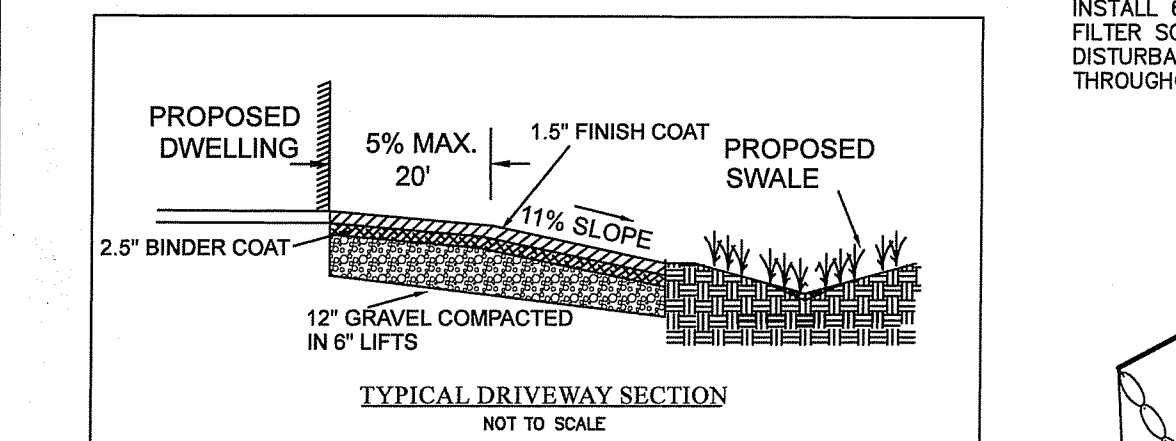




LOCATION PLAN NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site



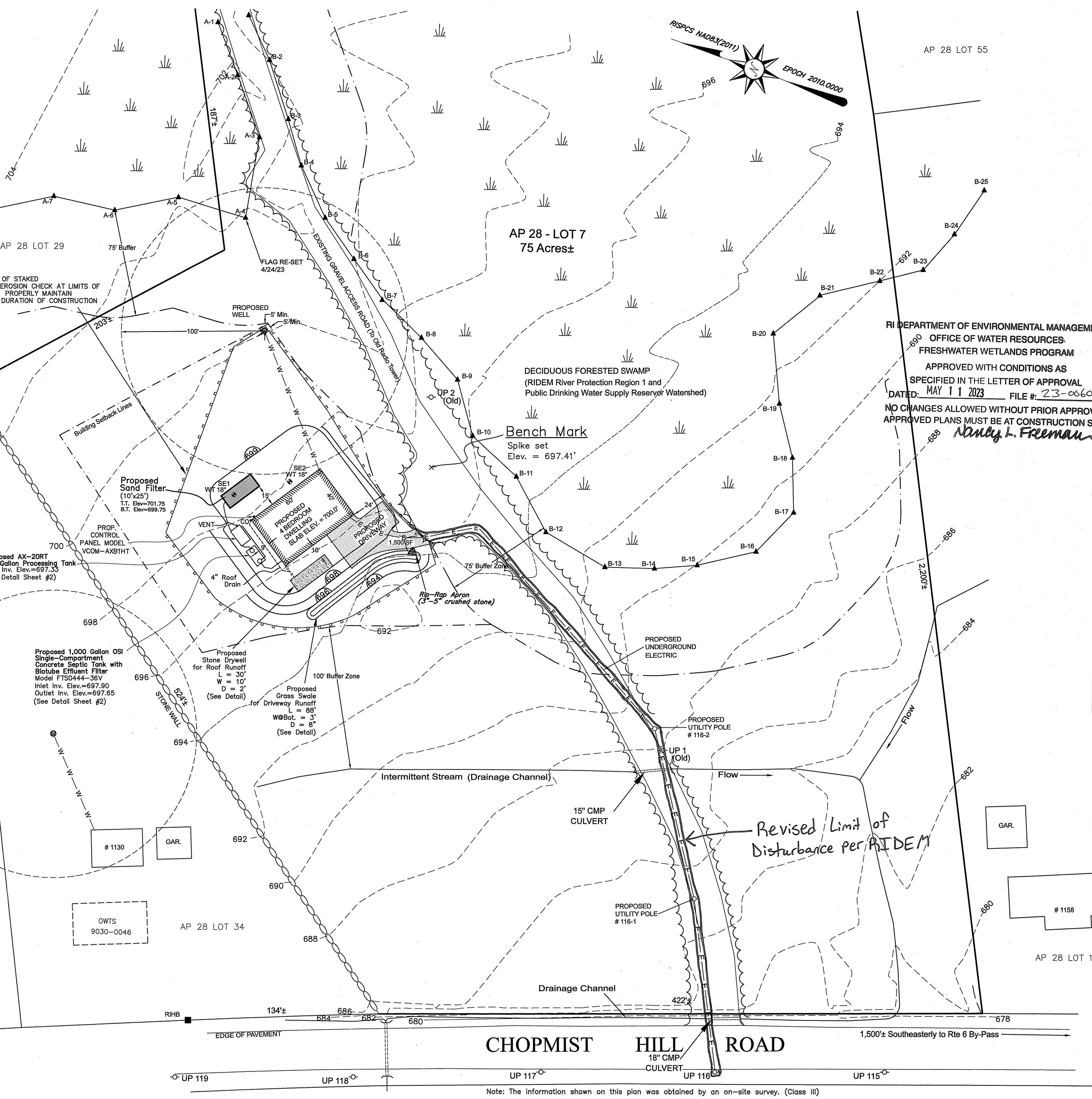
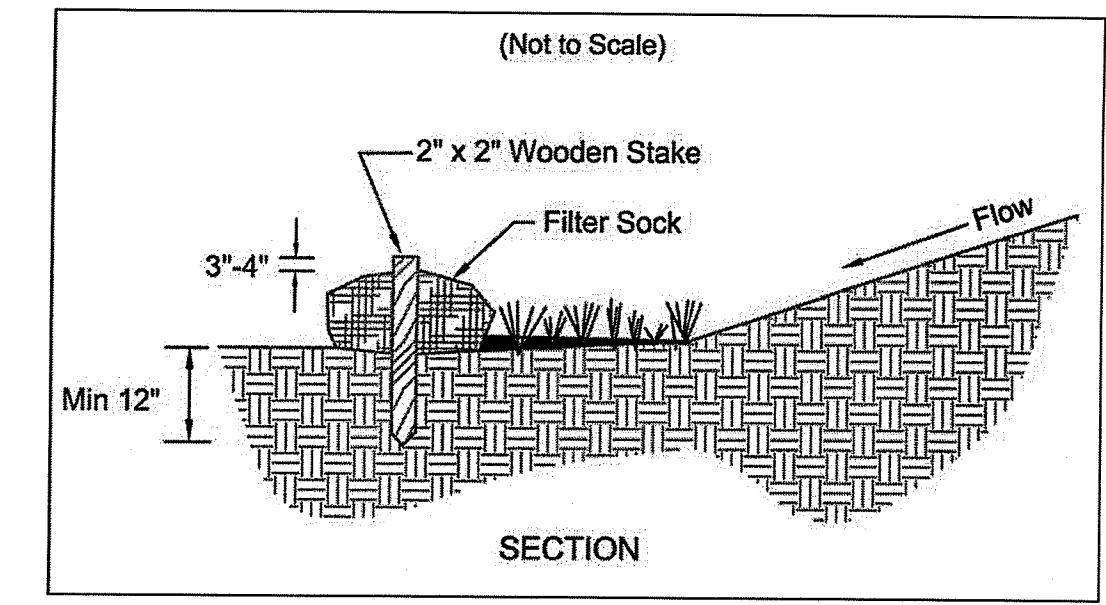
Wetlands Note:
Wetland Flags set on or about 11/14/22 by Ecosystem Solutions, Inc.
100 Centerville Road Warwick, RI 02886
(401) 741-3263

- Legend**
- AP Assessor's Plat
 - SE Soil Evaluation Test Hole
 - UP Utility Pole
 - ΔA-1 Wetland Flag
 - D-D- Drain Line
 - - - Existing Contour
 - 698 Proposed Contour
 - RHIB Rhode Island Highway Bound
 - LOD Limit of Disturbance
 - T.T. Top Timber
 - B.T. Bottom Timber
 - CO Clean-out

AP 28 LOT 29
AP 28 LOT 34
AP 28 LOT 55

CHOPMIST HILL ROAD
18" CMP CULVERT
1,500'± Southeasterly to Rte 6 By-Pass

Note: The information shown on this plan was obtained by an on-site survey. (Class III)



