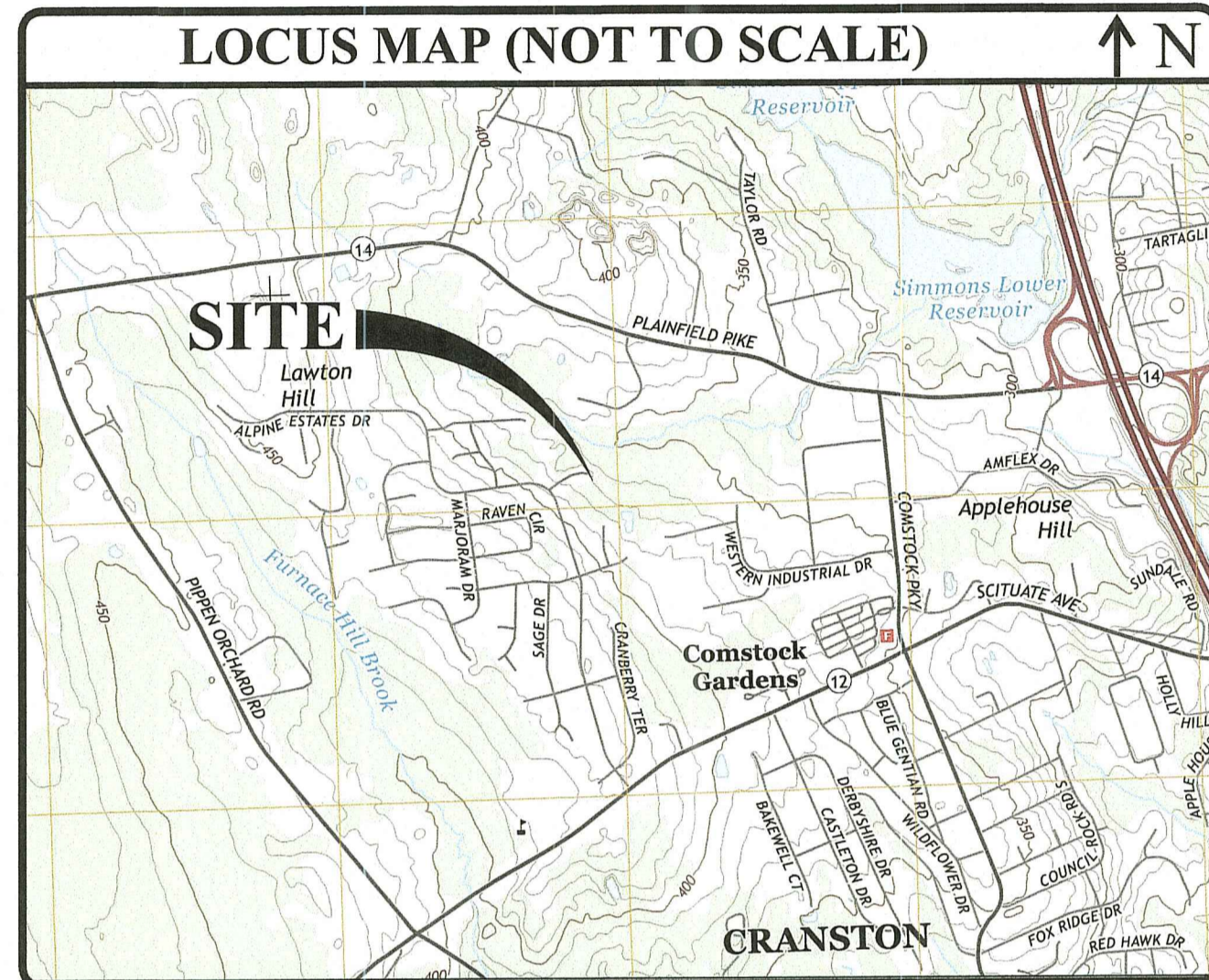


**RIDEM SUBMISSION  
FOR A PROPOSED SINGLE-FAMILY DWELLING**

**PEPPER MILL LANE  
CRANSTON, RHODE ISLAND  
AP 35, LOT 13**

**EXISTING ZONING DISTRICT: RESIDENTIAL A-80**



OWNER / APPLICANT	CIVIL ENGINEER	WETLAND BIOLOGIST	LAND SURVEYOR
DAVID DELFINO 102 SIMMONSVILLE AVENUE JOHNSTON, RI 02919	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 (401) 944-1300 phone (401) 944-1313 fax	NATURAL RESOURCE SERVICES, INC. PO BOX 311 180 TINKHAM LANE HARRISVILLE, RI 02830 (401) 568-7390 phone (401) 568-7490 fax	CHRISTOPHER G. PALMER, PLS 66 FALCON RIDGE DRIVE EXETER, RI 02822 (401) 401-474-5233 phone

