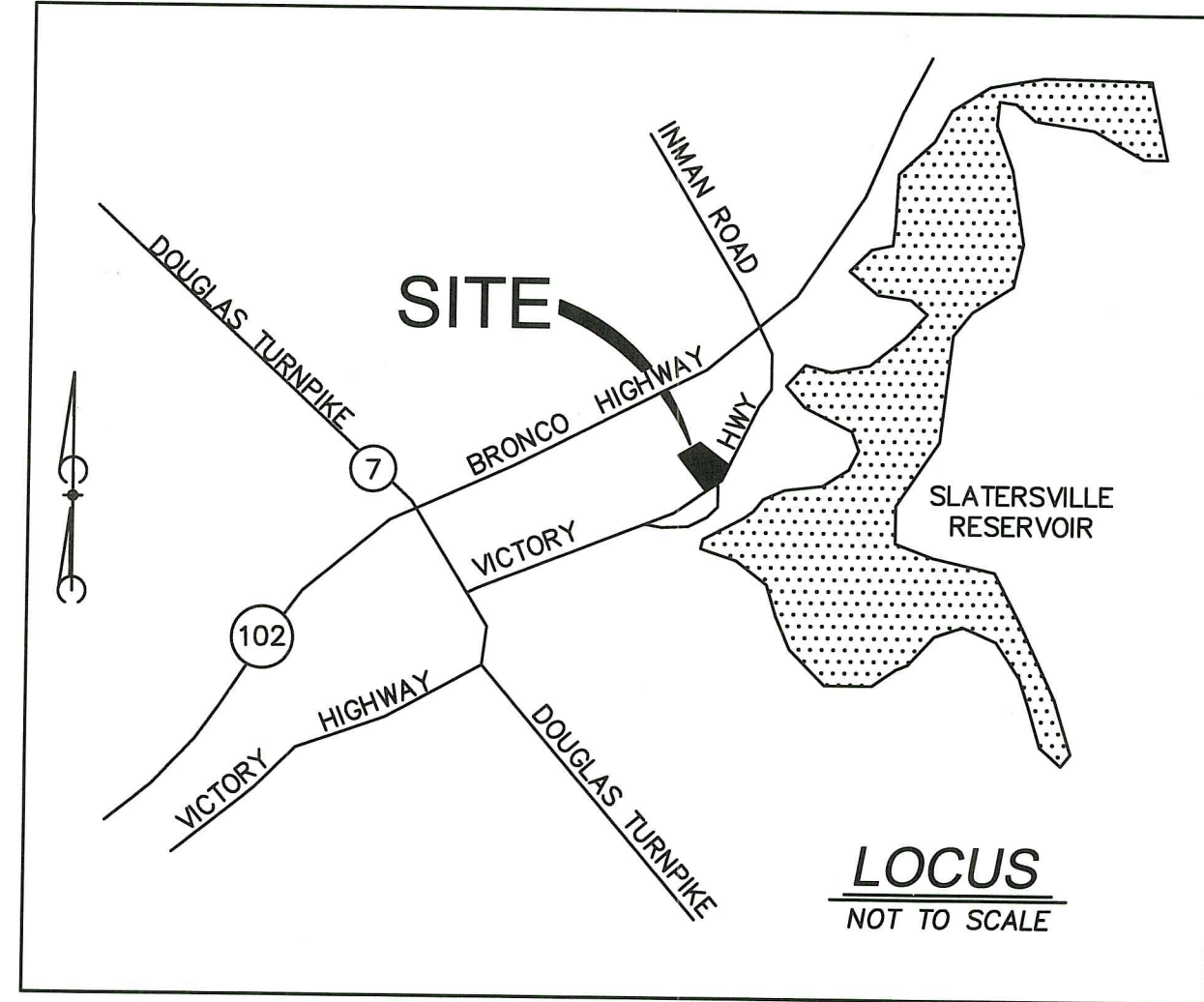
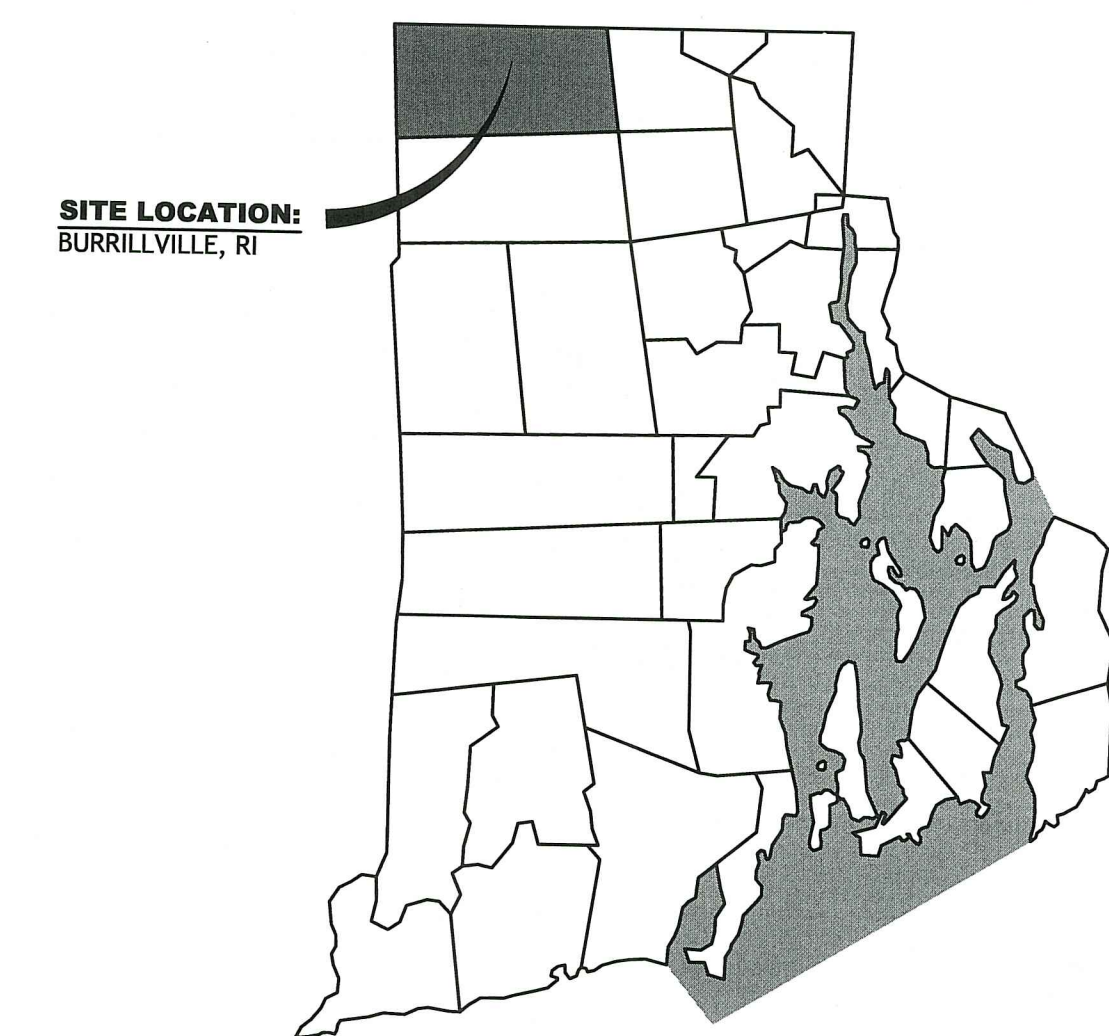


LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



PERMIT PLANS FOR PROPOSED O'KEEFE PROPERTIES, LLC SITE

AP 114, LOTS 44 AND 57

VICTORY HIGHWAY (POLE #99)

BURRILLVILLE, RHODE ISLAND

ZONING DISTRICT - GC - GENERAL COMMERCIAL, A-80 AND A-100 AQUIFER

PROJECT TEAM

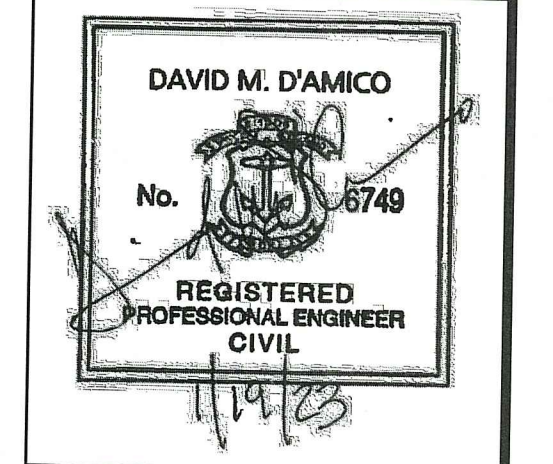
OWNER: O'KEEFE PROPERTIES, LLC
C/O DAVID O'KEEFE
61 GOLOSKIE ROAD
CHEPACHET, RI 02814
PHONE: (401) 639-6215

CIVIL: D'AMICO ENGINEERING TECHNOLOGY, INC
2080 MINERAL SPRING AVE.
NORTH PROVIDENCE, RI 02911
PHONE: (401) 622-1470
FAX: (401) 353-1190

SURVEYOR: MARC N. NYBERG ASSOCIATES, INC
501 GREAT ROAD, UNIT 104
NORTH SMITHFIELD, RI 02896
PHONE: (401) 762-2870
FAX: (401) 762-2871

INDEX OF DRAWINGS

SHEET NO.	PLAN
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	EXISTING CONDITIONS
4	SITE PLAN
5	GRADING, DRAINAGE AND UTILITY PLAN
6	SITE DETAILS 1
7	SITE DETAILS 2



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0389
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROPOSED O'KEEFE
PROPERTIES, LLC SITE
VICTORY HIGHWAY (POLE #99)
BURRILLVILLE, RHODE ISLAND
AP 114, LOT 44 AND 57

REVISIONS:

NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDEM COMMENTS OF 11-28-22

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE 2022
PROJECT NO: 15-0001-05

PERMIT PLANS

COVER SHEET

SHEET 1 OF 8

N:\15-0001\Marc N Nyberg\05 Stanley Tree Service\000 Technical\02 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:17pm

GENERAL NOTES:

- 1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

SITE NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2013 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

- 1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

DRAINAGE SYSTEM NOTES:

- 1. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES
2. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO THE TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

PROPOSED PAVEMENT STRUCTURE:

- ON-SITE (PAVEMENT TYPE A)
1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS 1-1 (CLASS 12.5 HMA)
1.5" BITUMINOUS CONCRETE BASE COURSE (CLASS 19 HMA)
12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICULAR USE, OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

PROPOSED PAVEMENT STRUCTURE:

- TOWN/RIDOT (PAVEMENT TYPE B)
2" BITUMINOUS CONCRETE SURFACE COURSE CLASS TYPE 1-1 (CLASS 12.5 HMA)
2" BITUMINOUS CONCRETE BASE COURSE (CLASS 19 HMA)
12" GRAVEL BORROW SUBBASE COURSE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION. INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE AND SUBSURFACE DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- 1. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
* DAMAGE TO GRATE/ COVERS
* EVIDENCE OF STANDING WATER
* DEBRIS REMOVAL
* STRUCTURAL ALIGNMENT/ INTEGRITY
* OIL/WATER SEPARATORS
2. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES OF THE UNDERGROUND INFILTRATION CHAMBERS OR TRENCHES TO BELOW THE DESIGN RATE THE SYSTEM MUST BE REMOVED AND RE-CONSTRUCTED. THE SYSTEMS BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
3. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.
4. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY SOIL AND GROUNDWATER CONTAMINATION RESULTING FROM THE USE OF THE STORMWATER RUNOFF SUBSURFACE DRAINAGE SYSTEM.
5. THE EXISTENCE OF THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE RECORDED ON THE PROPERTY DEED AT THE LOCAL MUNICIPAL OFFICE. ALL OPERATIONAL AND MAINTENANCE REQUIREMENTS, INCLUDING LEGAL RESPONSIBILITIES, WHERE APPLICABLE, SHOULD ALSO BE RECORDED ON THE TITLE.
6. UNDERGROUND INFILTRATION CHAMBERS AND TRENCHES SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24 HOUR TYPE III STORM EVENT (APPROXIMATELY 2.7").
7. THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE INSPECTED OFTEN DURING THE FIRST MONTHS OF OPERATION AND CLEANED AT LEAST YEARLY THEREAFTER WITH ALL OIL AND DEBRIS REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. CLEANING OF THE CULTEC SYSTEM WILL BE CONDUCTED BY VACUUM TRUCK DESIGN SPECIFICALLY TO REMOVE STORMWATER RUNOFF SEDIMENT. IN THE CASE OF AN OIL OR BULK POLLUTANT RELEASE, THE SYSTEM SHOULD BE CLEANED IMMEDIATELY FOLLOWING THE SPILL AND THE RIDEM DIVISION OF SITE REMEDIATION SHOULD BE NOTIFIED. FOR THE PURPOSE OF OIL REMOVAL A LICENSED CONTRACTOR MAY BE NECESSARY FOR THE REMOVAL, TRANSPORT, AND DISPOSAL OF WASTE OIL PRODUCTS TO A PROPERLY LICENSED FACILITY.

RIDOT

- 1. ALL WORK WITHIN THE STATE RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
2. PAVEMENT CUT AND MATCH LONGITUDINAL TERMINUS MUST BE LOCATED AT SHOULDER OR TRAVEL LANE EDGE LINES AND SHOULD NOT TERMINATE WITHIN A TRAVEL LANE.
3. A RIDOT UTILITY PERMIT APPLICATION AND APPROVAL IS REQUIRED FOR ANY UTILITY WORK (INCLUDING SEWER, WATER, GAS, ELECTRIC, ETC.) WITHIN THE STATE RIGHT-OF-WAY TO BE CONDUCTED BY THE CONTRACTOR.

REQUIRED INFILTRATION SETBACKS

- 1. THE PROPOSED INFILTRATION SYSTEMS MEETS THE 3' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND THE SEASONAL HIGH WATER TABLE.
2. THE PROPOSED INFILTRATION SYSTEM MEETS THE 5' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND BEDROCK.
3. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 25 FEET OF ANY SEPTIC SYSTEM COMPONENT.
4. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 200 FEET OF ANY SURFACE DRINKING WATER SUPPLIES AND THIER RESPECTIVE TRIBUTARIES.
5. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 150 FEET OF ANY COASTAL FEATURE.
6. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 50 FEET OF ANY SURFACE WETLAND OR COASTAL WETLAND.
7. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 10 FEET OF ANY BUILDING FOUNDATION AND THE PROPOSED FOUNDATION FLOOR ELEVATION IS ABOVE THE INVERT OF THE PROPOSED INFILTRATION SYSTEM.