DRAINAGE SYSTEM-INSPECTION, MAINTENANCE & REPAIR:

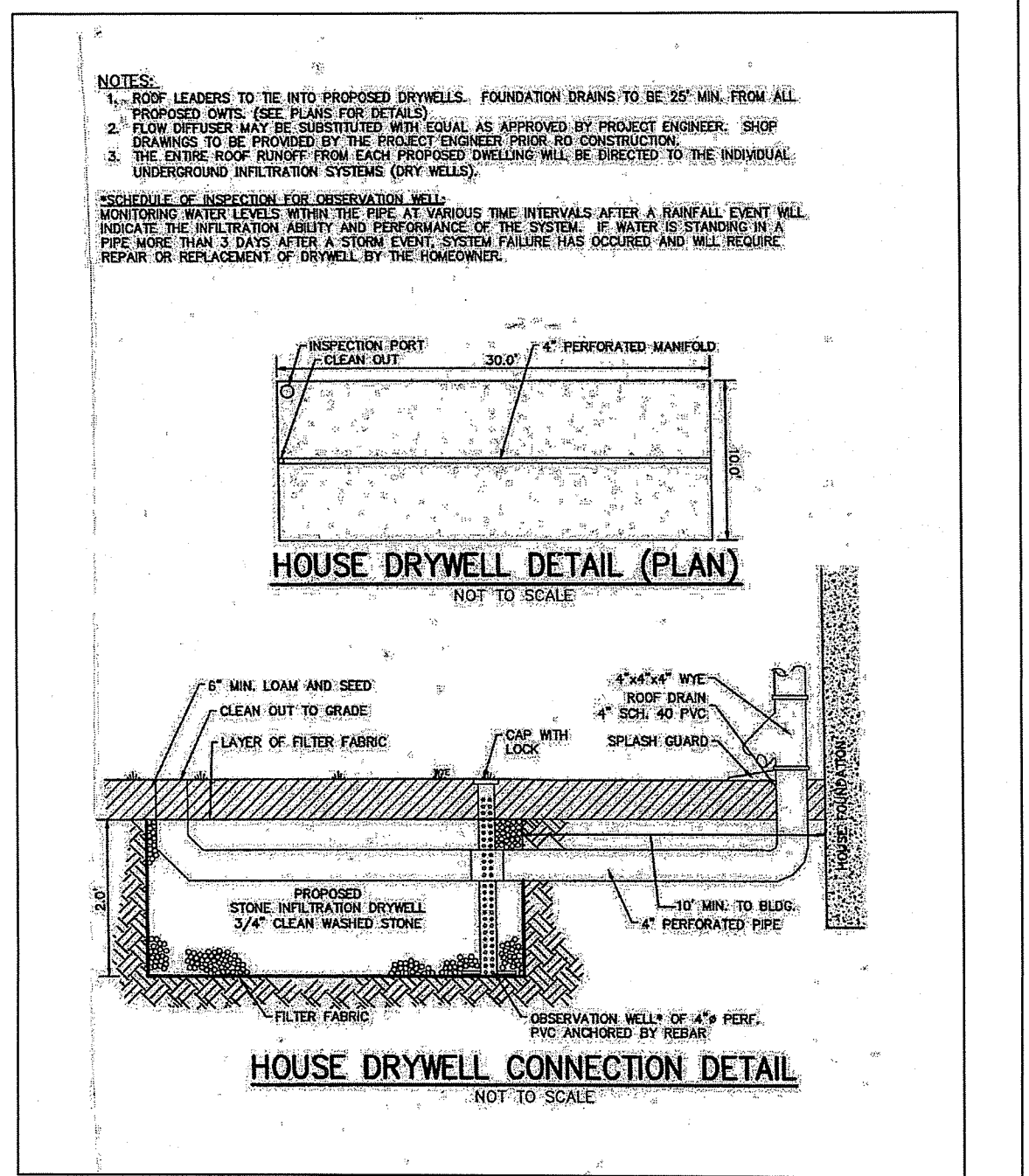
GRASS SWALE:
THE MAINTENANCE OBJECTIVE FOR THIS PRACTICE INCLUDES PRESERVING THE HYDRAULIC AND REMOVAL EFFICIENCY OF THE CHANNEL AND MAINTAINING A DENSE, HEALTHY VEGETATIVE COVER. THE FOLLOWING ACTIVITIES ARE RECOMMENDED ON AN ANNUAL BASIS OR AS NEEDED:

- MOWING AND LITTER AND DEBRIS REMOVAL;
- STABILIZATION OF ERODED SIDE SLOPES AND BOTTOM;
- NUTRIENT AND PESTICIDE USE MANAGEMENT;
- DE-THATCHING SWALE BOTTOM AND REMOVAL OF THATCHING; AND
- DISKING OR AERATION OF SWALE BOTTOM.

