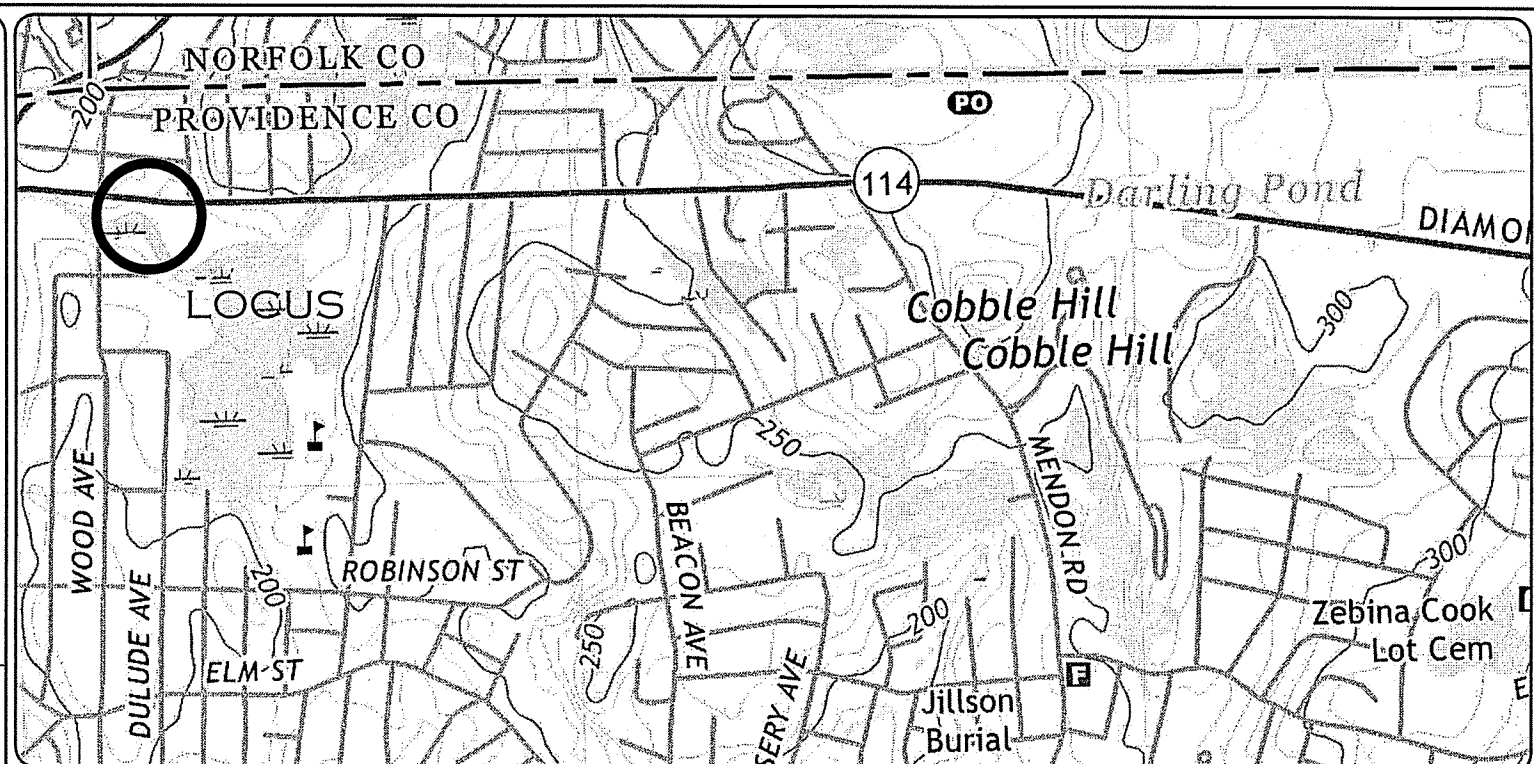
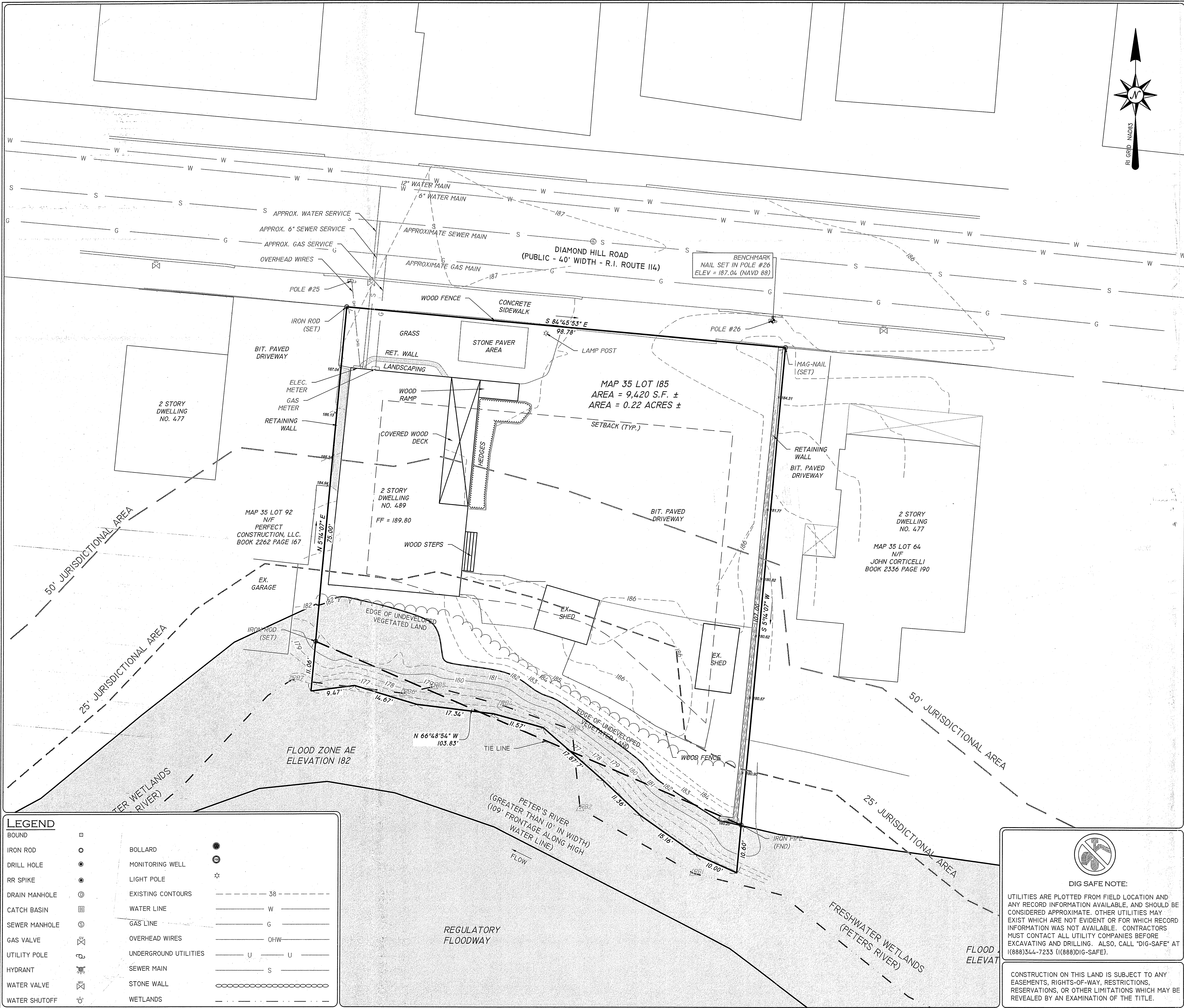