**GENERAL NOTES:**

- CLASS 1 COMPREHENSIVE BOUNDARY SURVEY AND CLASS T-2 TOPOGRAPHY SURVEY PERFORMED BY CHRISTOPHER G. PALMER, PLS OF EXETER, RI IN NOVEMBER 2022.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE SITE IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CRANSTON, RHODE ISLAND, MAP NUMBER 44007C0292H, EFFECTIVE DATE OCTOBER 2, 2015. BASED ON THIS FEMA FLOOD INSURANCE MAP, THE SUBJECT PROPERTY AND ALL ADJACENT PROPERTIES, ARE IDENTIFIED AS LYING WITHIN FEMA FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL-CHANCE FLOOD ELEVATION.
- SOILS EXISTING ON THE SITE CONSISTS OF WOODBRIDGE FINE SANDY LOAMS 0-8 PERCENT SLOPES, VERY STONY (wob), WHICH CLASSIFY AS HYDROLOGIC SOIL GROUP C/D AND RIDGEBURY, LEICESTER, AND WHITMAN SOILS 0-8 PERCENT SLOPES, EXTREMELY STONY (RF), WHICH CLASSIFY AS HYDROLOGIC SOIL GROUP C. THERE ARE ALSO SMALL AREAS OF WOODBRIDGE FINE SANDY LOAM, 3-8 PERCENT SLOPES (WHB) ON-SITE, WHICH CLASSIFY AS HYDROLOGIC SOIL GROUP C/D.
- WETLANDS WERE DELINEATED IN 2014 AND UPDATED IN JULY 2020 BY NATIONAL RESOURCES SERVICES, INC., P.O. BOX 311 HARRISVILLE, RI 02830. WETLANDS WERE VERIFIED BY RIDEM UNDER APPLICATION NO. 20-0214 ON NOVEMBER 5, 2020.
- THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE POCASSETT RIVER WATERSHED. THERE ARE NO EXTRAORDINARY OR UNUSUAL FEATURES ON THE SUBJECT SITE.
- THERE ARE NO KNOWN EASEMENTS WITHIN THE SUBJECT PARCEL.
- THERE ARE NO CEMETERIES WITHIN OR ADJACENT TO THE SUBJECT PARCEL.
- DRAINAGE, ELECTRIC/COMMUNICATIONS, GAS, SEWER AND WATER ARE AVAILABLE FROM WITHIN PEPPER MILL LANE.

**A-80 ZONE DIMENSIONAL REGULATIONS**

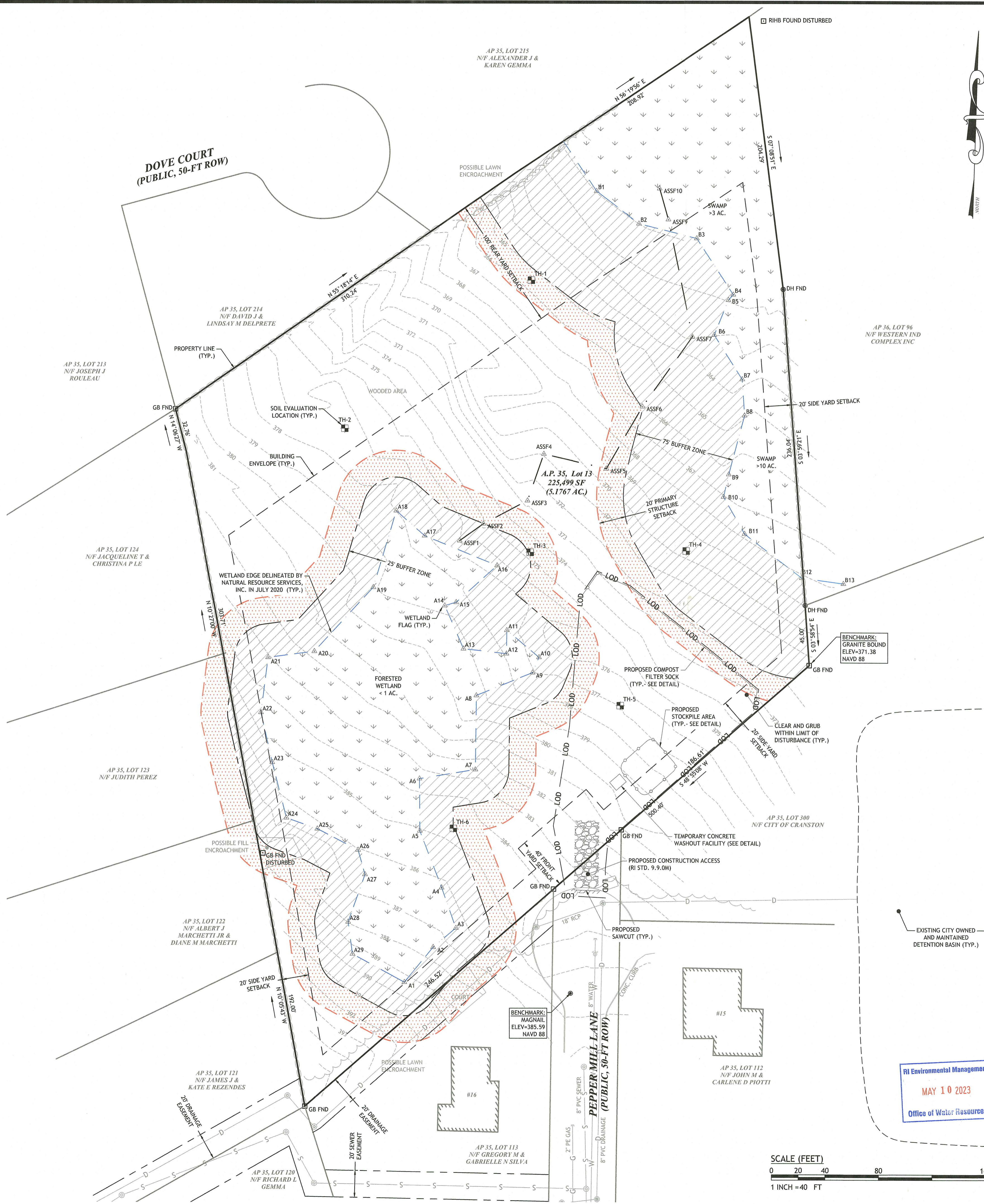
ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	A-80	A-80
MINIMUM LOT AREA	80,000 SF	225,499 SF
MINIMUM LOT WIDTH & FRONTAGE	200 FT	67.27 FT <sup>1</sup>
MINIMUM FRONT YARD SETBACK	40 FT	NA
MINIMUM REAR YARD SETBACK	100 FT	NA
MINIMUM SIDE YARD SETBACK	20 FT	NA
MAXIMUM BUILDING COVERAGE	10%	0%
MAXIMUM STRUCTURE HEIGHT	35 FT	NA