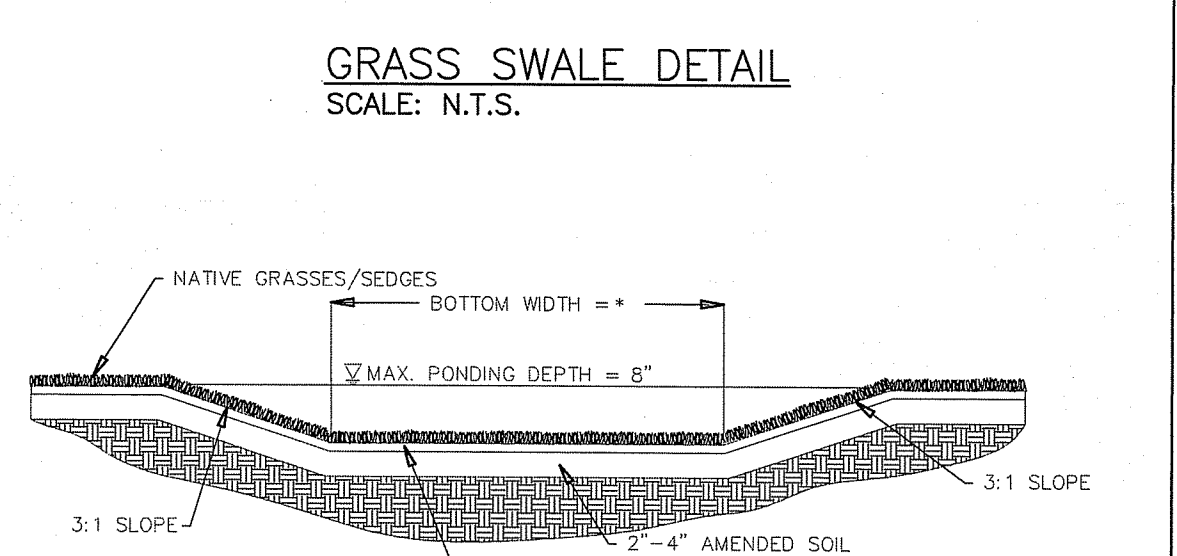
EVERY FIVE YEARS, SCRAPING OF THE CHANNEL BOTTOM AND REMOVAL OF SEDIMENT TO RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE, AND SEEDING TO RESTORE GROUND COVER IS RECOMMENDED.

THE GRASS SWALE SHALL BE INSPECTED ON AN ANNUAL BASIS AND AFTER STORMS OF GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.7 INCHES OF RAIN). WHEN SEDIMENT ACCUMULATES TO A DEPTH OF APPROXIMATELY 3 INCHES, IT SHALL BE REMOVED, AND THE SWALE SHALL BE RECONFIGURED TO ITS ORIGINAL DIMENSIONS. THE VEGETATION IN THE GRASS SWALE SHALL BE MAINTAINED TO HEIGHTS IN THE 4-6 INCH RANGE, WITH MANDATORY MOWING ONCE HEIGHTS EXCEED 10 INCHES. IF THE SURFACE OF THE GRASS SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP ANY HARDPACKED SEDIMENT, AND THEN RESEDED. TRASH AND DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF.