GENERAL NOTES:

- LOT SHOWN IS DESIGNATED AS LOT 35-185 ON MAP B5.
- ZONING DISTRICT: MU-1 (MIXED USE DISTRICT)
- OWNER OF RECORD: - SHAH MAKAMIL
814 DIAMOND HILL ROAD
WOONSOCKET, RI 02895
BOOK 2539 PAGE 68
- SITE IS LOCATED IN FEMA FLOOD ZONE AE (FLOOD ELEVATION 182) AS SHOWN ON FIRM PANEL 44007 C 0088 G EFFECTIVE ON MARCH 2, 2009.
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD; POSSIBLE RIGHTS MAY EXIST TO THE MIDDLE OF THE CHANNEL OF PETERS RIVER AS DESCRIBED IN BOOK 2539 PAGE 68.ANY
- UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)
- THE HORIZONTAL DATUM FOR THIS PROJECT IS R.I.S.P.C.S. (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 88. THE PROJECT DATUMS WERE ESTABLISHED FROM REFERENCE STATIONS AND GNSS CORRECTIONS RECEIVED FROM THE LEICA SMARTNET NORTH AMERICA RTK NETWORK VIA CARLSON BRX6 GNSS ANTENNAS / RECEIVERS.
- THE ENTIRE PROPERTY FALLS WITHIN A 200' RIVERBANK WETLAND. ANY DISTURBANCE AND/OR CONSTRUCTION IS SUBJECT TO PERMITTING BY THE R.I.D.E.M., AS APPLICABLE

PLAN REFERENCE:

- PLAN OF EXTENSION OF WOOD AVENUE FROM THE SOUTHERLY SIDE OF PETERS RIVER TO DIAMOND HILL RD. SCALE: 1 INCH = 40 FEET, 1896, FRANK H. MILLS, CITY ENGR.
- BOUNDARY & TOPOGRAPHIC SURVEY PLAN A.P. 25, LOT 185; PROJECT# 21-040; DATED 8-12-2021; BY WATERMAN ENGINEERING COMPANY.

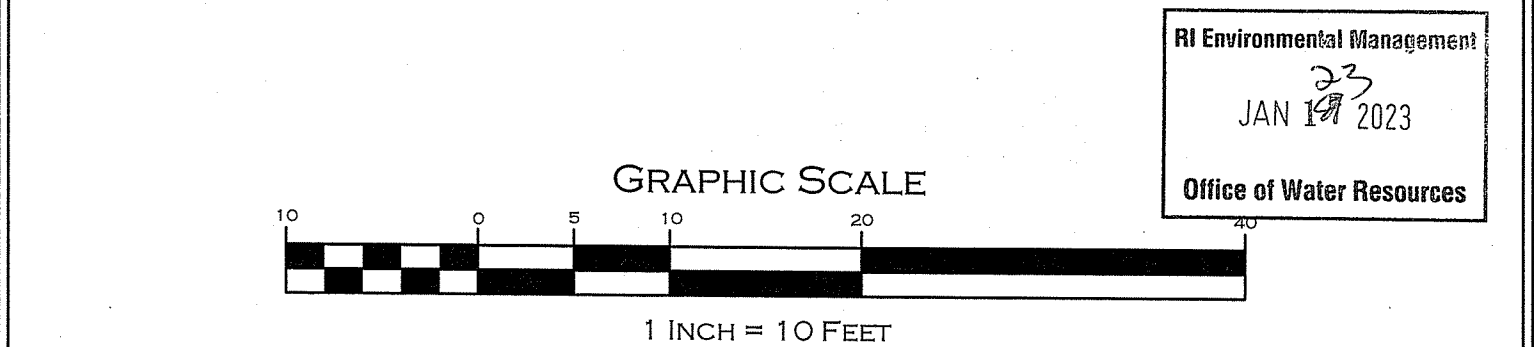
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY MEASUREMENT SPECIFICATION: CLASS I
TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: CLASS III
VERTICAL MEASUREMENT SPECIFICATION: V-3 TOPOGRAPHIC ACCURACY CLASS: T-2

- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAT IS AS FOLLOWS:
- TO REPORT A PROFESSIONAL OPINION REGARDING THE LOCATION OF PROPERTY BOUNDARIES.
 - TO DEPICT AND REPORT THE RELATIVE POSITIONS OF EXISTING PHYSICAL OBJECTS AND EXISTING SITE CONDITIONS.
 - TO CREATE AN EXISTING CONDITIONS BASE PLAN FOR CONTEMPLATION OF DESIGNED CONSTRUCTION OR OTHER IMPROVEMENTS TO THE SITE.