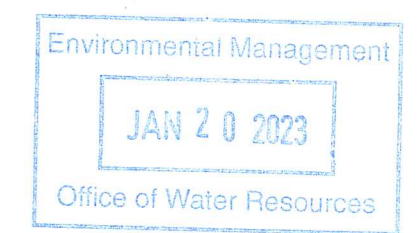
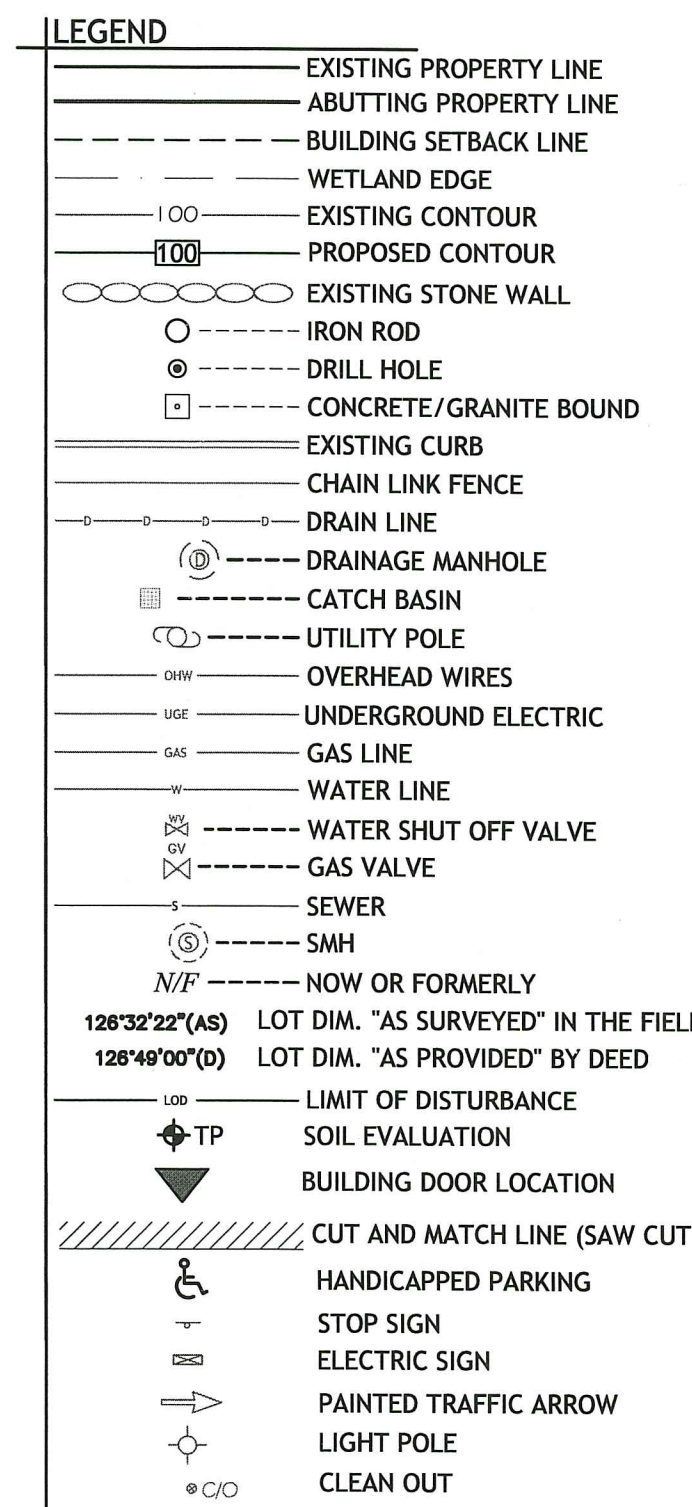
NOTE: IF ANY SETBACK IS LESS THAN THE REQUIRED SETBACK AS DETERMINED BY THE GOVERNING AGENCY, THE GOVERNING AGENCY SHALL SUPERSEDE ABOVE BULLETED SETBACK(S). REFER TO THE LOCAL BUILDING OFFICIAL FOR DETAILED SETBACK CRITERIA.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

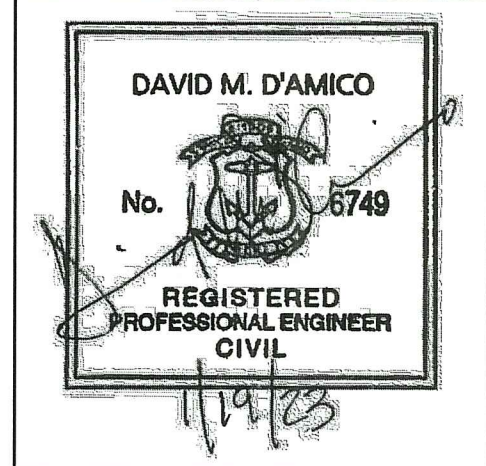
- 1. THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE

- 1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION TRENCH AND/OR SUBSURFACE CHAMBER AREAS TO MINIMIZE COMPACTION OF THE SOIL.
3. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
4. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
5. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
6. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
7. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
8. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0389
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



PROPOSED O'KEEFE PROPERTIES, LLC SITE
VICTORY HIGHWAY (POLE #99)
BURRILLVILLE, RHODE ISLAND
AP 114, LOT 44 AND 57

Table with 2 columns: NO., DATE, DESCRIPTION. Row 1: 1, 10-24-22, RIDOT COMMENTS OF 10-13-22. Row 2: 2, 1-19-23, RIDEM COMMENTS OF 11-28-22.

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

PERMIT PLANS

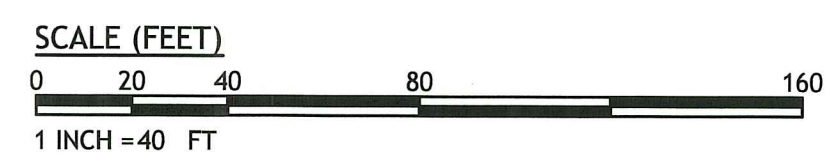
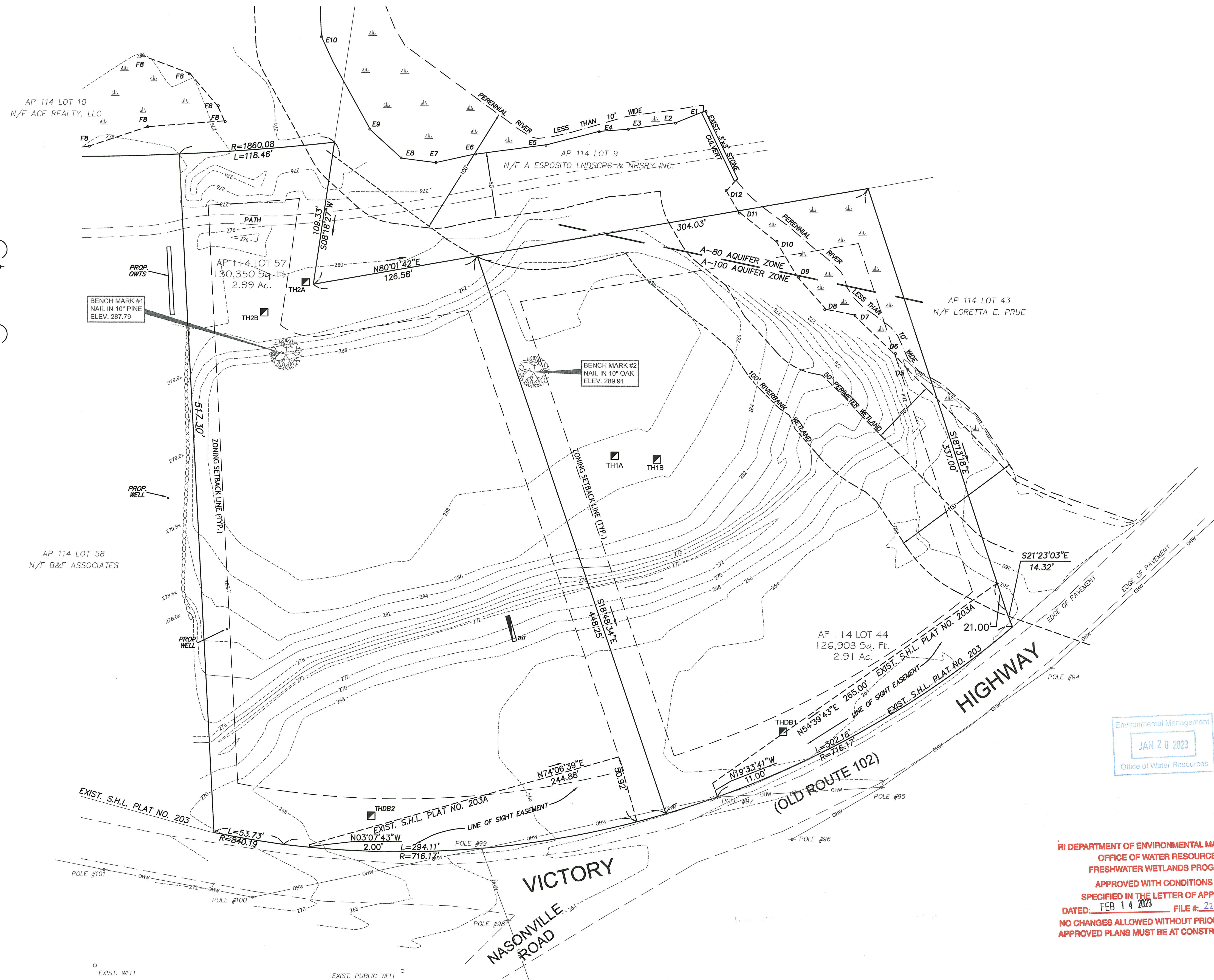
GENERAL NOTES AND LEGEND

SHEET 2 OF 8

N:\15-0001 Marc N Nyberg\05 Stanley Tree Service\400 Technical\402 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:16pm

CLASS I PROPERTY LINE AND III TOPOGRAPHIC SURVEY CONDUCTED BY:

MARC N. NYBERG ASSOCIATES, INC.
 LAND SURVEYORS and PLANNERS
 501 GREAT ROAD, UNIT 104, NORTH SMITHFIELD, RI 02898
 TEL (401) 782-2870 -- FAX (401) 782-2871



Environmental Management
 JAN 20 2023
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: FEB 14 2023 FILE #: 22-0389
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOTES:

- INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
- DEMOLITION INFORMATION DEVELOPED BY DETEC.
- BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF BURRILLVILLE, COMMUNITY-PANEL NUMBER 0151G, MAP NUMBER 44007C0151G EFFECTIVE DATE MARCH 2, 2009, THE SITE IS LOCATED IN ZONE "X" AND OUTSIDE FLOOD ZONES "A, AE, AH OR AO" OTHER AREAS (AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

ZONING CRITERIA	REQUIRED	EXIST. LOT 44	EXIST. LOT 57
ZONING DISTRICT	GC A-100 AQUIFER	GC/A-100 AQ	GC/A-100 AQ
MINIMUM LOT AREA	NONE 80,000 SF	126,903 SF	130,350 SF
MINIMUM LOT FRONTAGE	NONE 325'	325'	325'
MINIMUM FRONT YARD SETBACK	NONE 40'	NA	NA
MINIMUM SIDE YARD SETBACK	15' 20'	NA	NA
MINIMUM REAR YARD SETBACK	30' 40'	NA	NA
MAXIMUM BUILDING HEIGHT	35' 35'	NA	NA
MAXIMUM BUILDING COVERAGE	25% 25%	NA	NA

DETEC.
 DAMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 2080 Mineral Spring Ave., North Providence, RI 02911
 (401) 622-1470 (401) 353-1160 fax www.damicoeng.com

DAVID M. DAMICO
 No. 6749
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

PROPOSED O'KEEFE PROPERTIES, LLC SITE VICTORY HIGHWAY (POLE #99) BURRILLVILLE, RHODE ISLAND AP 114, LOT 44 AND 57

REVISIONS:

NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDOT COMMENTS OF 11-28-22

DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: JUNE, 2022
 PROJECT NO: 15-0001-05

PERMIT PLANS

EXISTING CONDITIONS

SHEET 3 OF 8

AP 114 LOT 10
N/F ACE REALTY, LLC

AP 114 LOT 9
N/F A ESPOSITO LANDSCAPE & NURSERY INC.

AP 114 LOT 43
N/F LORETTA E. PRUE

AP 114 LOT 58
N/F B&F ASSOCIATES

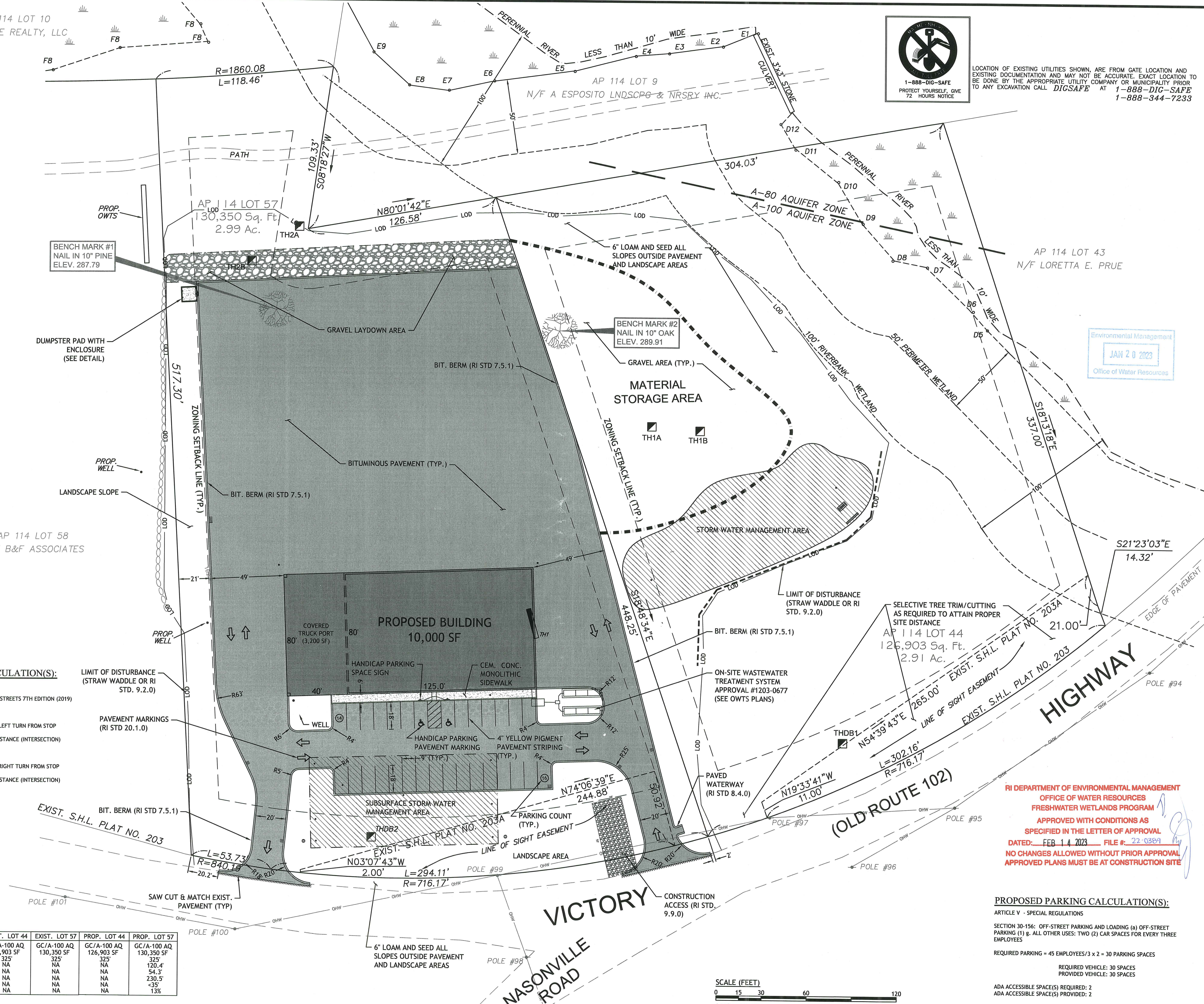
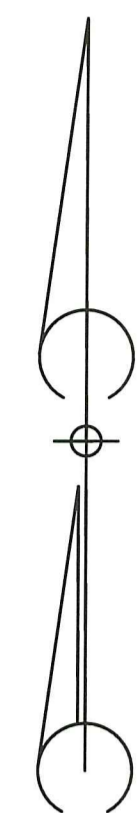


LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233

Detec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil, Transportation, Land Use
2080 Mineral Springs Ave. North Providence, RI 02911
(401) 822-1470 (401) 353-1150 fax www.damicoeng.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER CIVIL
1/19/23

Environmental Management
JAN 20 2023
Office of Water Resources



DRIVEWAY SIGHT DISTANCE CALCULATION(S):

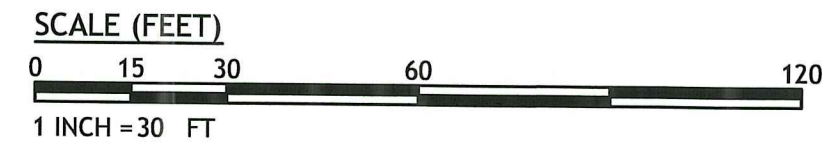
SIGHT DISTANCE CALCULATIONS FOR EXIT DRIVEWAY:
AASHTO - A POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS 7TH EDITION (2019)
SECTION 9.5 INTERSECTION SIGHT DISTANCE
TABLE 9-7 DESIGN INTERSECTION SIGHT DISTANCE - CASE B1, LEFT TURN FROM STOP
POSTED SPEED 35, DESIGN SPEED 40 = 445' STOPPING SIGHT DISTANCE (INTERSECTION)
PROVIDED 490' > 445' MIN.
TABLE 9-9 DESIGN INTERSECTION SIGHT DISTANCE - CASE B2, RIGHT TURN FROM STOP
POSTED SPEED 35, DESIGN SPEED 40 = 385' STOPPING SIGHT DISTANCE (INTERSECTION)
PROVIDED 448' > 385' MIN.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-03891
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PROPOSED PARKING CALCULATION(S):

ARTICLE V - SPECIAL REGULATIONS
SECTION 30-156: OFF-STREET PARKING AND LOADING (a) OFF-STREET PARKING (1) g. ALL OTHER USES: TWO (2) CAR SPACES FOR EVERY THREE EMPLOYEES
REQUIRED PARKING = 45 EMPLOYEES/3 x 2 = 30 PARKING SPACES
REQUIRED VEHICLE: 30 SPACES
PROVIDED VEHICLE: 30 SPACES
ADA ACCESSIBLE SPACE(S) REQUIRED: 2
ADA ACCESSIBLE SPACE(S) PROVIDED: 2

ZONING CRITERIA	REQUIRED	EXIST. LOT 44	EXIST. LOT 57	PROP. LOT 44	PROP. LOT 57
ZONING DISTRICT	GC A-100 AQ	GC/A-100 AQ	GC/A-100 AQ	GC/A-100 AQ	GC/A-100 AQ
MINIMUM LOT AREA	NONE	126,903 SF	130,350 SF	126,903 SF	130,350 SF
MINIMUM LOT FRONTAGE	NONE	325'	325'	325'	325'
MINIMUM FRONT YARD SETBACK	NONE	40'	NA	NA	120.4'
MINIMUM SIDE YARD SETBACK	15'	20'	NA	NA	54.3'
MINIMUM REAR YARD SETBACK	30'	40'	NA	NA	230.5'
MAXIMUM BUILDING HEIGHT	35'	35'	NA	NA	<35'
MAXIMUM BUILDING COVERAGE	25%	25%	NA	NA	13%



PROPOSED O'KEEFE PROPERTIES, LLC SITE VICTORY HIGHWAY (POLE #99) BURRILLVILLE, RHODE ISLAND AP 114, LOT 44 AND 57

REVISIONS:

NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDEM COMMENTS OF 11-28-22

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

PERMIT PLANS

SITE PLAN

SHEET 4 OF 8

N:\15-0001-Marc N Nyberg\05-Stanley Tree Service\400-Technical\402-Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:19pm

AP 114 LOT 10
N/F ACE REALTY, LLC

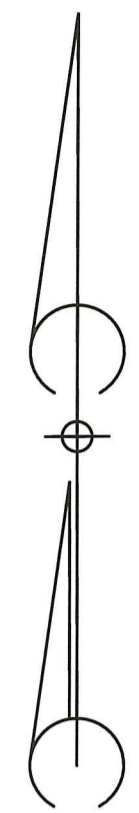
AP 114 LOT 9
N/F A ESPOSITO LANDSCAPE & NURSERY INC.