Drainage Calculations for Roof & Driveway Runoff
(Reference: CRMC Guidance Document for Single-Family Development—Revised 2/13/2013)
Silty Soils - 18" Water Table

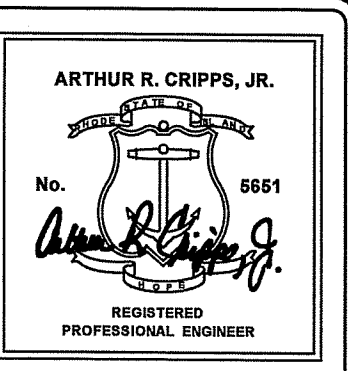


Total Roof Runoff Area = 2,400 SF
Proposing (1) 10' wide x 30' long x 24" deep drywell
Drywell has 300 SF of area and allocates for 2,655 SF of runoff area
Drywell Bottom Elev. = 697.00' (Water Table Elev.=694.00')
Total Drywell Drainage Area Allocated=2,655 SF > Roof Area=2,400 SF



Total Driveway Runoff Area=1,500 SF
Proposing (1) 8' wide (3' bot. width) x 8' deep x 88' long vegetated Swale
Swale has 257 SF of bottom area and allocates for 1,606 SF of runoff area
Swale Bottom Elev.=695.33' (Water Table Elev.=693.25')
Total Swale Drainage Area Allocated=1,606 SF > Driveway Area=1,500 SF

PROJECT ENGINEER
Arthur R. Cripps Jr., P.E.
200 Shippee Plat Road
Coventry, RI 02816



CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 4-35-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

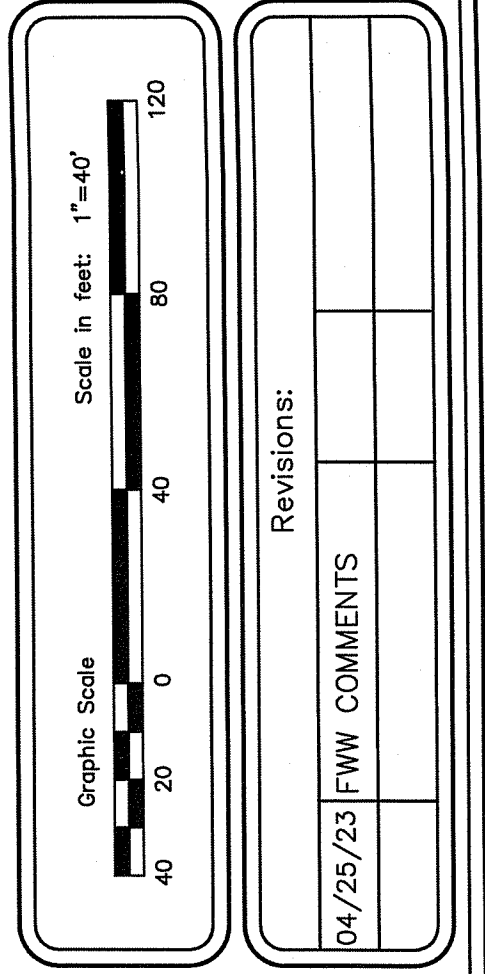
(A) TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION IV
NOT A BOUNDARY SURVEY.
THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

(B) OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY - LOCATION OF SITE FEATURES & TOPOGRAPHY III

(C) STATEMENT OF PURPOSE: THE PURPOSE OF THIS SURVEY AND PLAN IS TO SHOW EXISTING SITE FEATURES FOR A WETLAND PROGRAM REVIEW

BY: *John Rockwell* 04/25/2023
REGISTERED PROFESSIONAL LAND SURVEYOR SIGNATURE
John Rockwell, PLS
REGISTERED PROFESSIONAL LAND SURVEYOR PRINTED NAME
A-68
CERTIFICATE OF AUTHORIZATION NO.