Marc N. Nyberg
MARC NYBERG, PLS / REGISTERED PROFESSIONAL LAND SURVEYOR / 3/10/2022 DATE
RHODE ISLAND PLS NO: 1797 RHODE ISLAND C.O.A. NO.: LS.000A468.COA



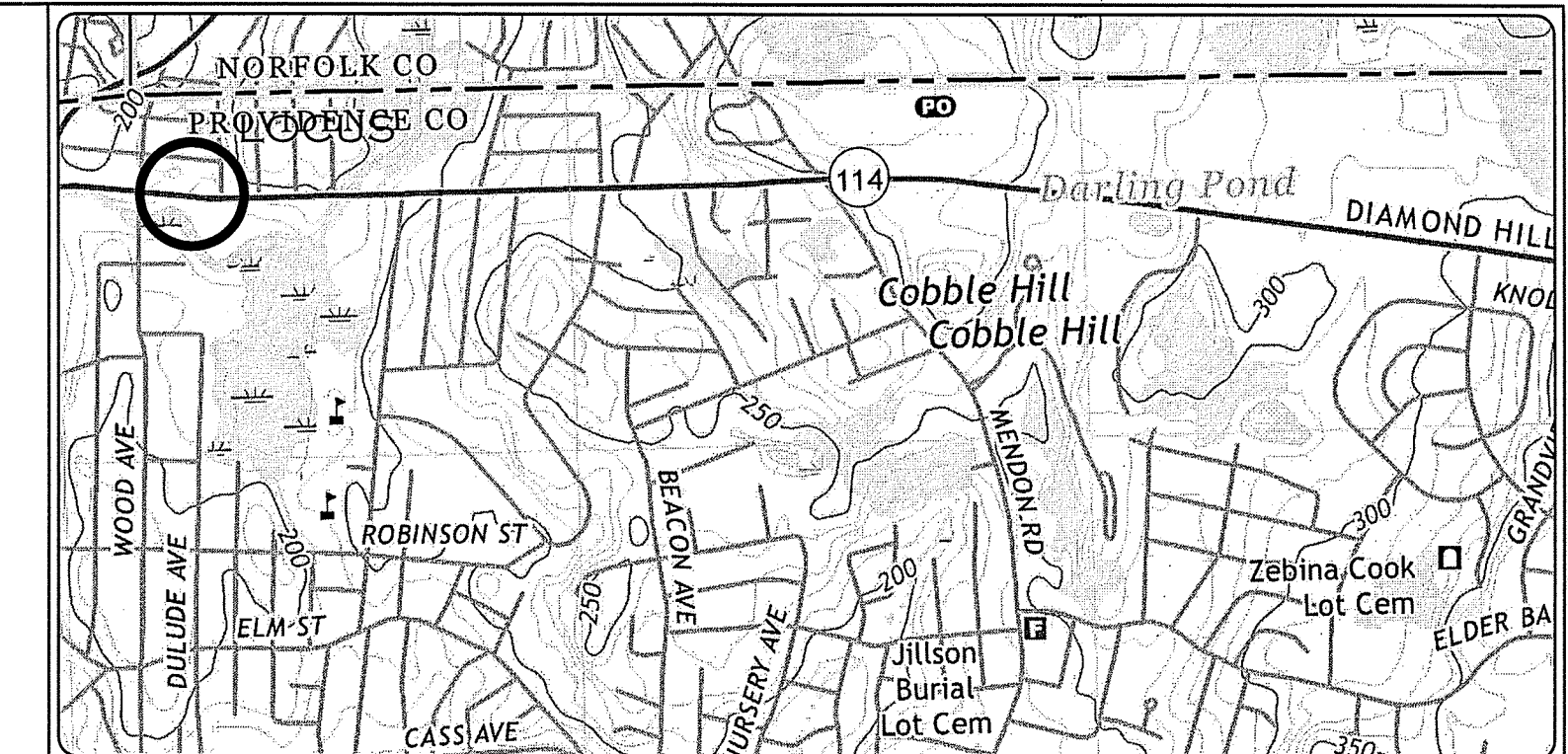
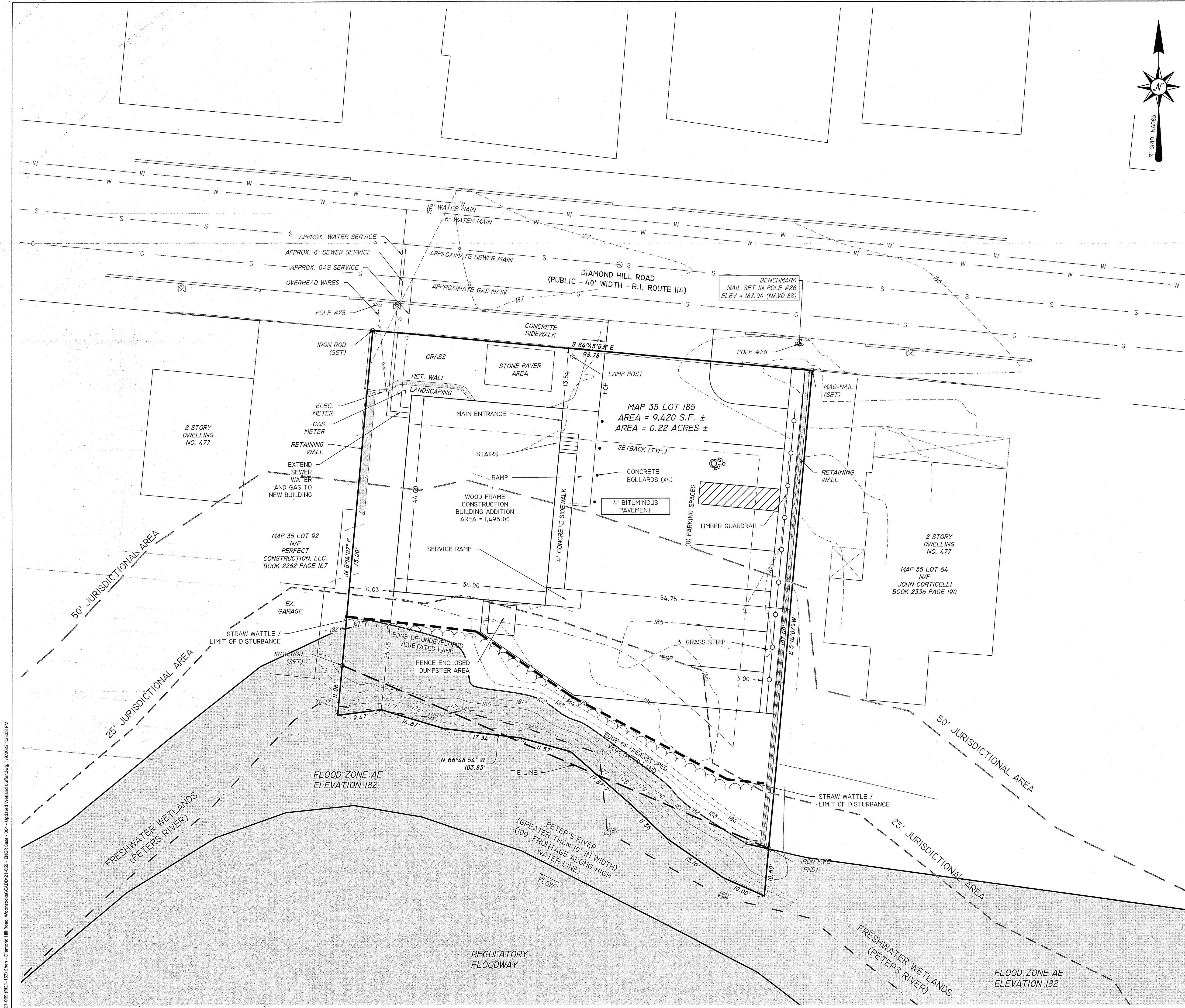
EXISTING CONDITIONS PLAN