AP 114 LOT 43
N/F LORETTA E. PRUE

AP 114 LOT 57
130,350 Sq.-Ft.
2.99 Ac.

AP 114 LOT 44
126,903 Sq. Ft.
2.91 Ac.

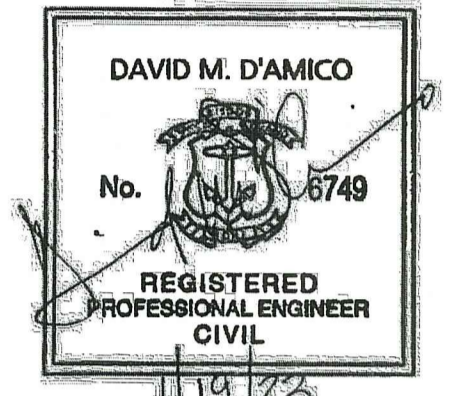
AP 114 LOT 58
N/F B&F ASSOCIATES



BENCH MARK #1
NAIL IN 10" PINE
ELEV. 287.79

BENCH MARK #2
NAIL IN 10" OAK
ELEV. 289.91

Environmental Management
JAN 20 2023
Office of Water Resources



PROPOSED O'KEEFE
PROPERTIES, LLC SITE
VICTORY HIGHWAY (POLE #99)
BURRILLVILLE, RHODE ISLAND
AP 114, LOT 44 AND 57

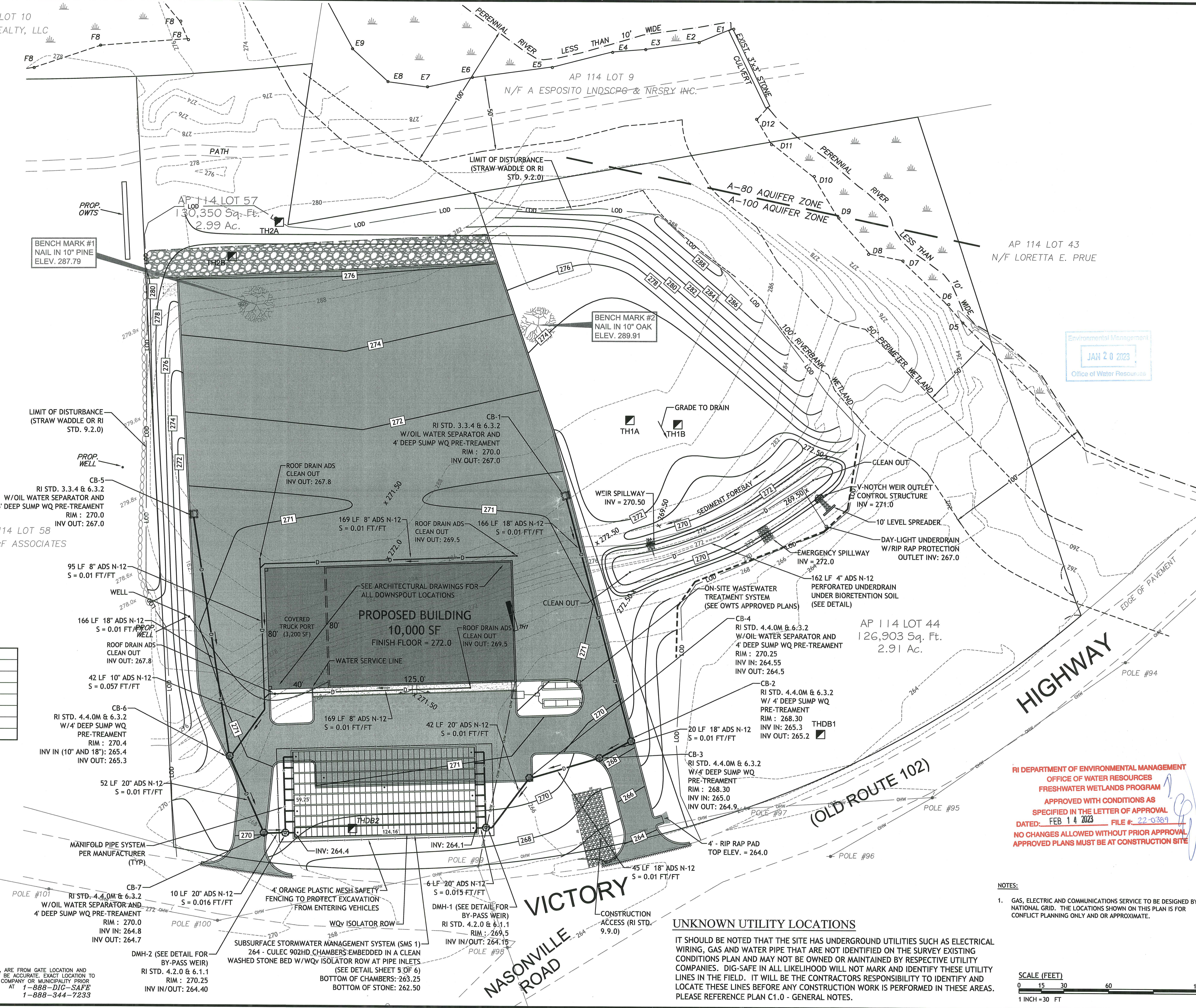
TEST HOLE DATA TABLE

TH	ELEV	SHGWT
1A	287.3	275.30
1B	286.5	274.50
2A	280.5	268.50
2B	281.3	269.30
DB1	263.8	256.13
DB2	267.4	259.40

SOIL EVALUATIONS CONDUCTED BY:
MARC N. NYBERG D-4043
MARC N. NYBERG ASSOCIATES, INC.
501 GREAT ROAD, UNIT 104
NORTH SMITHFIELD, RI 02896



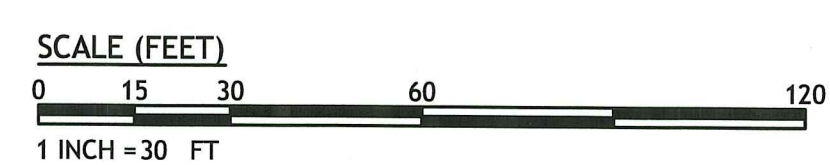
LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT 1-888-DIG-SAFE 1-888-344-7233



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0389
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOTES:
1. GAS, ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID. THE LOCATIONS SHOWN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.

UNKNOWN UTILITY LOCATIONS
IT SHOULD BE NOTED THAT THE SITE HAS UNDERGROUND UTILITIES SUCH AS ELECTRICAL WIRING, GAS AND WATER PIPE THAT ARE NOT IDENTIFIED ON THE SURVEY EXISTING CONDITIONS PLAN AND MAY NOT BE OWNED OR MAINTAINED BY RESPECTIVE UTILITY COMPANIES. DIG-SAFE IN ALL LIKELIHOOD WILL NOT MARK AND IDENTIFY THESE UTILITY LINES IN THE FIELD. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY AND LOCATE THESE LINES BEFORE ANY CONSTRUCTION WORK IS PERFORMED IN THESE AREAS. PLEASE REFERENCE PLAN C1.0 - GENERAL NOTES.



REVISIONS:

NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDEM COMMENTS OF 11-28-22

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

PERMIT PLANS
**GRADING
DRAINAGE AND
UTILITY
PLAN**
SHEET
5 OF 8

N:\15-0001 Marc N Nyberg\05 Stanley Tree Service\400 Technical\402 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg, Jan. 19, 2023 2:20pm

AP 114 LOT 10
N/F ACE REALTY, LLC

AP 114 LOT 9
N/F A ESPOSITO LNDSCP & NRSRY INC.

AP 114 LOT 57
130,350 Sq. Ft.
2.99 Ac.

AP 114 LOT 43
N/F LORETTA E. PRUE

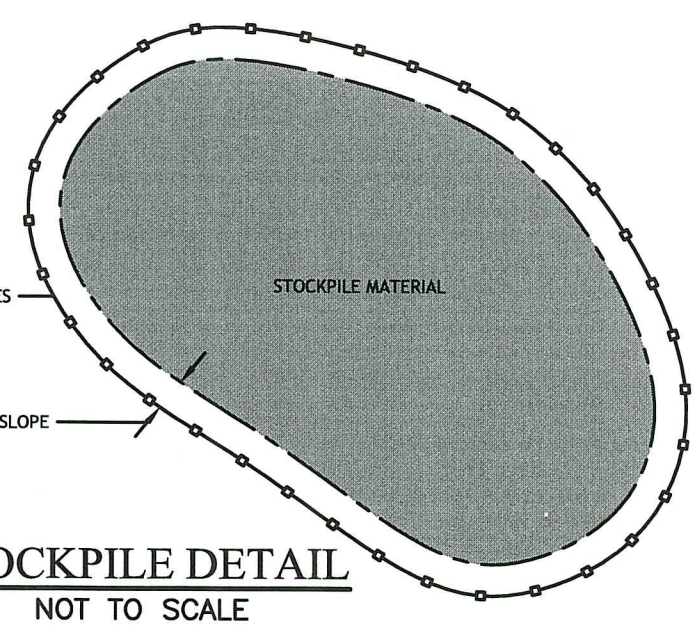
AP 114 LOT 58
N/F B & F ASSOCIATES

AP 114 LOT 44
126,903 Sq. Ft.
2.91 Ac.

HIGHWAY
POLE #94

(OLD ROUTE 102)
POLE #95
POLE #96

VICTORY
NASONVILLE ROAD
POLE #97
POLE #98



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0389
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



PETEC.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 353-1190 fax www.damicoeng.com

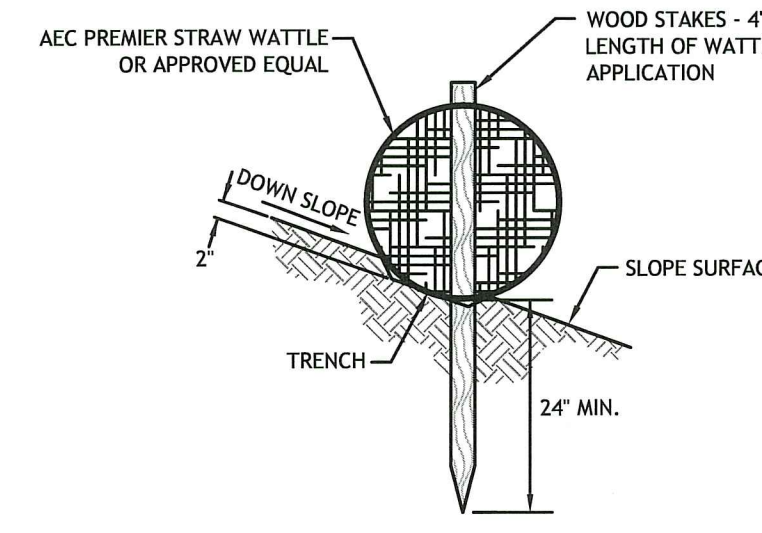
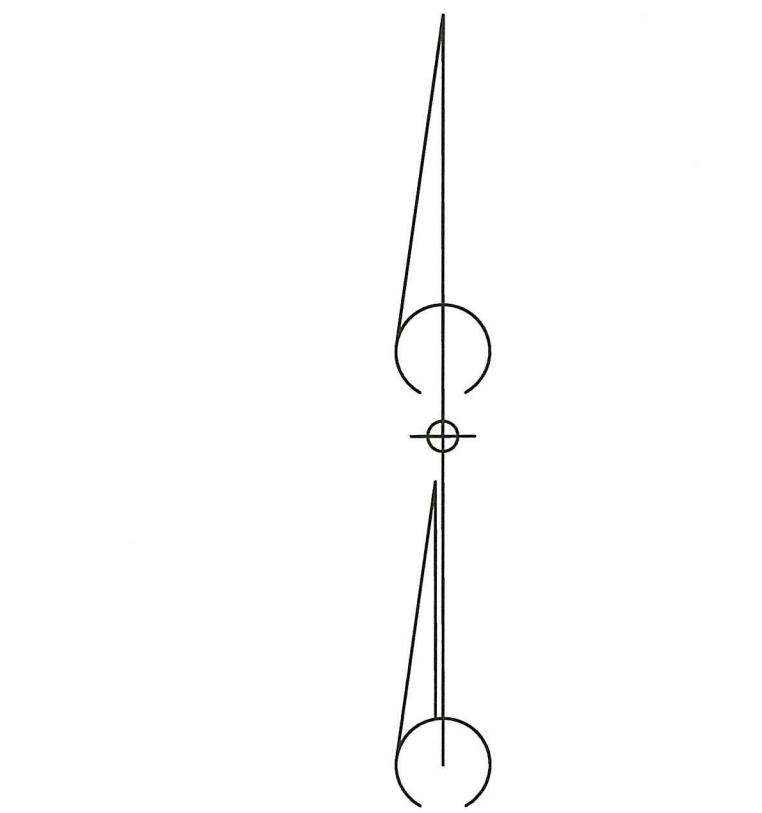
**PROPOSED O'KEEFE
PROPERTIES, LLC SITE
VICTORY HIGHWAY (POLE #99)
BURRILLVILLE, RHODE ISLAND
AP 114, LOT 44 AND 57**

REVISIONS:

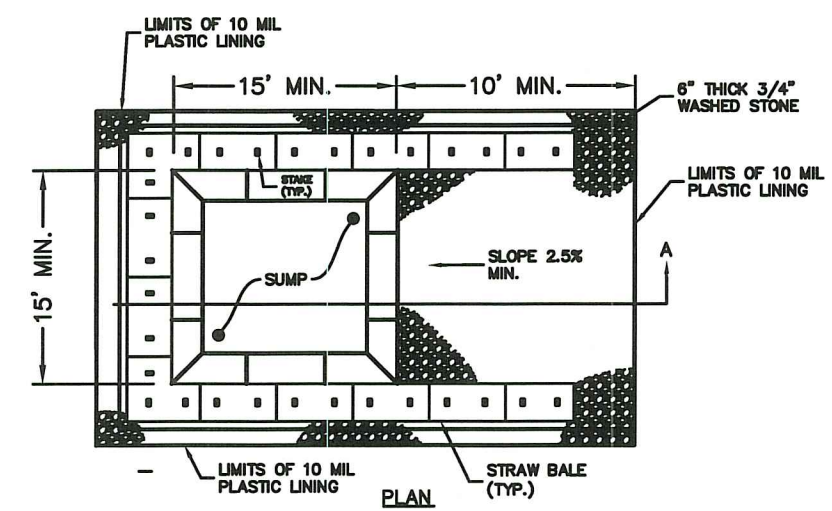
NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDOT COMMENTS OF 11-28-22