RI Environmental Management
APR 28 2023
Office of Water Resources



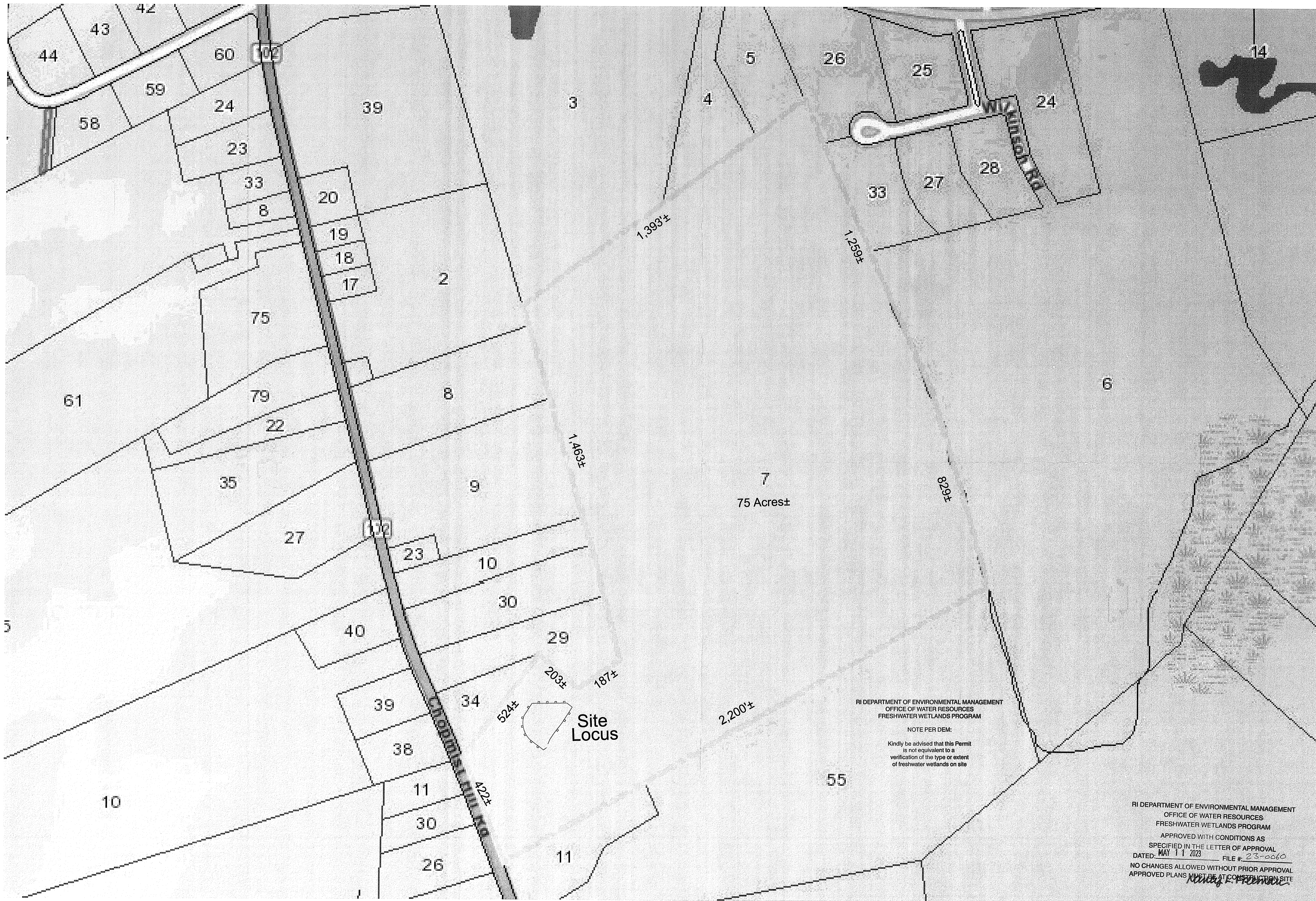
JOHN E. ROCKWELL
No. 1959
John E. Rockwell
PROFESSIONAL
LAND SURVEYOR

COVENTRY SURVEY CO.
46 South Main Street
Coventry, Rhode Island 02816
(401) 823-5028
Land Surveying / Mapping / OMTS Designs

Wetland Submission for Proposed New Dwelling
Pole 116 Chopmist Hill Road
in the Town of Scituate, Rhode Island
Assessor's Plat 28 / Lot 7
Prepared for: Wayne Beaudoin
54 Nooseneck Hill Road West Greenwich, RI 02817

Date:
March 15, 2023

Sheet 1 of 2



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: MAY 11 2023 FILE #: 23-0060
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Wayne Beaudoin

Graphic Scale
Not to Scale

Revisions:
04/20/23 FWM COMMENTS

JOHN E. ROCKWELL
No. 1959
John E. Rockwell
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46 South Main Street
Coventry, Rhode Island 02816
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Land Surveying / Mapping / OMTS Designs

RI Environmental Management
APR 28 2023

*Wetland Submission for Proposed New Dwelling
Showing Overall Property at Pole 116 Chopmist Hill Road
in the Town of Scituate, Rhode Island
Assessor's Plat 28 / Lot 7
Prepared for: Wayne Beaudoin
54 Nooseneck Hill Road West Greenwich, RI 02827*

Date:
March 15, 2023

Sheet 2 of 2