"489 DIAMOND HILL ROAD" WOONSOCKET, RHODE ISLAND, 02895 ASSESSORS MAP 35 LOT 185			
APPLICANT: MUKAMIL SHAH 814 DIAMOND HILL ROAD, WOONSOCKET, RI 02895			
JOB # 21-069	SCALE: 1" = 10'	DRAWN BY: LJG	DATE: MAY 13, 2022
REVISED: JANUARY 9, 2023; FRESHWATER WETLANDS GENERAL PERMIT			

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET
1
OF 4



- GENERAL NOTES:**
- LOT SHOWN IS DESIGNATED AS LOT 35-185 ON MAP B5.
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814 DIAMOND HILL ROAD
WOONSOCKET, RI 02895
BOOK 2539 PAGE 68
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- PLAN REFERENCE:**
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 - BOUNDARY & TOPOGRAPHIC SURVEY PLAN A.P. 25, LOT 185; PROJECT# 21-040; DATED 8-12-2021; BY WATERMAN ENGINEERING COMPANY.

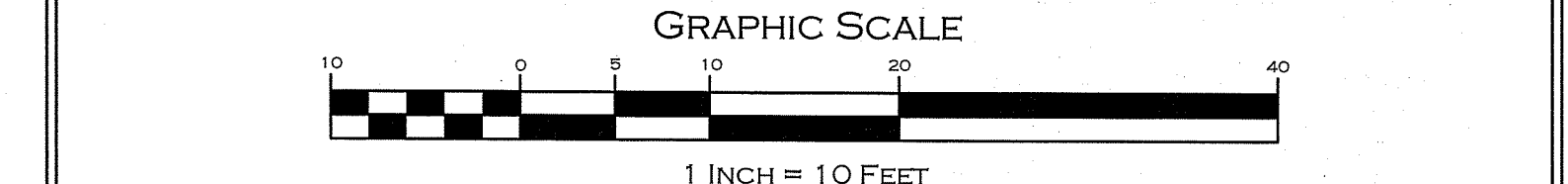
DIMENSIONAL ZONING REQUIREMENTS:

MU-1 (MIXED USE) ZONING DISTRICT	
MINIMUM AREA	= 6,000 S.F.
WIDTH	= 60' + 10' PER ADDITIONAL UNIT
FRONT YARD SETBACK	= 20'
SIDE YARD SETBACK	= 10'
REAR YARD SETBACK	= 25'
MAXIMUM BUILDING HEIGHT	= 30'
MAX. PERCENT OF COVERAGE	= 50%

PARKING REQUIREMENTS:

SECTION 5.1-3.12, CHAPTER (I) OF THE WOONSOCKET ZONING BYLAWS STATE THE FOLLOWING: IF THE NET FLOOR AREA IS LESS THAN FIFTY THOUSAND (50,000) SQUARE FEET, FOUR (4) SPACES ARE REQUIRED FOR THE FIRST ONE THOUSAND (1,000) SQUARE FEET, OR FRACTION THEREOF, OF NET FLOOR SPACE; PLUS ONE (1) SPACE FOR EACH ADDITIONAL TWO HUNDRED (200) SQUARE FEET OF SAID FLOOR SPACE. (CH. NO. 6585, SEC. 1, 4-5-99).