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

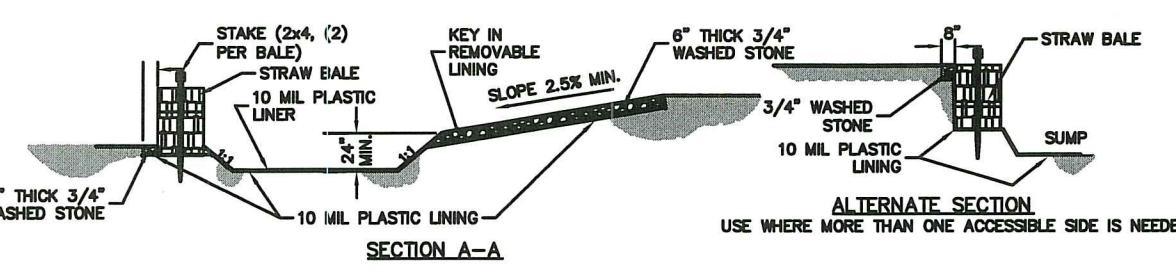
PERMIT PLANS
SOIL EROSION AND SEDIMENT CONTROL PLAN
SHEET 6 OF 8



**STRAW WATTLE STAKE
DETAIL ON SOIL**
N.T.S.



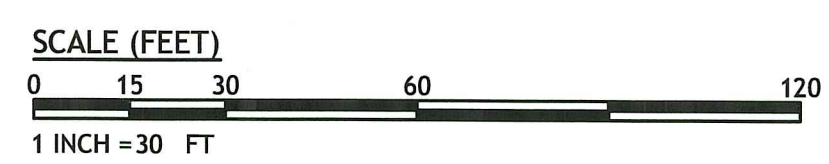
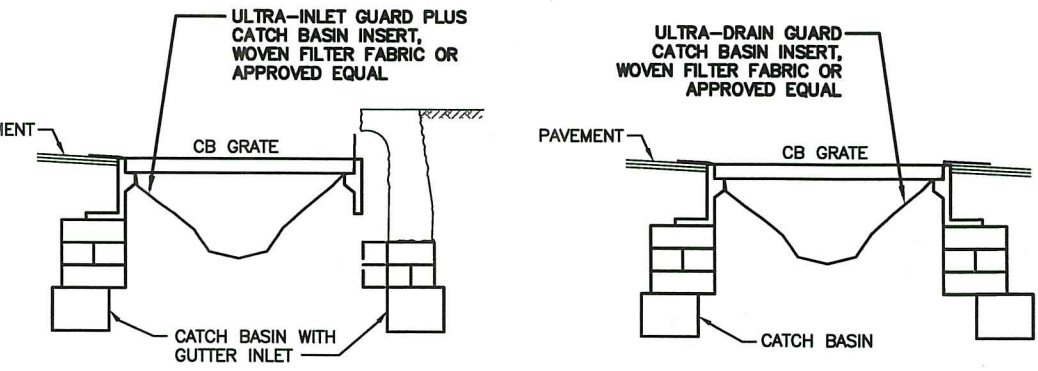
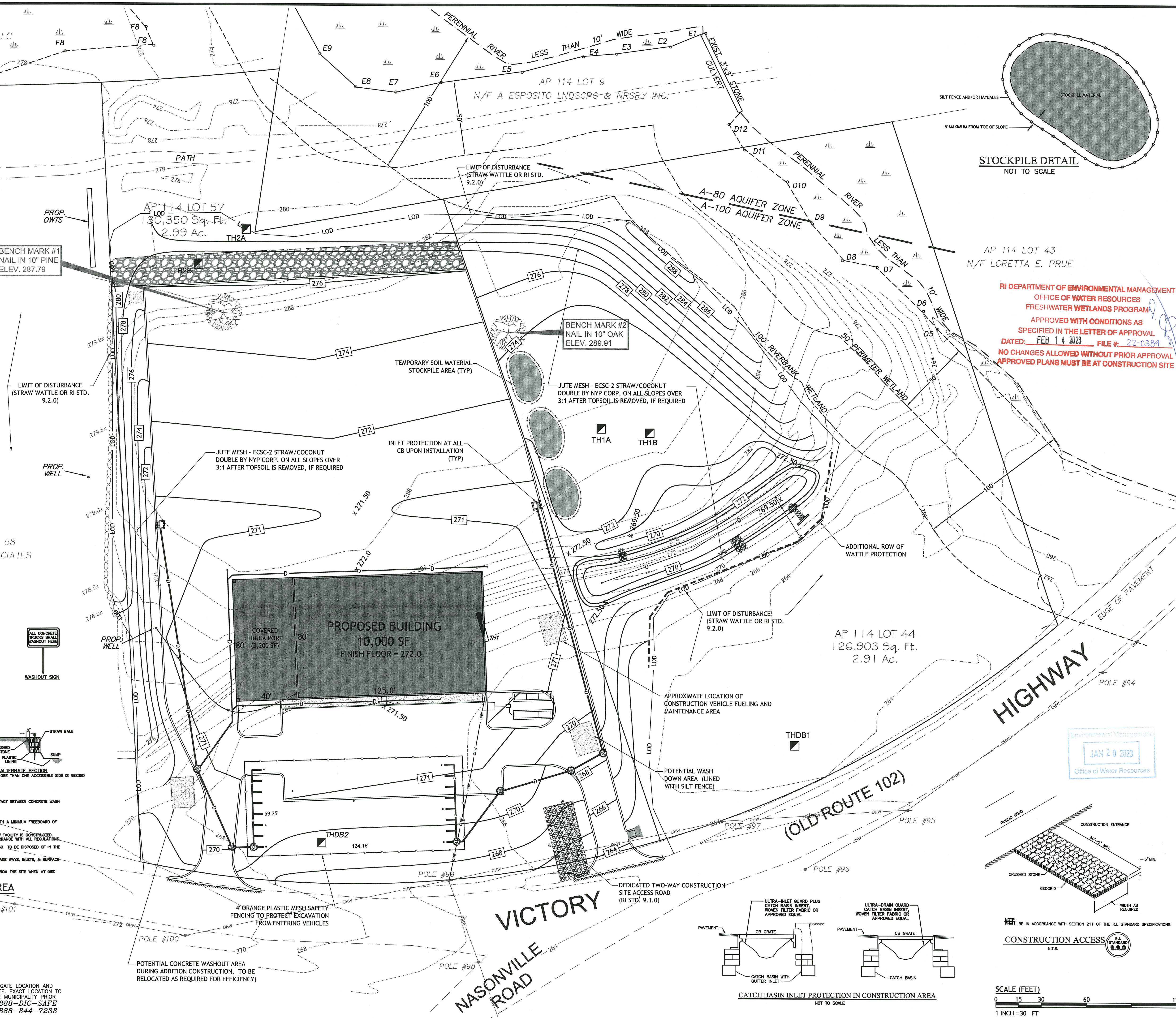
CONCRETE WASHOUT AREA
(NOT TO SCALE)



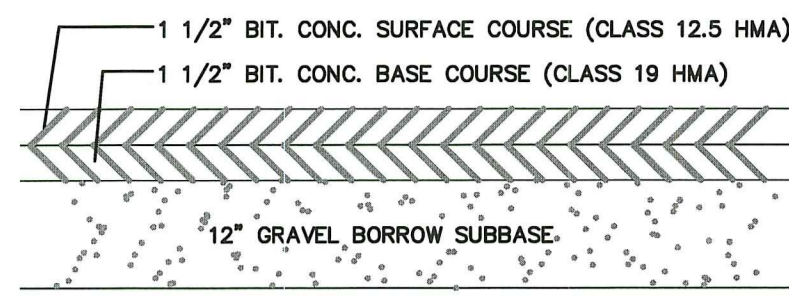
- NOTES:
1. PIT IS SPECIFICALLY DESIGNATED, Diked and contained to prevent contact between concrete wash and stormwater.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12". WASHOUT AREA SHALL BE EMPTIED AT THIS TIME AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.
 4. FACILITY SHALL NOT BE FILLED BEYOND 12" OF FREEBOARD UNLESS A NEW FACILITY IS CONSTRUCTED. WASHOUT AREA SHALL BE EMPTIED AT THIS TIME AND DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS.
 5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGEWAYS, INLETS, & SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN AT 90% FULL CAPACITY.



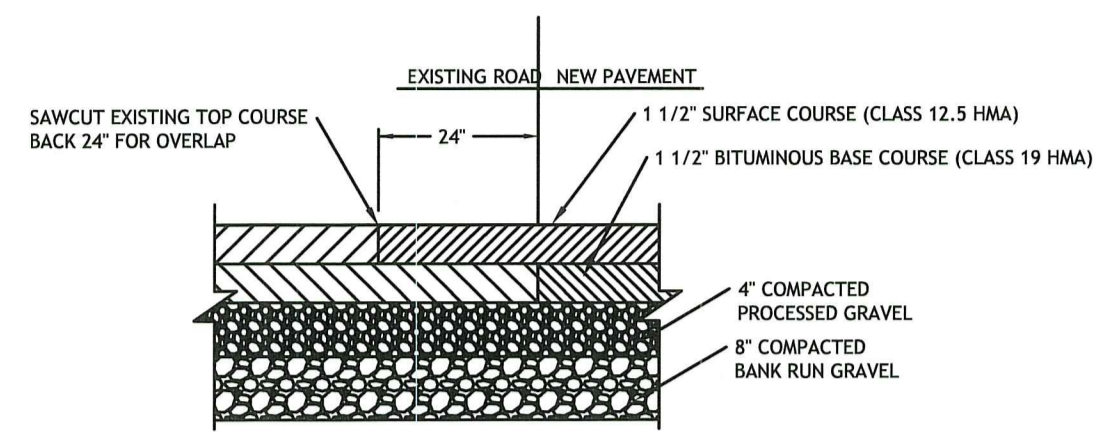
LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT **1-888-DIG-SAFE** OR **1-888-344-7233**



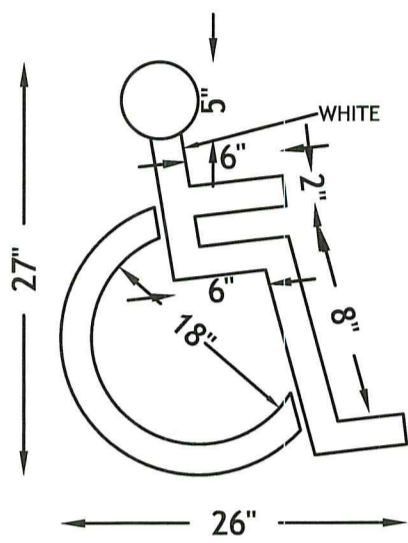
N:\15-0001 Marc N Nyberg\05 Stanley Tree Service\400 Technical\402 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:21pm



PAVEMENT CROSS SECTION
NOT TO SCALE



PAVEMENT CUT & MATCH
NOT TO SCALE



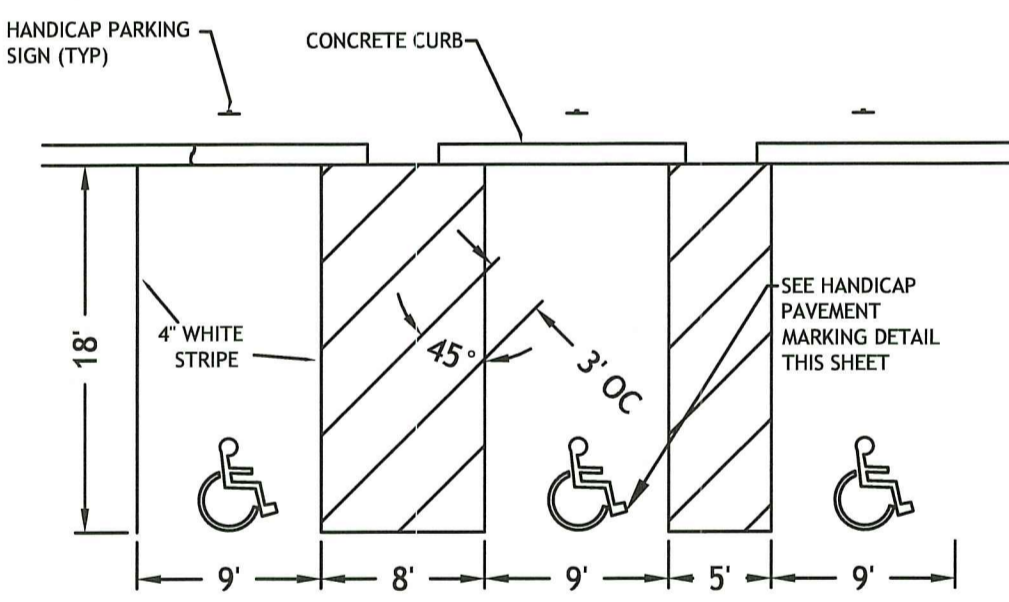
NOTE:
1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE.