BUILDING AREA = 1496 S.F.
REQUIRED PARKING = $4 + (1496-1000)/200 = 7$ SPACES REQUIRED
PROVIDED PARKING = 7 SPACES PROVIDED



SITE PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"489 DIAMOND HILL ROAD"
WOONSOCKET, RHODE ISLAND 02895
ASSESSORS MAP 35 LOT 185

APPLICANT: MUKAMIL SHAH
814 DIAMOND HILL ROAD, WOONSOCKET, RI 02895

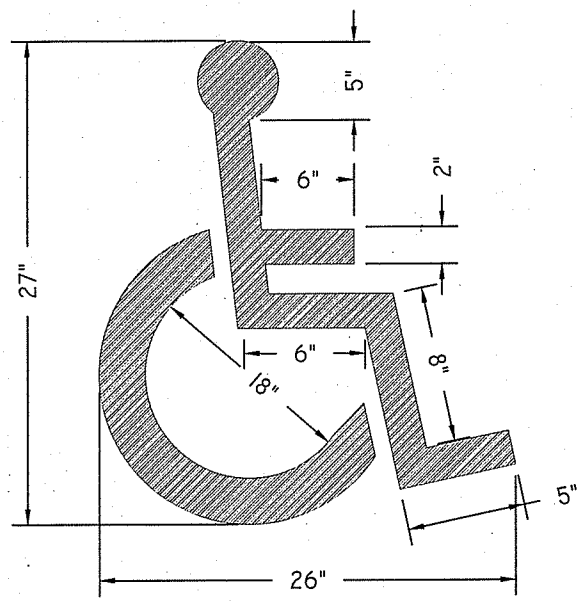
JOB # 21-069
SCALE: 1" = 10'
DRAWN BY: L.J.G.
DATE: MAY 13, 2022

REVISED: JANUARY 9, 2023: FRESHWATER WETLANDS GENERAL PERMIT

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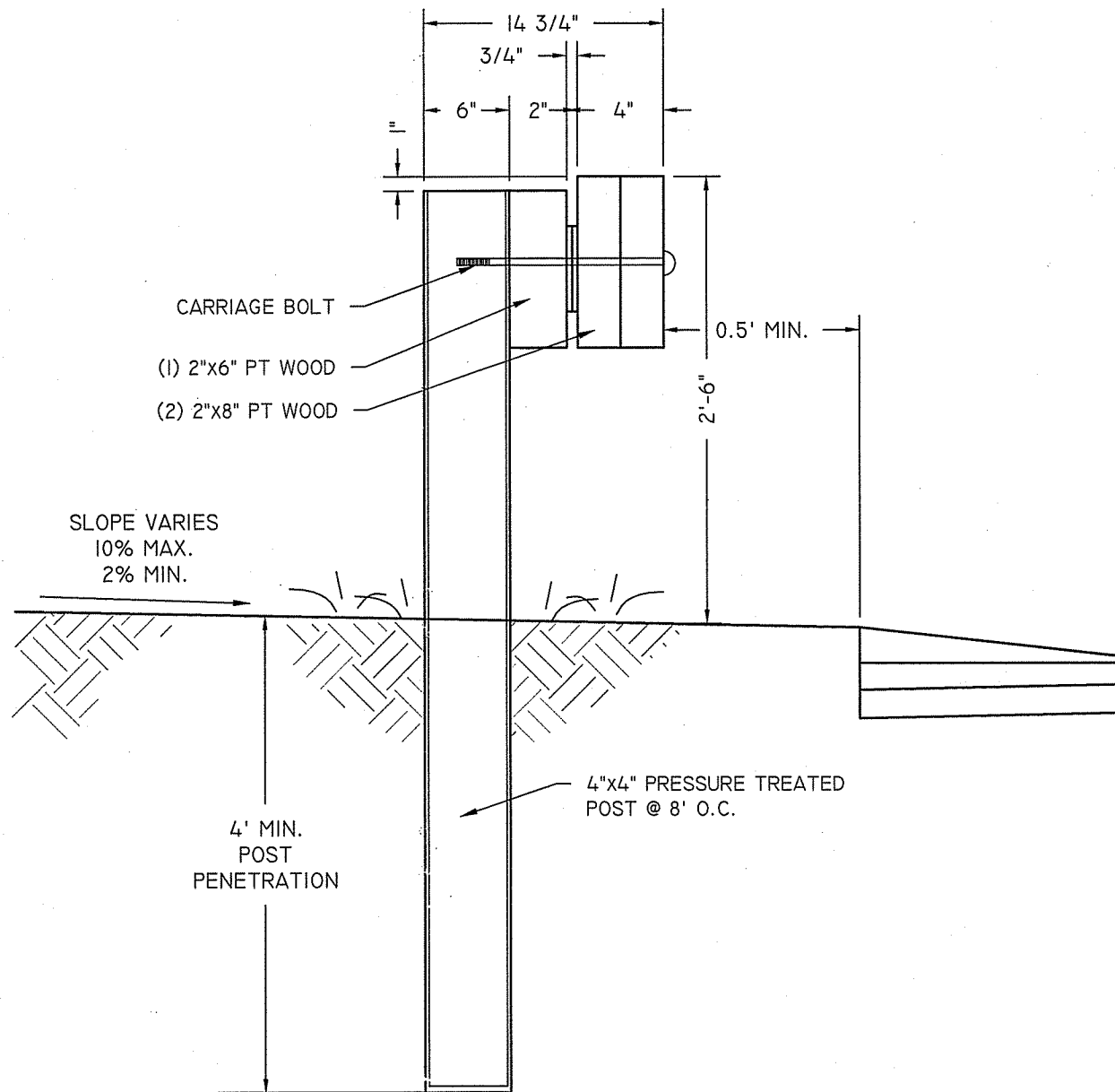
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OF 4