HANDICAP PARKING MARKING
NOT TO SCALE

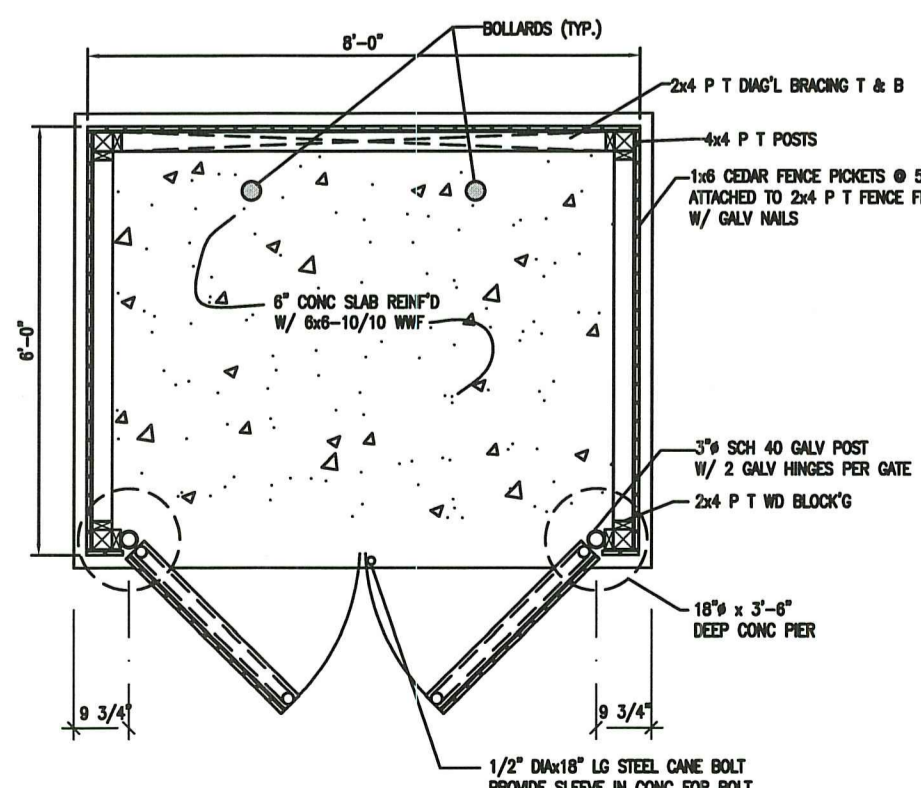


NOTE:
SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

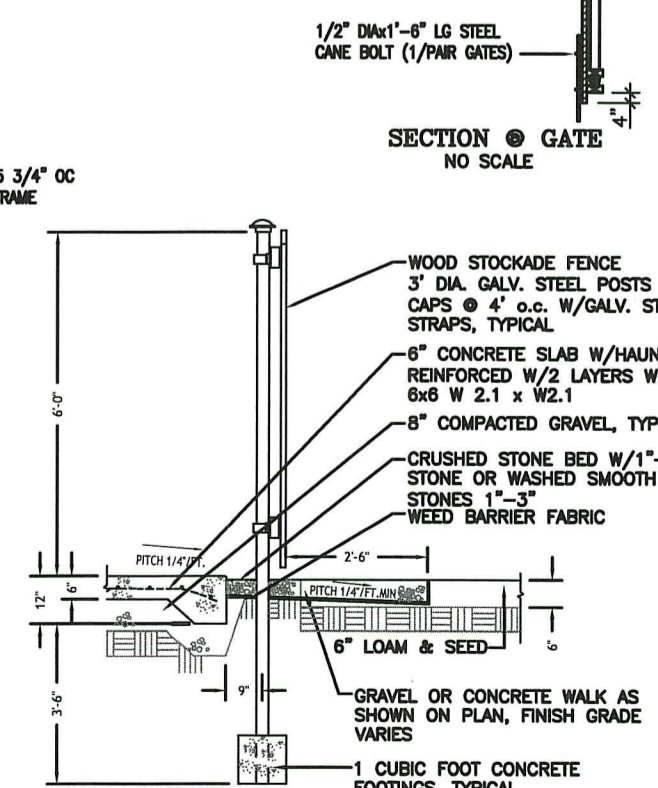
HANDICAPPED PARKING SIGNS
NOT TO SCALE



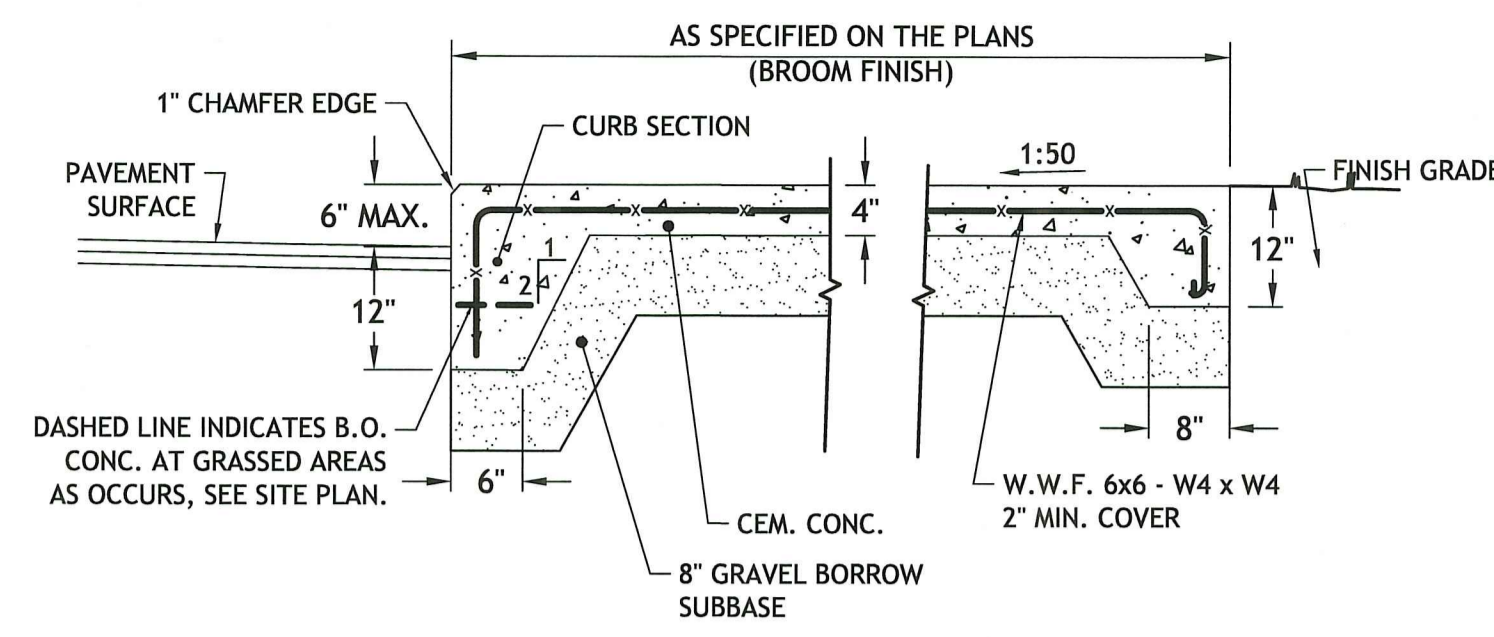
HANDICAP PARKING STALLS
NOT TO SCALE



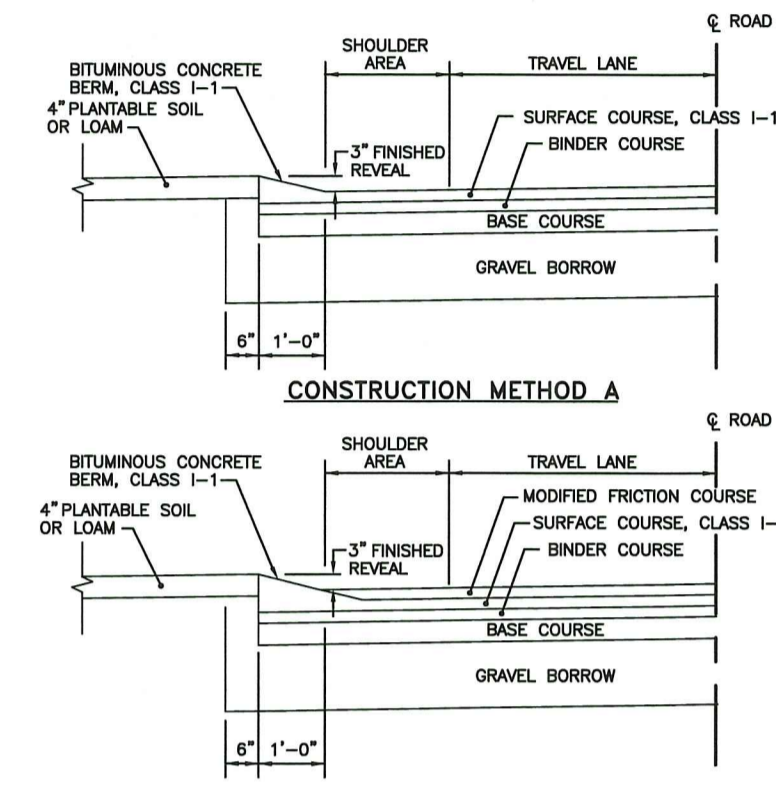
DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



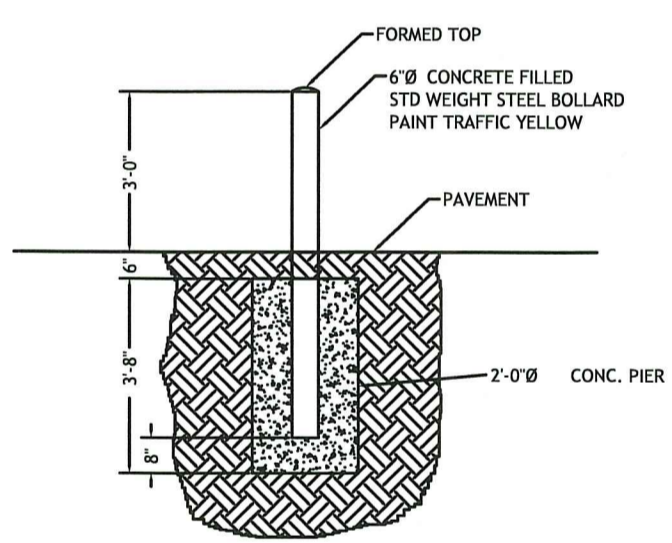
DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2" = 1'-0"



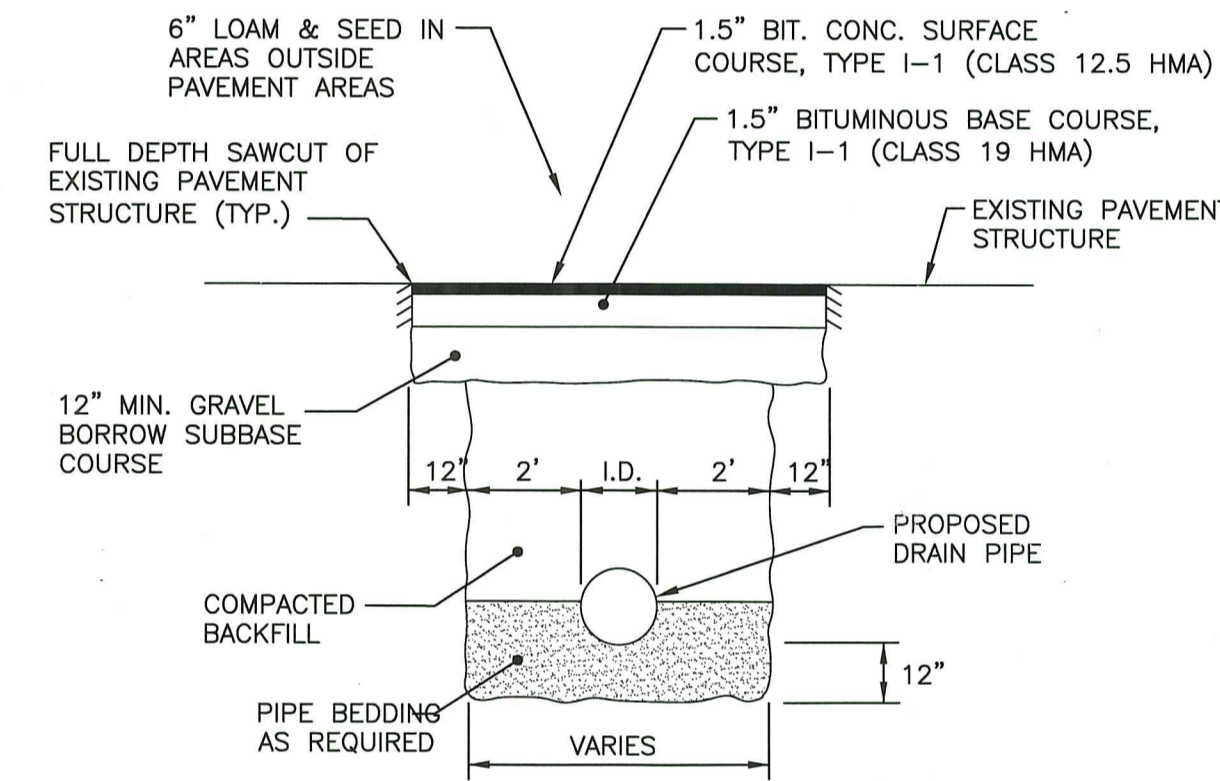
CEMENT CONCRETE SIDEWALK AND CURB, PAD OR WALKWAY - MONOLITHIC POUR
NTS



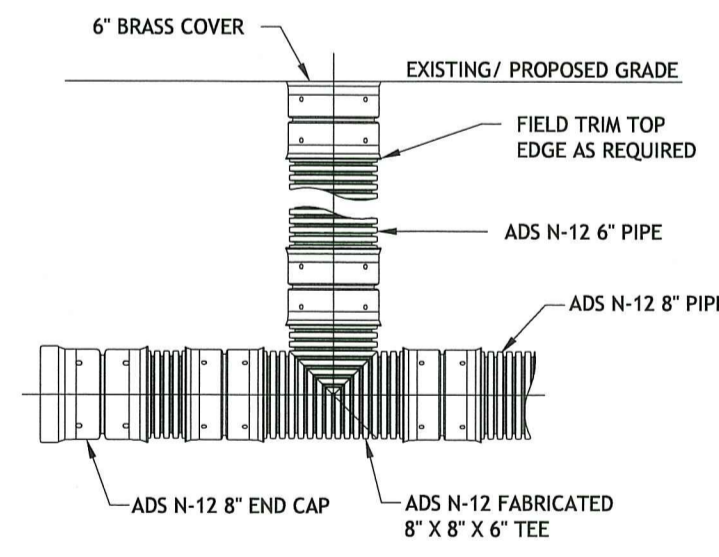
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 908 OF THE R.I. STANDARD SPECIFICATIONS.
2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.



TYPICAL BOLLARD DETAIL
NOT TO SCALE

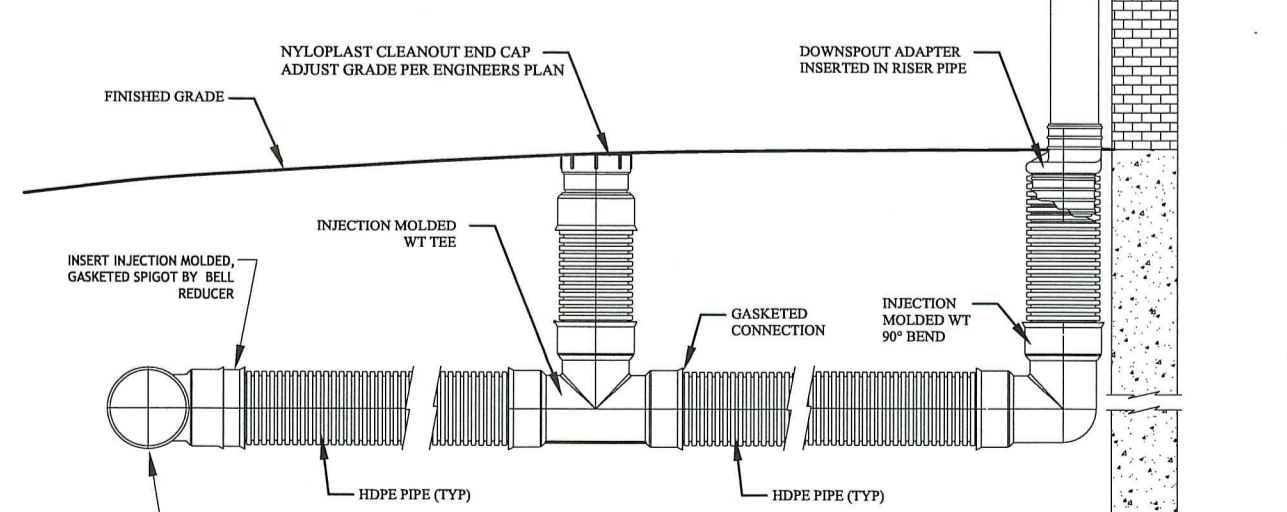


TYPICAL TRENCH AND PAVEMENT PATCH DETAIL
NOT TO SCALE

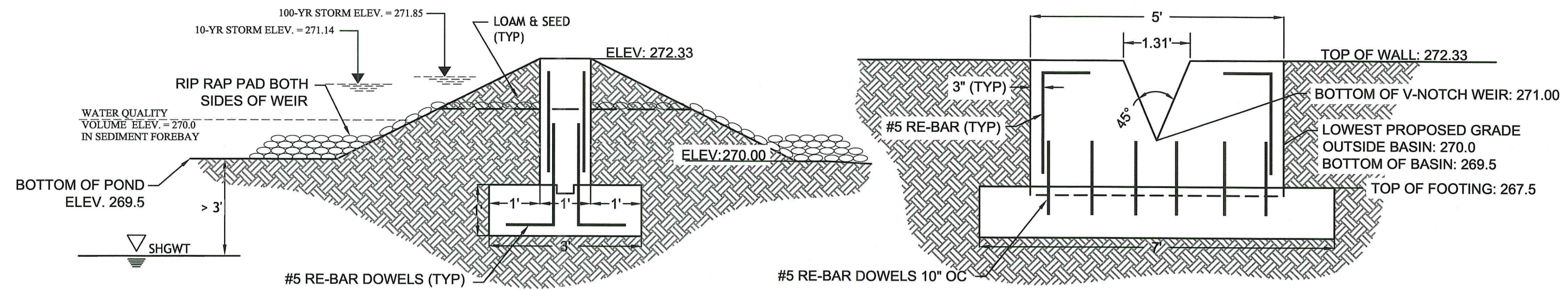


ADS CLEANOUT
N.T.S.

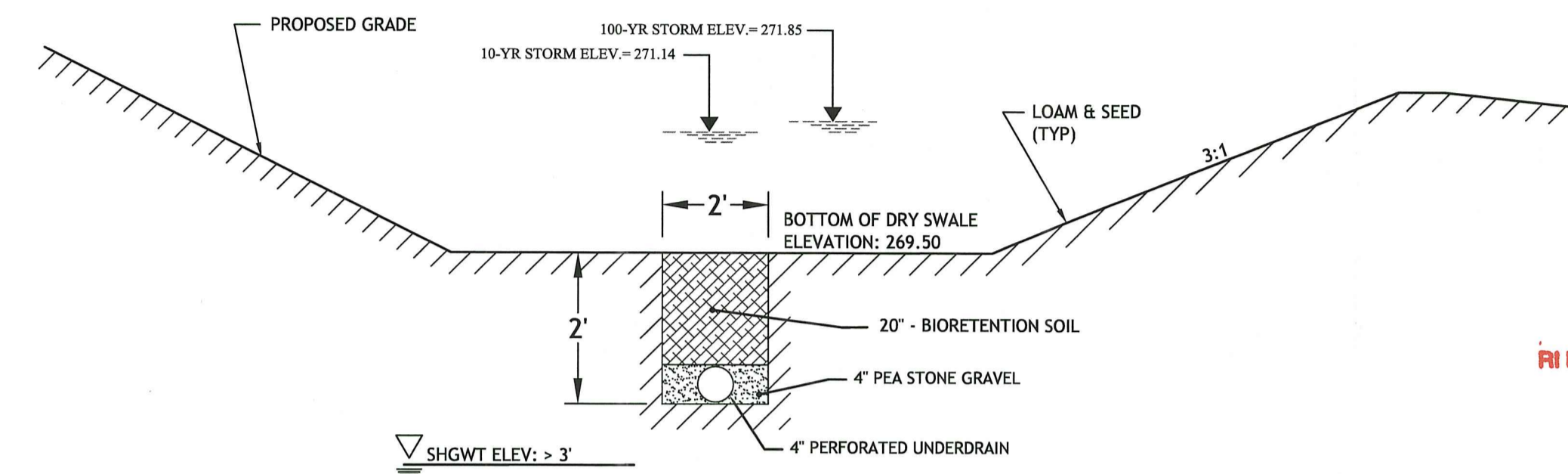
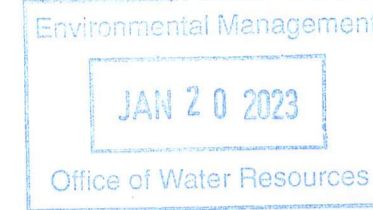
NOTE:
INJECTION MOLDED FITTING ARE AVAILABLE IN 1/2\"/>



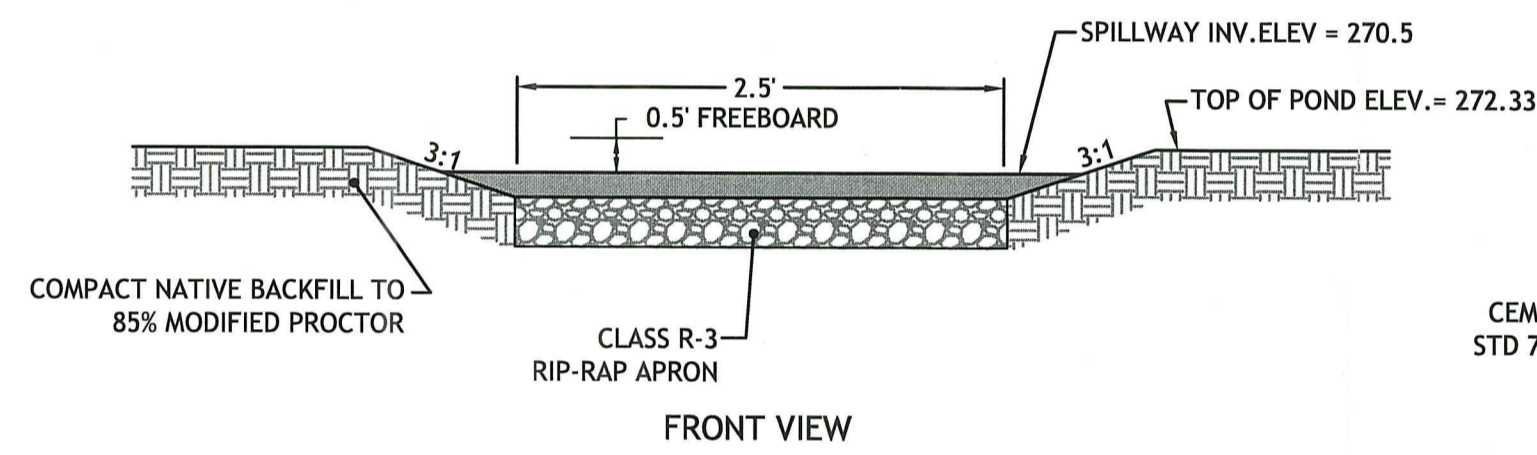
ROOFDRAIN W/CLEAN OUT DETAIL:
N.T.S.



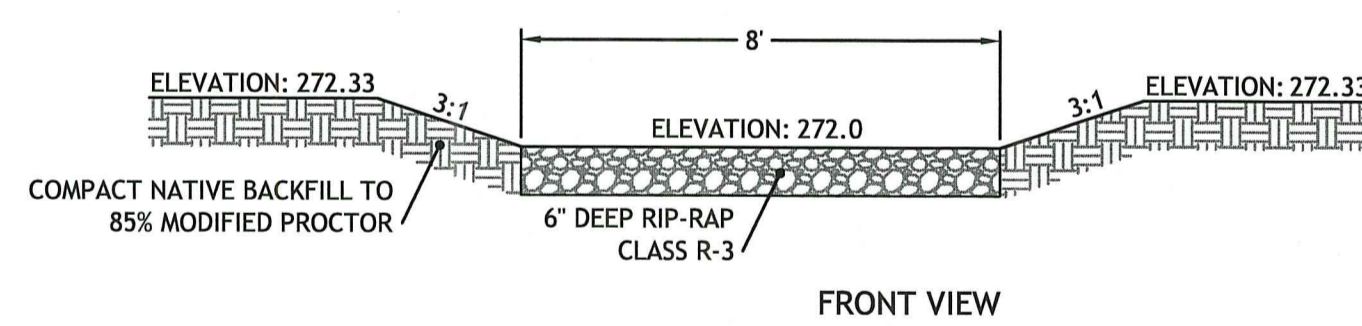
V-NOTCH WEIR OUTLET CONTROL STRUCTURE
SCALE: 1" = 2'



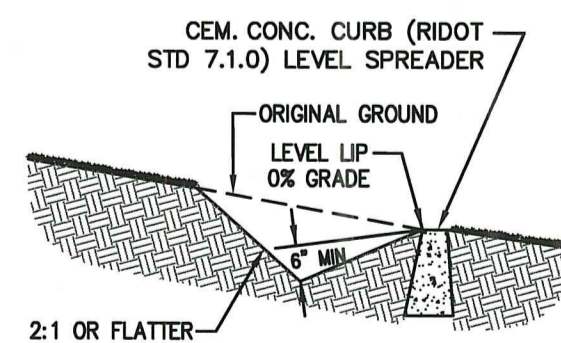
DRY SWALE DETAIL SECTION
NOT TO SCALE



WEIR SPILLWAY
NOT TO SCALE



EMERGENCY SPILLWAY
NOT TO SCALE

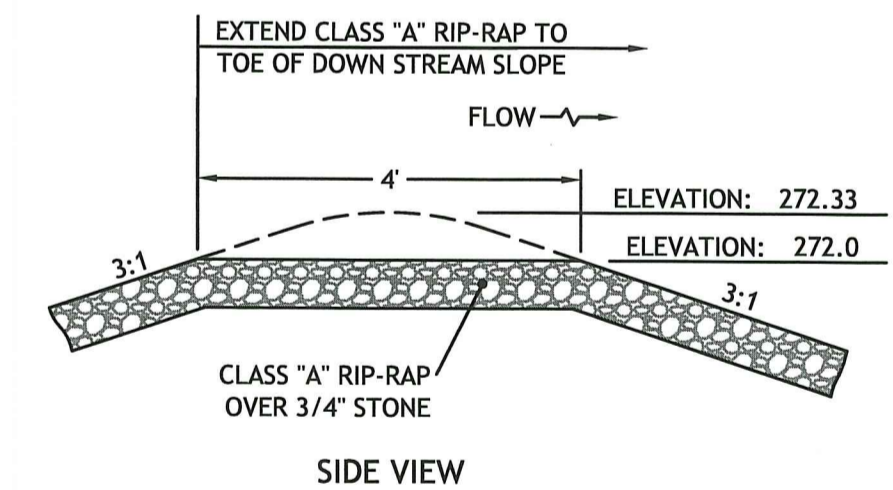


DESIGN FLOW, Q-25 (CFS)	MINIMUM LENGTH (FEET)
0-100	10
100-200	20
200-300	30

LEVEL SPREADER DETAIL
N.T.S.

Location	L	W	SIZE
SITE RIP RAP APRONS	6'	4'	R-3

RIP-RAP	FILTER STONE NSA NO.	RIP-RAP	MIN.	AVG.	MAX.
R-2	F5-1	R-2	1"	1.5"	3"
R-3	F5-2	R-3	2"	3"	6"
R-4	F5-2	R-4	3"	6"	12"



RIP-RAP APRON DETAIL
N.T.S.

BIORETENTION SOIL CHARACTERISTICS

PARAMETER	VALUE
ORGANIC MATTER	3 TO 5%
CLAY*	0 TO 2%
SILT*	0 TO 12%
SAND*	85 TO 88%

* SOIL CHARACTERISTICS. AUGMENT SOILS WITH AGED LEAF COMPOST AND ACCEPTABLE TOPSOIL.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0389
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Petec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil, Transportation, Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 822-4470 (401) 363-1189 fax www.petecinc.com

DAVID M. D'AMICO
No. 06749
REGISTERED PROFESSIONAL ENGINEER CIVIL

PROPOSED O'KEEFE PROPERTIES, LLC SITE VICTORY HIGHWAY (POLE #99) BURRILLVILLE, RHODE ISLAND AP 114, LOT 44 AND 57

REVISIONS:

NO.	DATE	DESCRIPTION
1	10-24-22	RIDOT COMMENTS OF 10-13-22
2	1-19-23	RIDEM COMMENTS OF 11-28-22

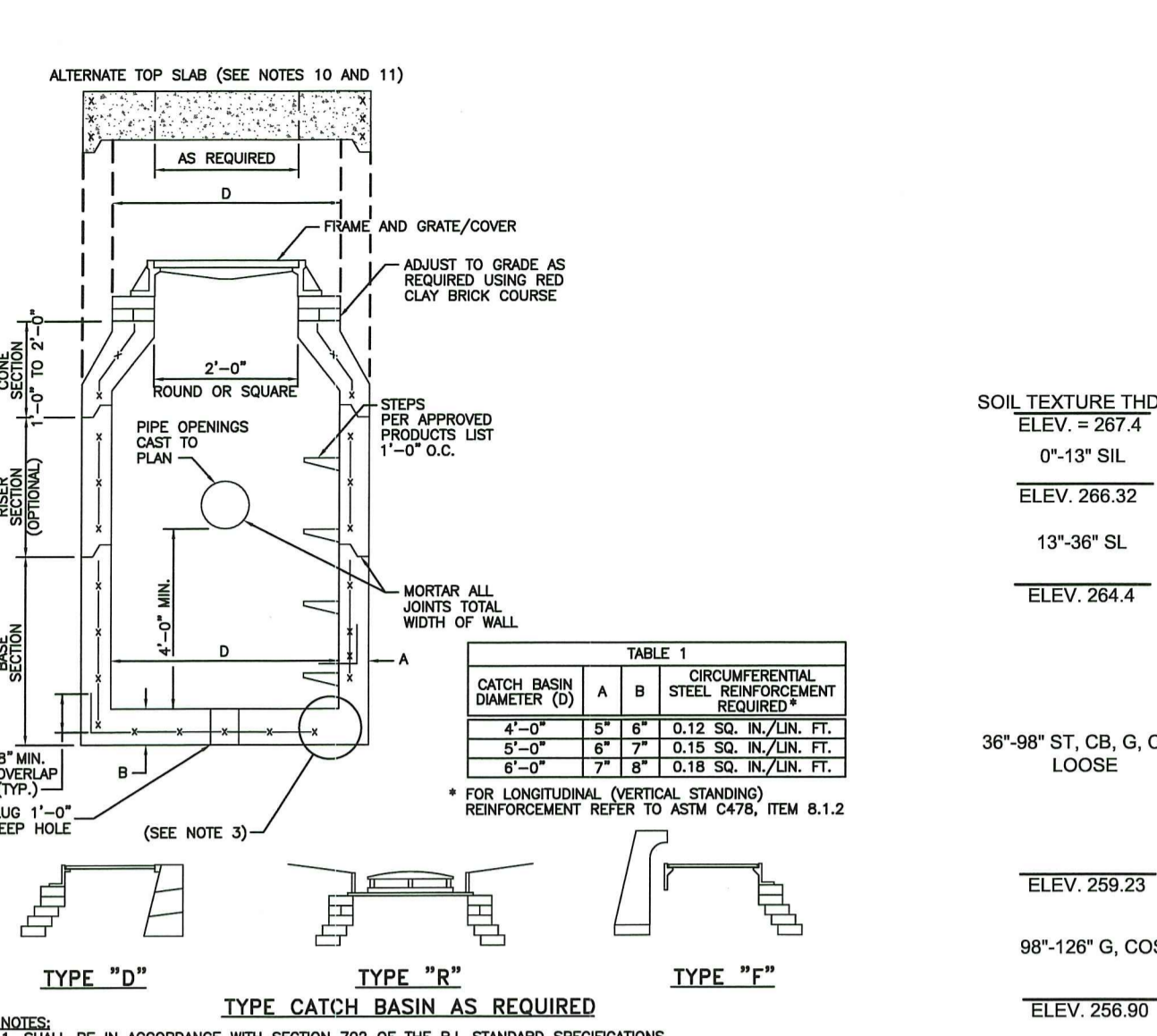
DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