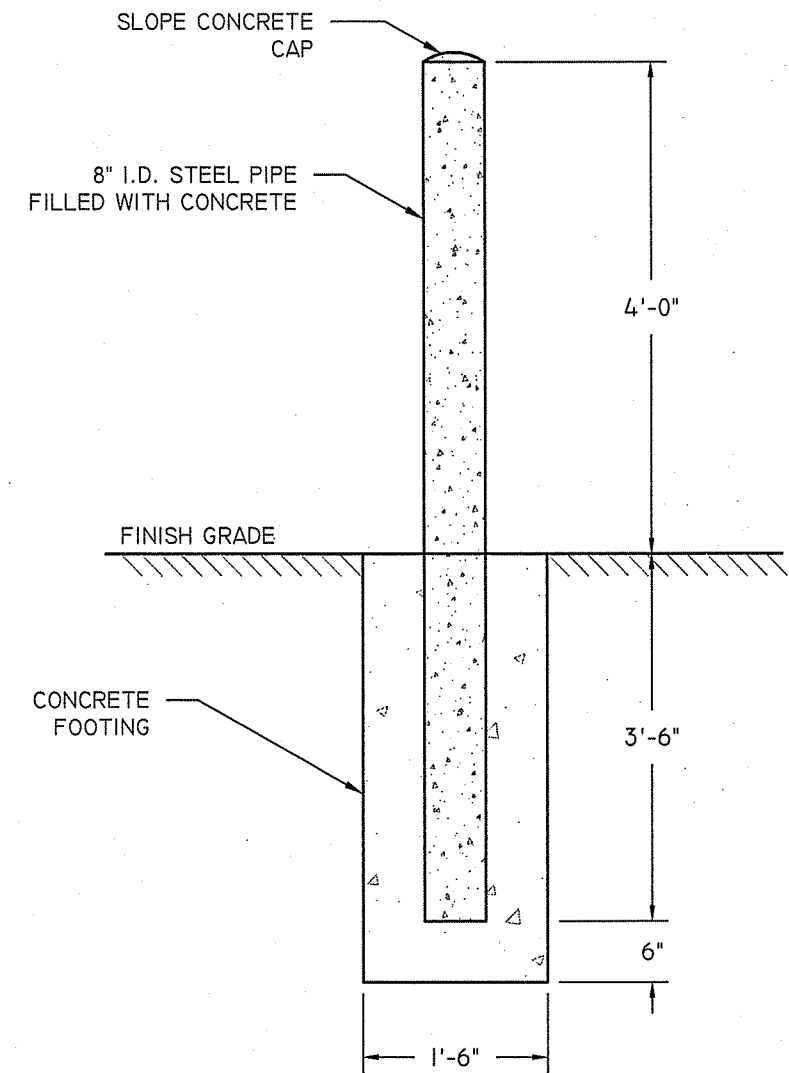


NOTES:
1. ALL HANDICAP PARKING AND SIGNALS SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD

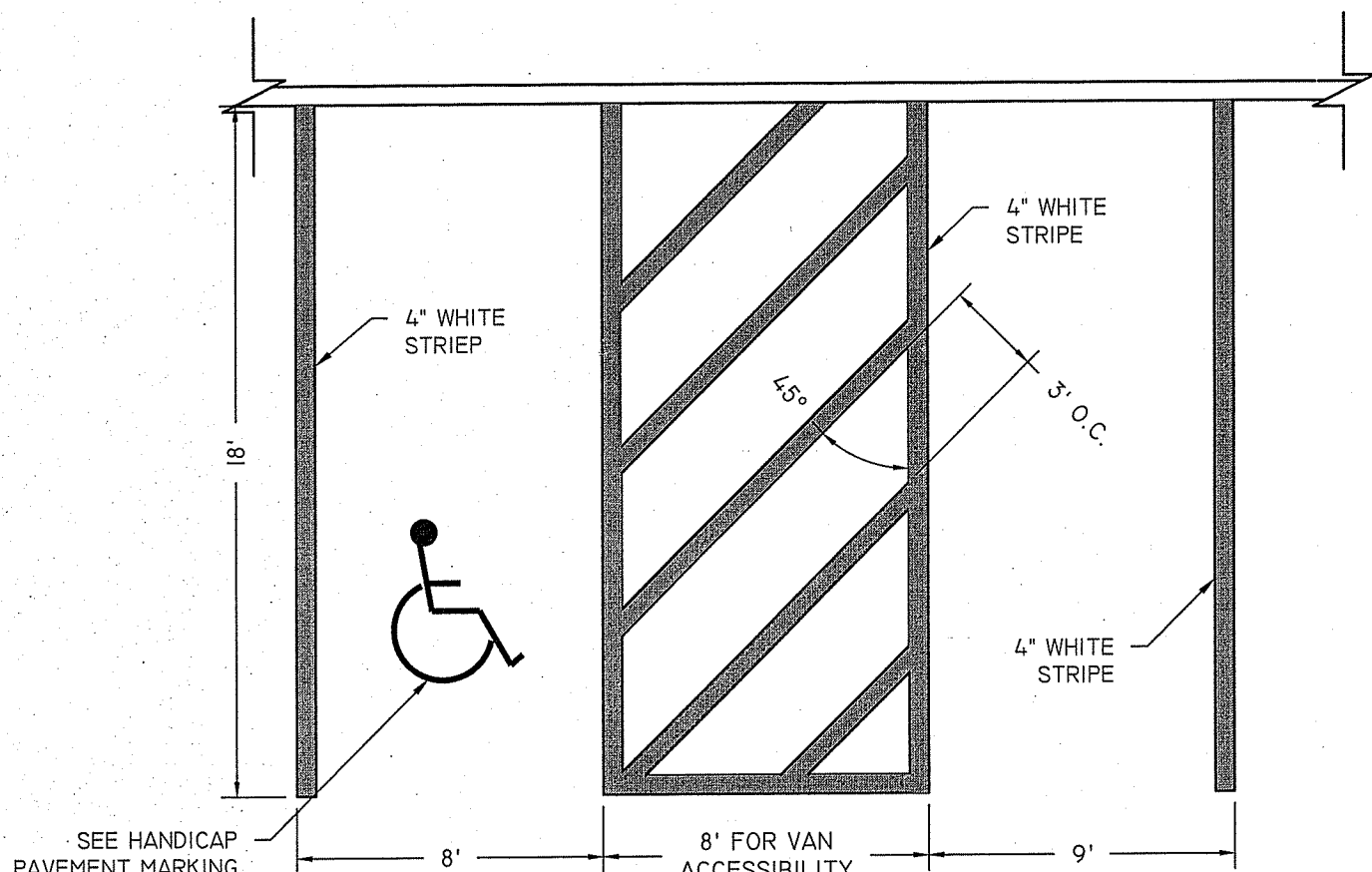
HANDICAP PAVEMENT MARKING
NOT TO SCALE



TIMBER GUARDRAIL DETAIL
NOT TO SCALE

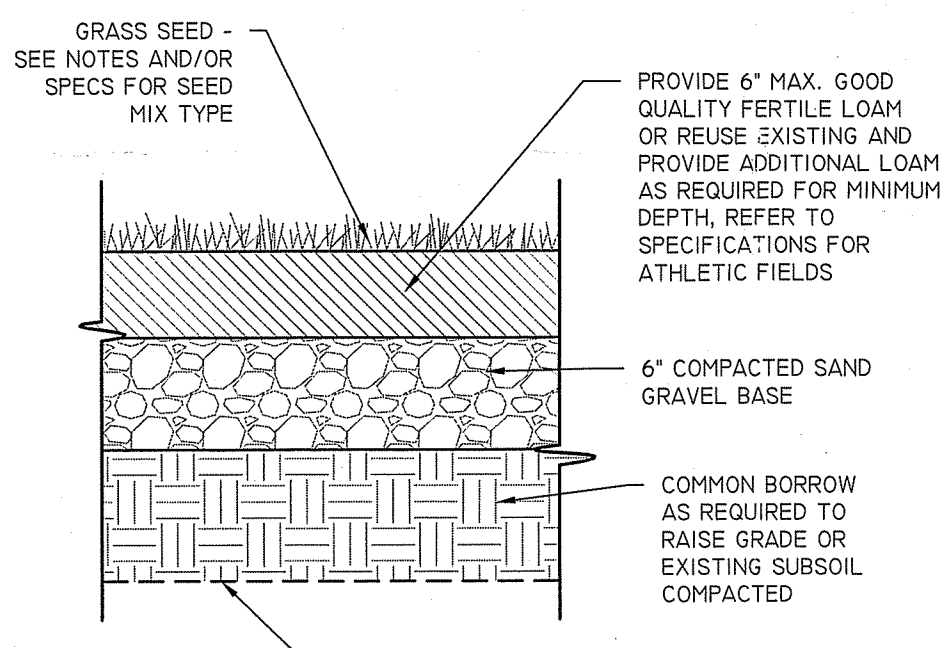


CONCRETE FILLED BOLLARD DETAIL
NOT TO SCALE



NOTES:
1. WHERE STALLS ABUT SIDEWALK, PARKING SIGNS SHOULD BE PLACED AT BACK EDGE OF SIDEWALK.

HANDICAP PARKING AND STANDARD STALLS
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

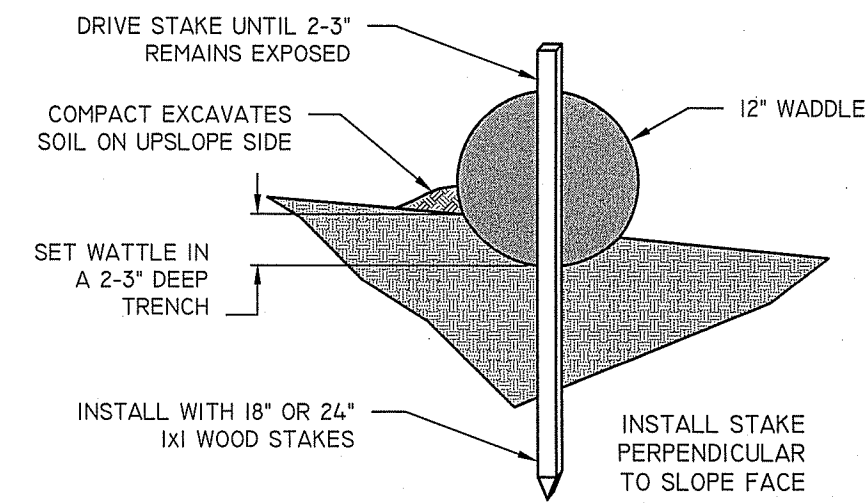
- NOTES:
1. LOAM MOVED SHALL BE RETAINED AND DISTRIBUTED ON THE SITE IN ACCORDANCE WITH THE PLANS. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIALS. NEW LOAM IF REQUIRED SHALL BE FERTILE, FRIABLE, MEDIUM TEXTURED SANDY LOAM FREE OF STUMPS, STONES, ROOTS AND OTHER MATTER ONE INCH (1") OR GREATER IN DIAMETER. THE PH SHALL BE BETWEEN 5.5 AND 7.5.
 2. LAWN PREPARATION: ALL DEBRIS AND INORGANIC MATERIAL SHALL BE REMOVED FROM THE SUBGRADE. PRIOR TO THE SPREADING OF ANY LOAM, AREAS SHALL BE RESHAPED AND DRESSED WITH CLEAN LOAM AS REQUIRED TO OBTAIN A SMOOTH SURFACE. SUBGRADE TO BE SCARIFIED AND LOOSEN IN AREAS WHERE COMPACTION HAS OCCURRED. LOAM TO BE SPREAD TO A DEPTH OF SIX INCHES (6"). A STARTER FERTILIZER (10-20-10) AT A RATE OF 20 LBS. PER 1000 SQUARE FEET AND LIME AT A RATE OF 40 LBS. PER 1000 SQUARE FEET. THE LOAM SHALL BE ROLLED TO CREATE A SMOOTH SURFACE.
 3. SEEDING SHALL TAKE PLACE BETWEEN MARCH 15 AND MAY 31 OR AUGUST 15 AND OCTOBER 15. SEED SHALL BE PURE, LIVE, FRESH SEED FROM COMMERCIAL SOURCES AND LABELED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE SEED MIXTURE SHALL BE:

PRODUCTION TYPE	WEIGHT
HENREYS HARD FESCUE	24.78%
AZURE SHEEPS FESCUE	24.78%
AMBROSE CHEWINGS FESCUE	24.67%
CREeping RED FESCUE	24.63%