PERMIT PLANS

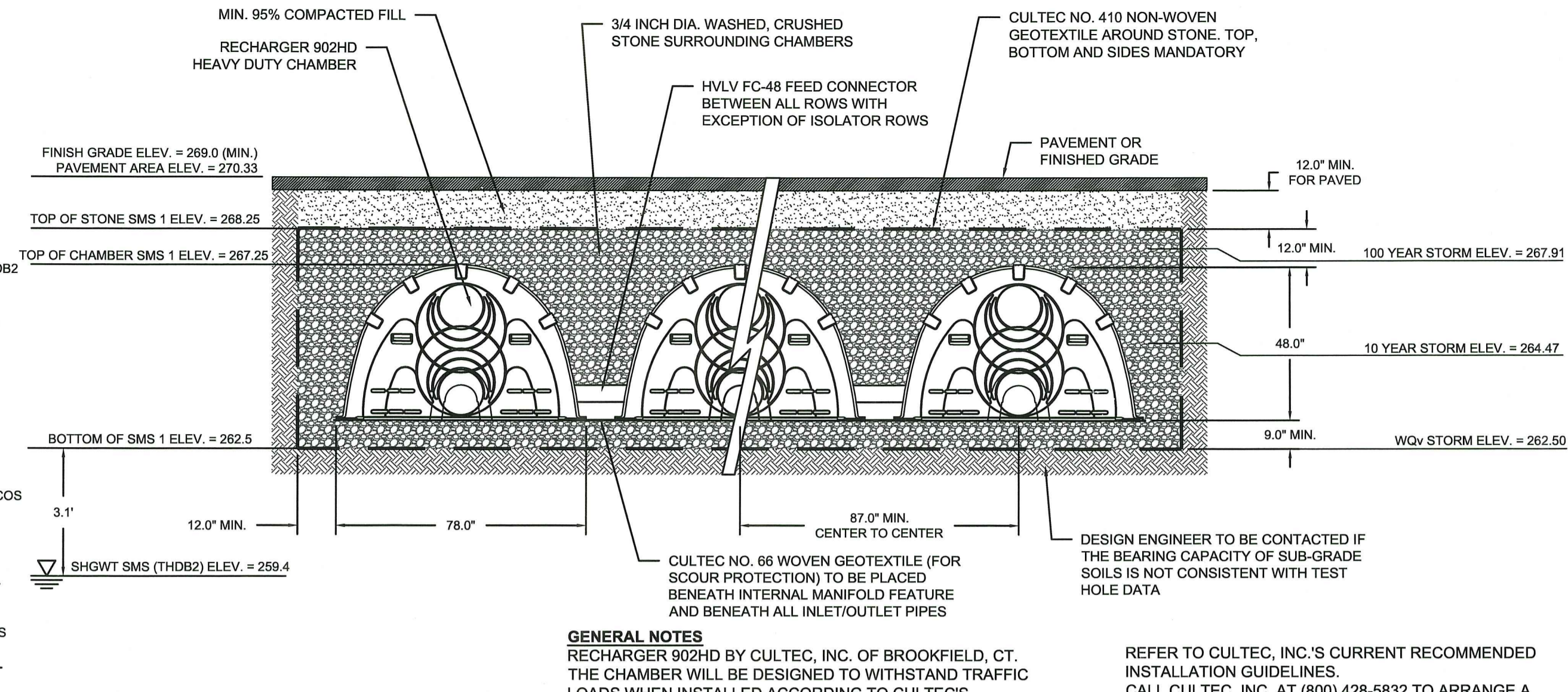
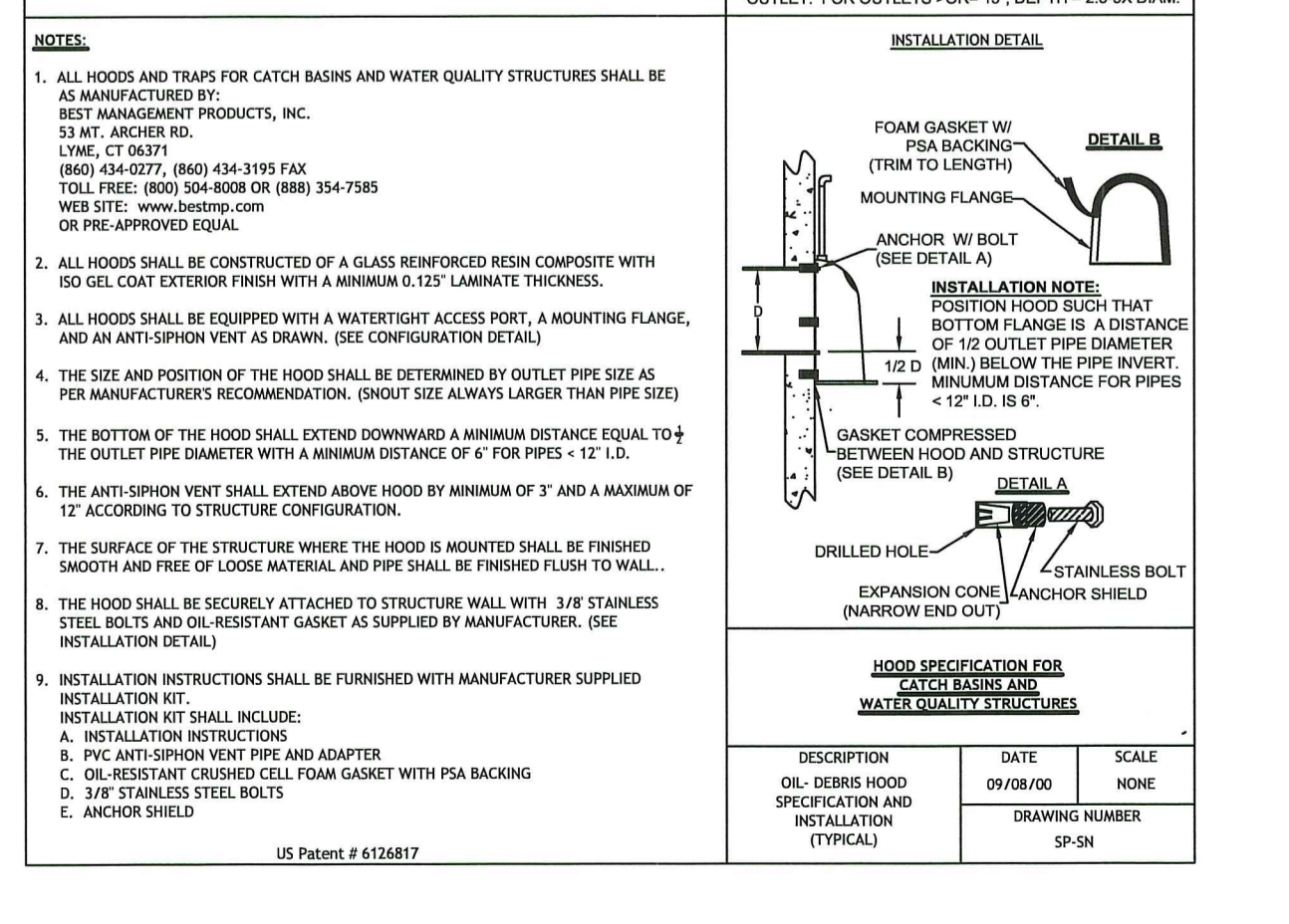
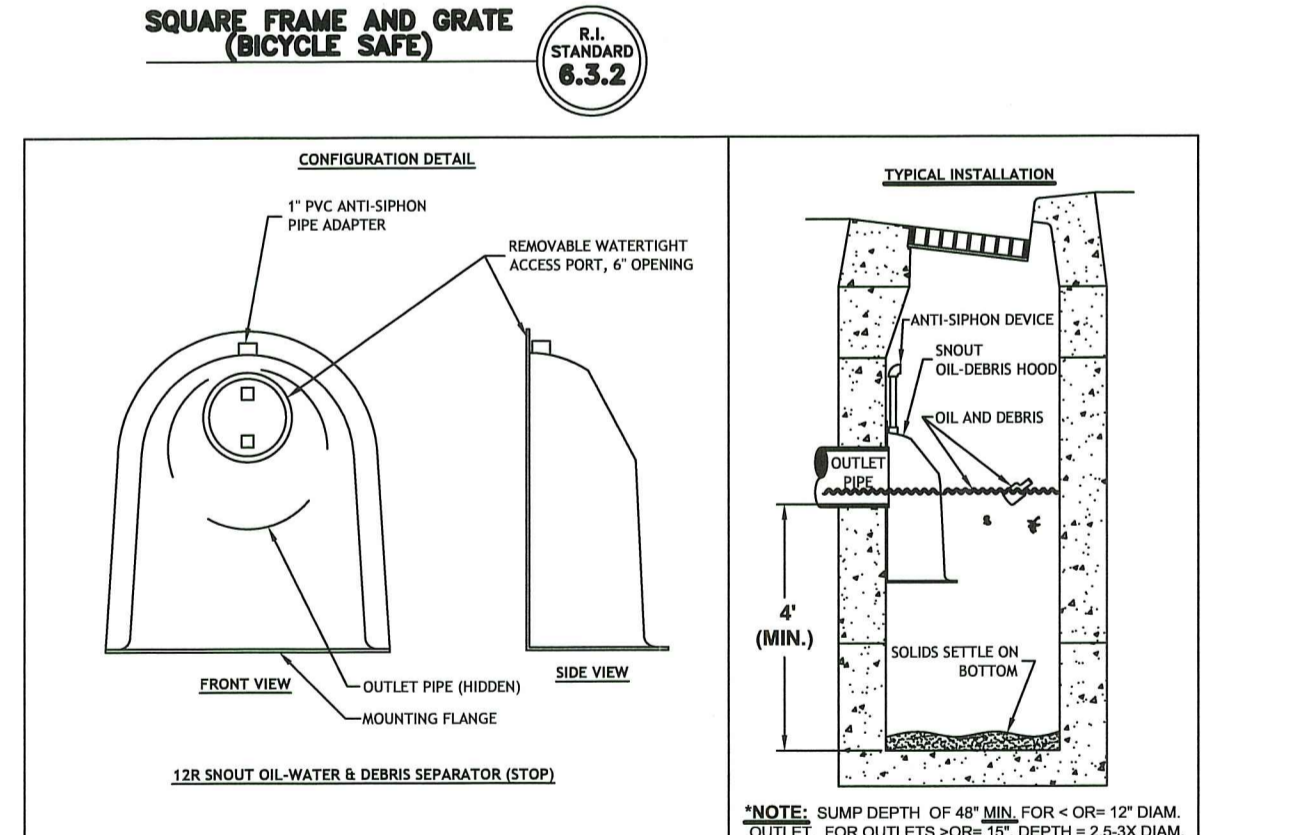
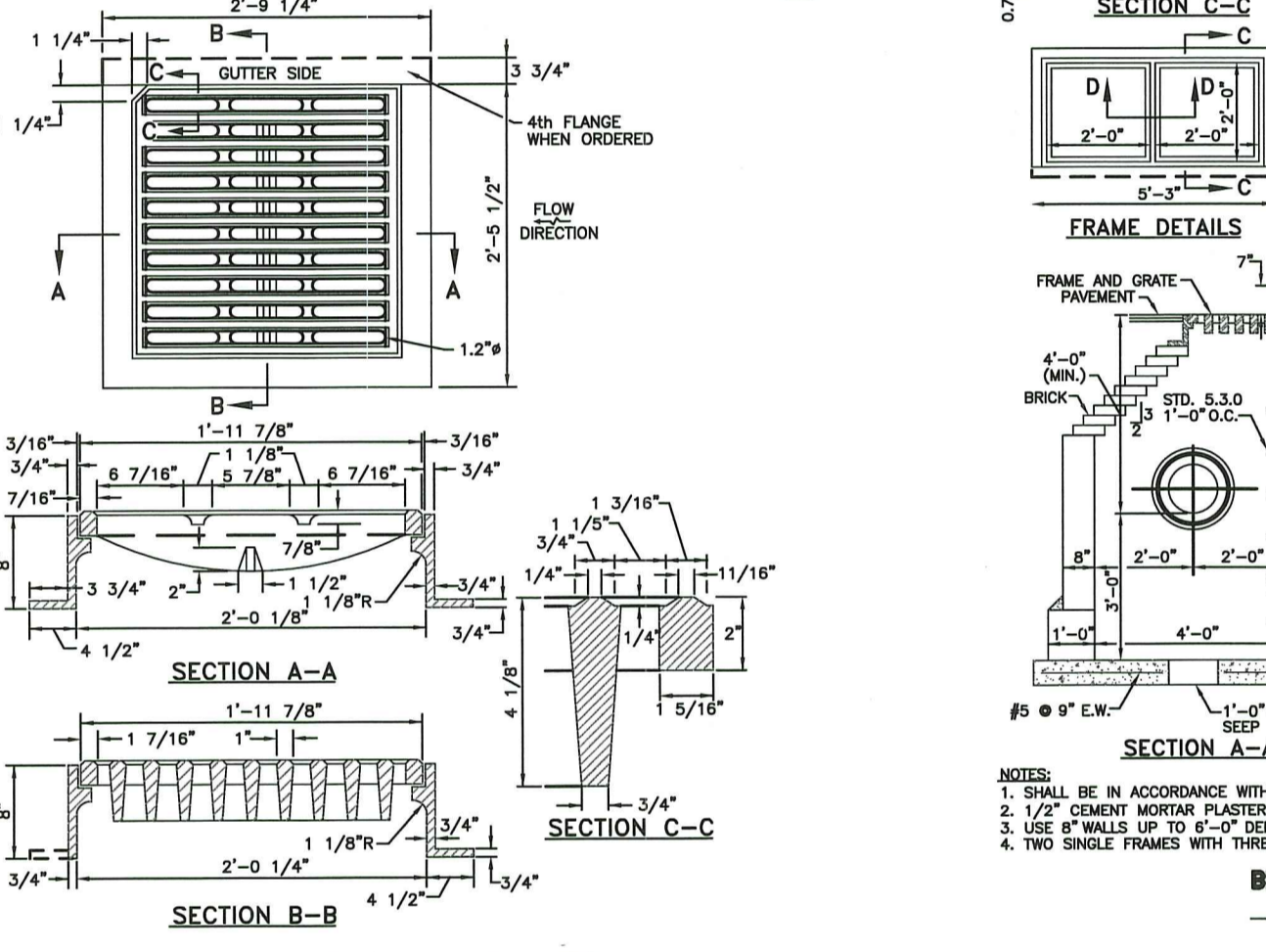
SITE DETAILS 1

SHEET 7 OF 8

N:\15-0001 Marc, N Nyberg\05 Stanley Tree Service\400 Technical\402 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:21pm

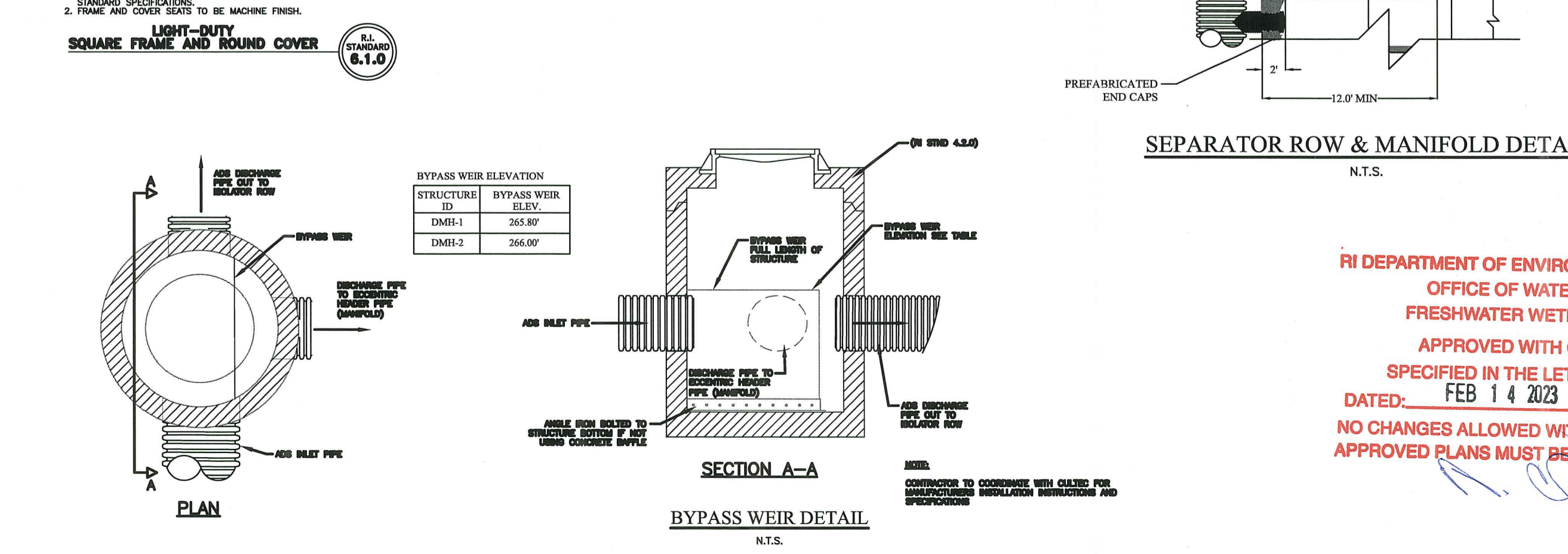
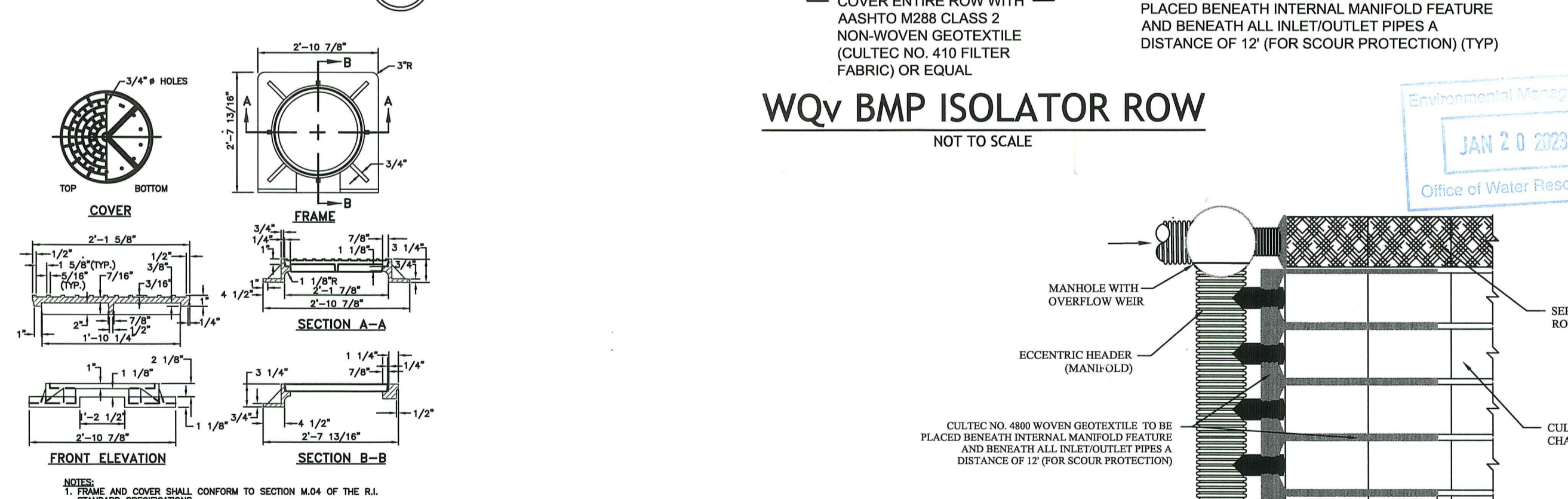
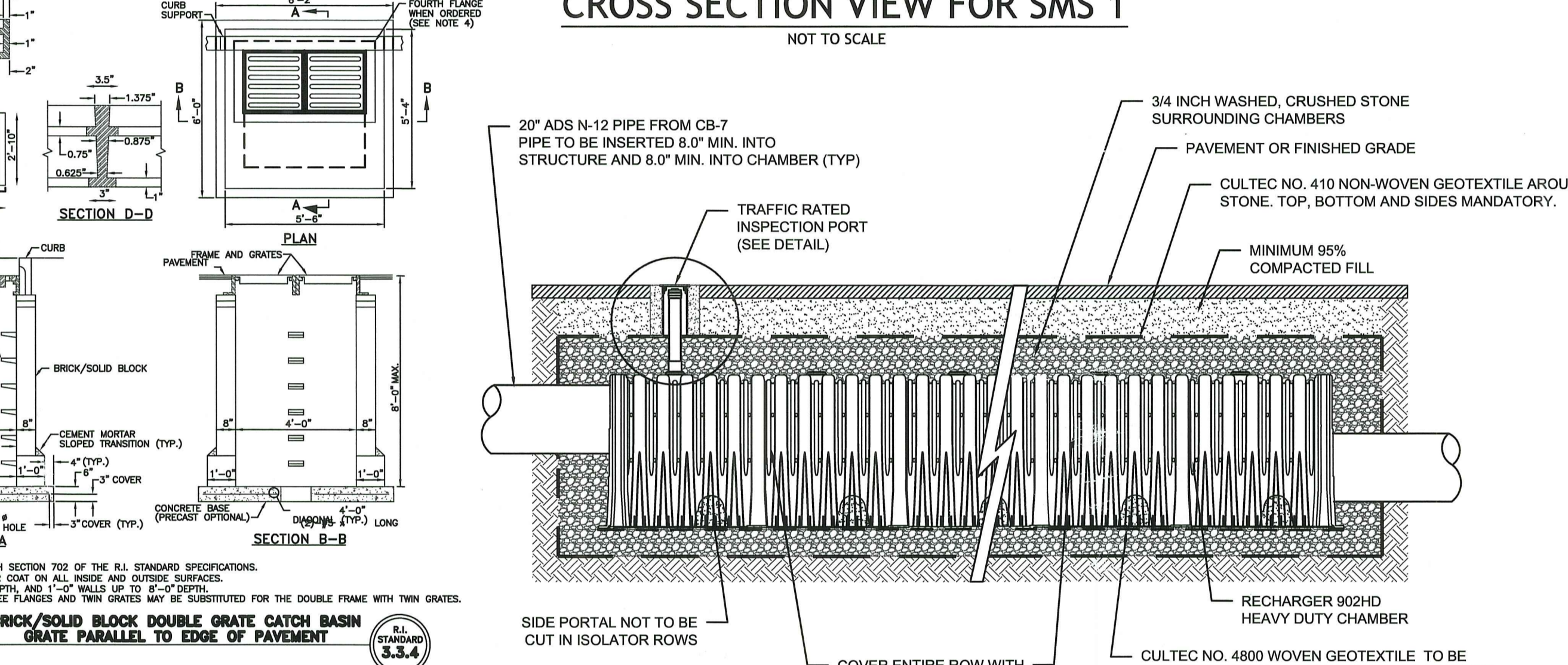


NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. SEE PLAN FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. 6.5.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE FOUR" MOUNTING BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORNER MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CORNER SECTION" OF THE 4'-0" CATCH BASIN ONLY.
8. FOR CATCH BASIN TYPES "D" AND "R" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
9. THE CONTROLS OF THE GRATING MUST BE WITHIN 2'-0" FROM THE STEPS.
10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED HS-20 LOADING (SEE STD. 4.7.2).
11. ALTERNATE TOP SLAB IS ONLY FOR USE WITH REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.



GENERAL NOTES
RECHARGER 902HD BY CULTEC, INC. OF BROOKFIELD, CT. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. ALL RECHARGER 902HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. CALL CULTEC, INC. AT (800) 428-5832 TO ARRANGE A PRE-CONSTRUCTION MEETING. USE RECHARGER 902HD HEAVY DUTY FOR TRAFFIC APPLICATIONS.



CULTEC RECHARGER 902HD PRODUCT SPECIFICATIONS

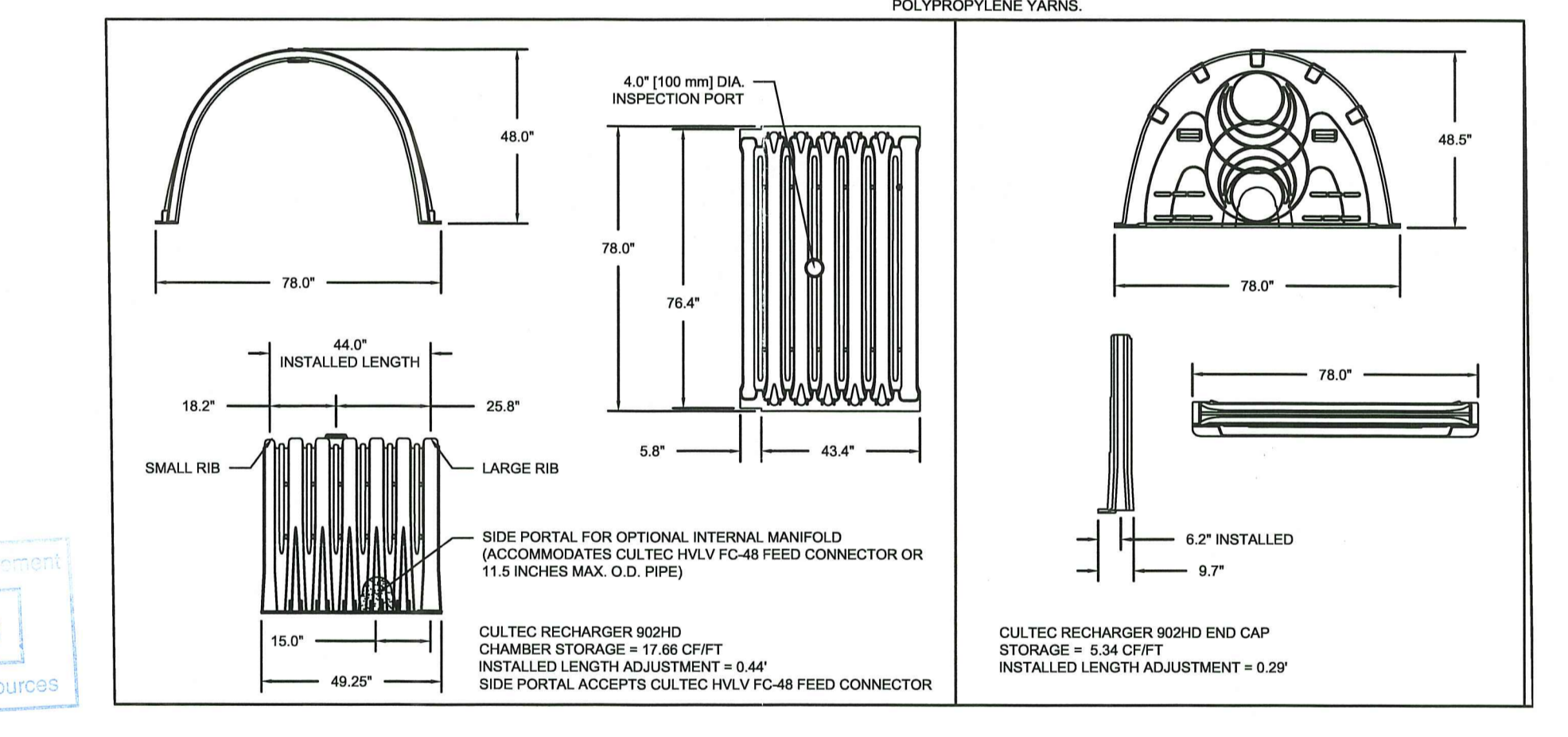
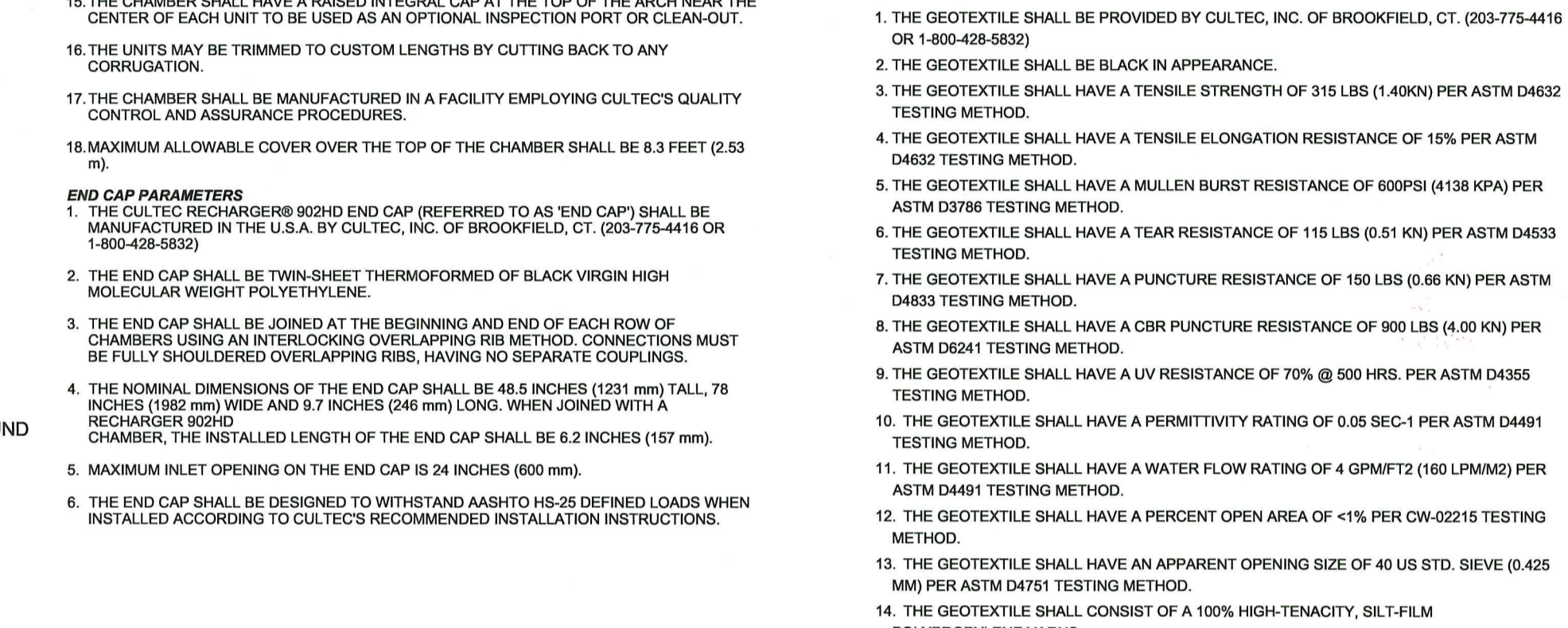
GENERAL
CULTEC RECHARGER 902HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

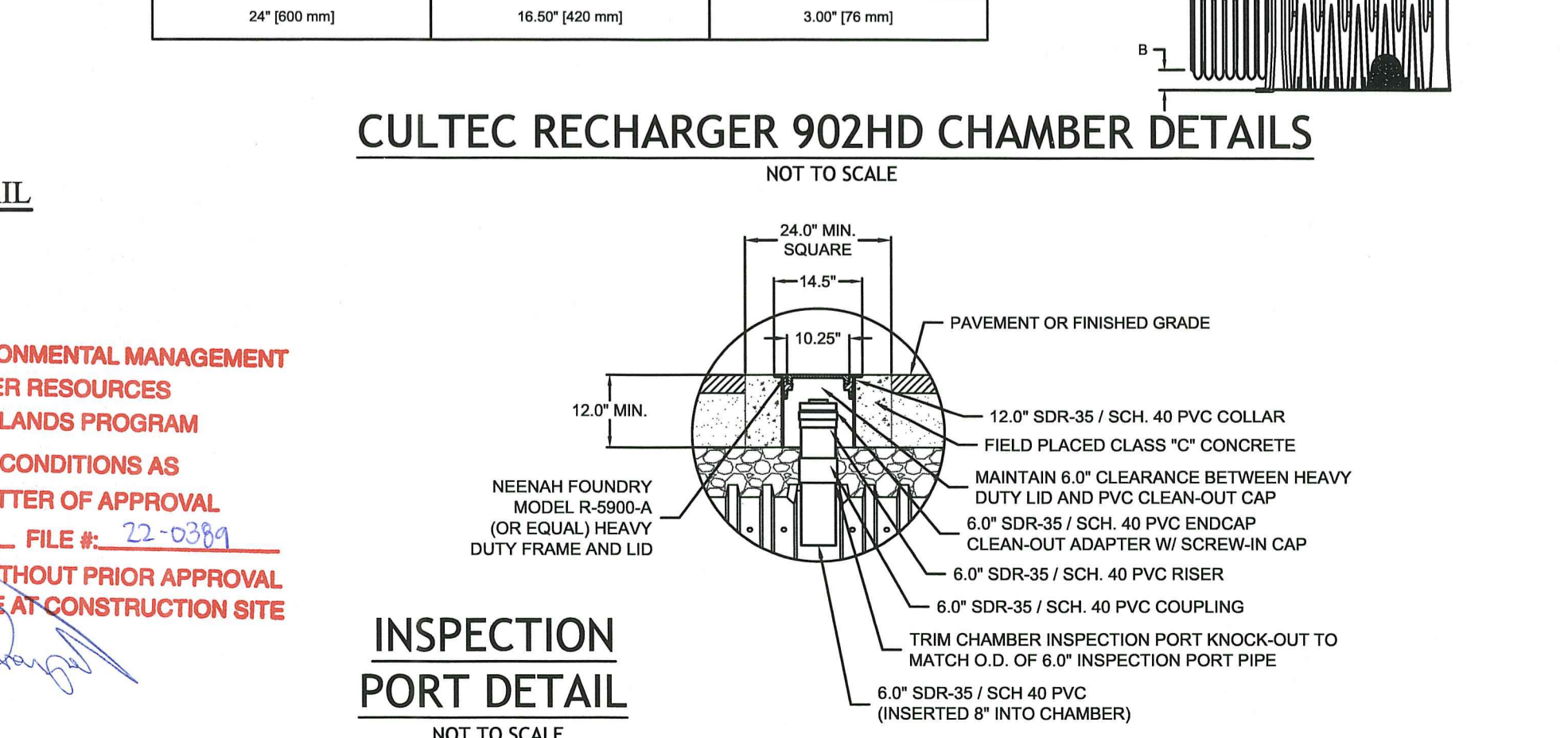
1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE STRUCTURAL FOAM INJECTION MOLDED OF BLUE VIRGIN HIGH MOLECULAR WEIGHT IMPACT-MODIFIED POLYPROPYLENE.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 902HD SHALL BE 48 INCHES (1219 mm) TALL, 78 INCHES (1981 mm) WIDE AND 4.5 FEET (1.28 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 902HD SHALL BE 307 FEET (1.15 m).
7. MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEGIN AND END WITH A SEPARATELY FORMED CULTEC RECHARGER 902HD END CAP. MAXIMUM INLET OPENING ON THE END CAP IS 24 INCHES (609 mm).
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV™ FC-48 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN THE SIDE PORTAL IS 11.5 INCHES (292 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV™ FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 48 INCHES (1246 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 902HD CHAMBER SHALL BE 17.66 FT³ (1.84 m³) WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 902HD CHAMBER SHALL BE 64.75 FT³ (1.84 m³) WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV™ FC-48 FEED CONNECTOR SHALL BE 0.913 FT³ (0.085 m³) WITHOUT STONE.
12. THE RECHARGER 902HD CHAMBER SHALL HAVE TWENTY-FOUR DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS' CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 902HD CHAMBER SHALL HAVE 7 CORRUGATIONS.
14. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND AASHTO HS-25 DEFINED LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
15. THE CHAMBER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH NEAR THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
16. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
17. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
18. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 8.3 FEET (2.53 m).

END CAP PARAMETERS

1. THE CULTEC RECHARGER 902HD END CAP (REFERRED TO AS 'END CAP') SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF BLACK VIRGIN HIGH MOLECULAR WEIGHT POLYPROPYLENE.
3. THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
4. THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 48 INCHES (1219 mm) TALL, 78 INCHES (1981 mm) WIDE AND 9.7 INCHES (246 mm) LONG. WHEN JOINED WITH A RECHARGER 902HD CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 6.2 INCHES (157 mm).
5. MAXIMUM INLET OPENING ON THE END CAP IS 24 INCHES (609 mm).
6. THE END CAP SHALL BE DESIGNED TO WITHSTAND AASHTO HS-25 DEFINED LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.



PIPE	A	B
6" [150 mm]	N/A	N/A
8" [200 mm]	N/A	N/A
10" [250 mm]	N/A	N/A
12" [300 mm]	29.50" [749 mm]	2.25" [57 mm]
15" [375 mm]	26.50" [673 mm]	2.25" [57 mm]
18" [450 mm]	23.50" [597 mm]	2.50" [64 mm]
24" [600 mm]	16.50" [420 mm]	3.00" [76 mm]



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2023 FILE #: 22-0369
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Detec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 fax: www.damicoeng.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PROPOSED O'KEEFE PROPERTIES, LLC SITE
VICTORY HIGHWAY (POLE #99)
BURLINGTON, RHODE ISLAND
AP 114, LOT 44 AND 57

REVISIONS:
NO. DATE DESCRIPTION
1 10-24-22 RIDOT COMMENTS OF 10-13-22
2 1-19-23 RIDOT COMMENTS OF 11-28-22

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JUNE, 2022
PROJECT NO: 15-0001-05

PERMIT PLANS
SITE DETAILS 2
SHEET 8 OF 8

N:\15-0001_Marc N Nyberg\05 Stanley Tree Service\400 Technical\400 Plans\O'Keefe Properties SITE PLAN SET 1-19-23.dwg Jan. 19, 2023 2:22pm