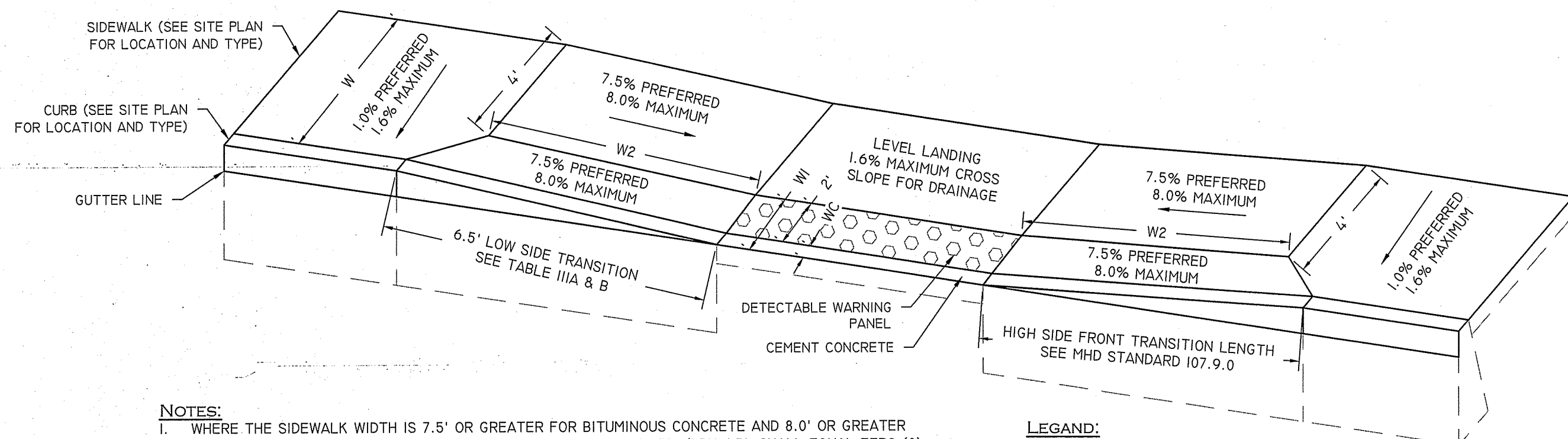
*INERT MATERIAL TO BE LESS THAN 2.5% MAX.

EROSION & SEDIMENTATION CONTROL:

1. BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEEP x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
5. EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
6. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.



STRAW WATTLE (OR SILT SOCK) DETAIL
NOT TO SCALE

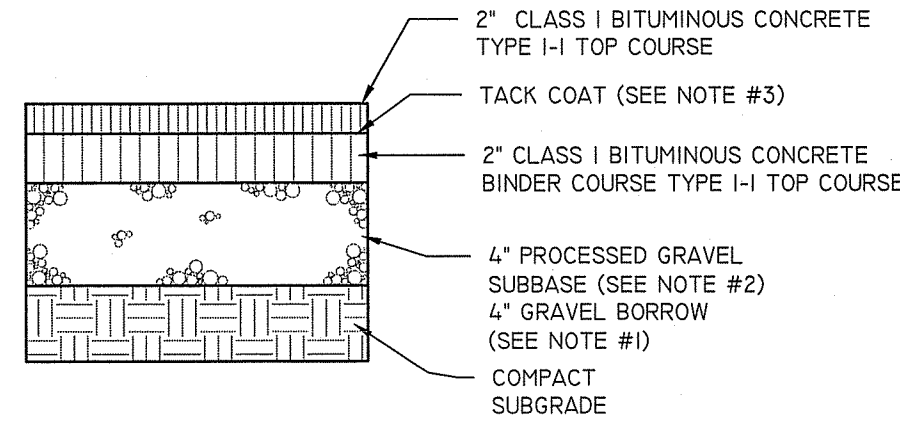


- NOTES:
1. WHERE THE SIDEWALK WIDTH IS 7.5' OR GREATER FOR BITUMINOUS CONCRETE AND 8.0' OR GREATER FOR CEMENT CONCRETE AND BRICK, THE BACK TRANSITION LENGTHS (LBH, LBL SHALL EQUAL ZERO (0). THEREFORE THE DIAGONAL SCORE LINE SHALL MEET THE BACK CORNERS OF THE WHEELCHAIR RAMP. IT SHOULD BE NOTED THAT THE RAMP SLOPE SHALL BE LESS THAN 11.0' FOR BITUMINOUS CONCRETE AND GREATER THAN 8.0' TO LESS THAN 11.0' FOR CEMENT CONCRETE AND BRICK.
 2. TRANSITION CURB SHALL BE PART OF THE HANDICAP RAMP WORK.

LEGEND:
W = SIDEWALK WIDTH
W1 = PERPENDICULAR RAMP LENGTH
W2 = PARALLEL RAMP LENGTH
WC = CURB WIDTH

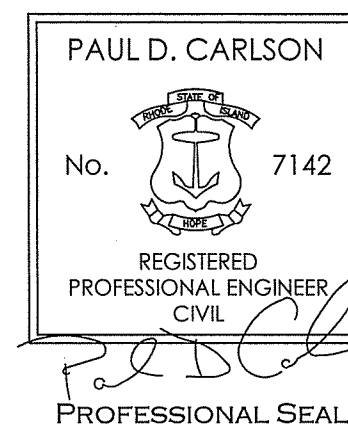
WHEELCHAIR RAMP DETAIL
NOT TO SCALE

- NOTES:
1. GRAVEL BORROW SHALL CONFORM TO RIDOT STD. SPECIFICATION MATERIALS SECTION
 2. PROCESSED GRAVEL FOR SUBBASE COURSE SHALL CONFORM TO RIDOT STD. SPECIFICATION MATERIALS SECTION
 3. MACHINE APPLIED TACK COAT SHALL BE APPLIED ON TOP OF BINDER COURSE BEFORE FINAL PAVEMENT. TACK COAT SHALL CONFORM TO RIDOT. STD. SPECIFICATIONS MATERIALS SECTION



BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE

DETAIL SHEET



"489 DIAMOND HILL ROAD"
WOONSOCKET, RHODE ISLAND, 02895
ASSESSORS MAP 35 LOT 185

APPLICANT: MUKAMIL SHAH
814 DIAMOND HILL ROAD, WOONSOCKET, RI 02895

JOB # 21-069 SCALE: N.T.S. DRAWN BY: L.J.G. DATE: MAY 13, 2022

REVISED: JANUARY 9, 2023: FRESHWATER WETLANDS GENERAL PERMIT



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SHEET
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OF 4