NOTES:  
1. PRE-EXISTING, NON-CONFORMING CONDITION

SOIL EVALUATION TEST PIT DATA			
	SURFACE EL.	SHWT / EL.	LEDGE / EL.
TH-1	365.50	367/362.50	NE
TH-2	377.33	367/374.33	108'/368.33
TH-3	374.66	367/371.66	NE
TH-4	369.75	367/366.75	NE
TH-5	377.00	307/374.50	NE
TH-6	384.66	367/381.66	90'/377.16

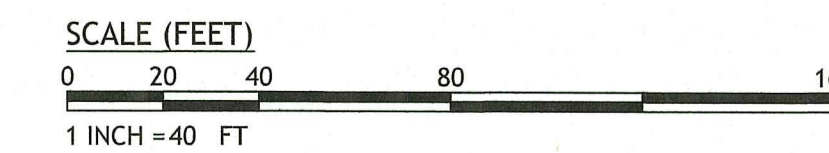
NOTE: TEST PITS TH-1 THROUGH TH-6 WERE OBSERVED AND DOCUMENTED BY DANIEL R. DECASARIS, LICENSE NO. 10162, IN AUGUST 2020. SOIL EVALUATION LOGS ARE AVAILABLE TO THE CONTRACTOR UPON REQUEST. NE = NOT ENCOUNTERED.

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: MAY 18 2023 FILE # 23-0016  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED FOR CONSTRUCTION SITE**



**LEGEND:**

—	SUBJECT PROPERTY LINE
- - -	ABUTTER PROPERTY LINE
- - -	WETLAND EDGE
WF	WETLAND FLAG
—	50' PERIMETER WETLAND
100	EXISTING CONTOUR
TH	EXISTING TEST HOLE



**JOE CASALI ENGINEERING, INC.**  
JOE CASALI ENGINEERING, INC.  
CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
300 POST ROAD, WARWICK, RI 02888  
(401) 944-1300 401/944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI  
No. 7250  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
05/10/2023

**DELFINO RESIDENCE  
PEPPER MILL LANE  
CRANSTON, RHODE ISLAND  
AP 35, LOT 13**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	5/10/2023	RIDEM RTC

DESIGNED BY: WMLJR  
DRAWN BY: SEP/SD  
CHECKED BY: JAC  
DATE: FEB. 2023  
PROJECT NO: 20-24

PRELIMINARY, NOT FOR CONSTRUCTION

**EXISTING CONDITIONS PLAN**

**SHEET 1 OF 3**

Q:\2024 David Delfino\ACID\Pepper Mill Lane [Permit Set] - RI.dwg May, 10, 2023 12:08pm

**LEGEND:**

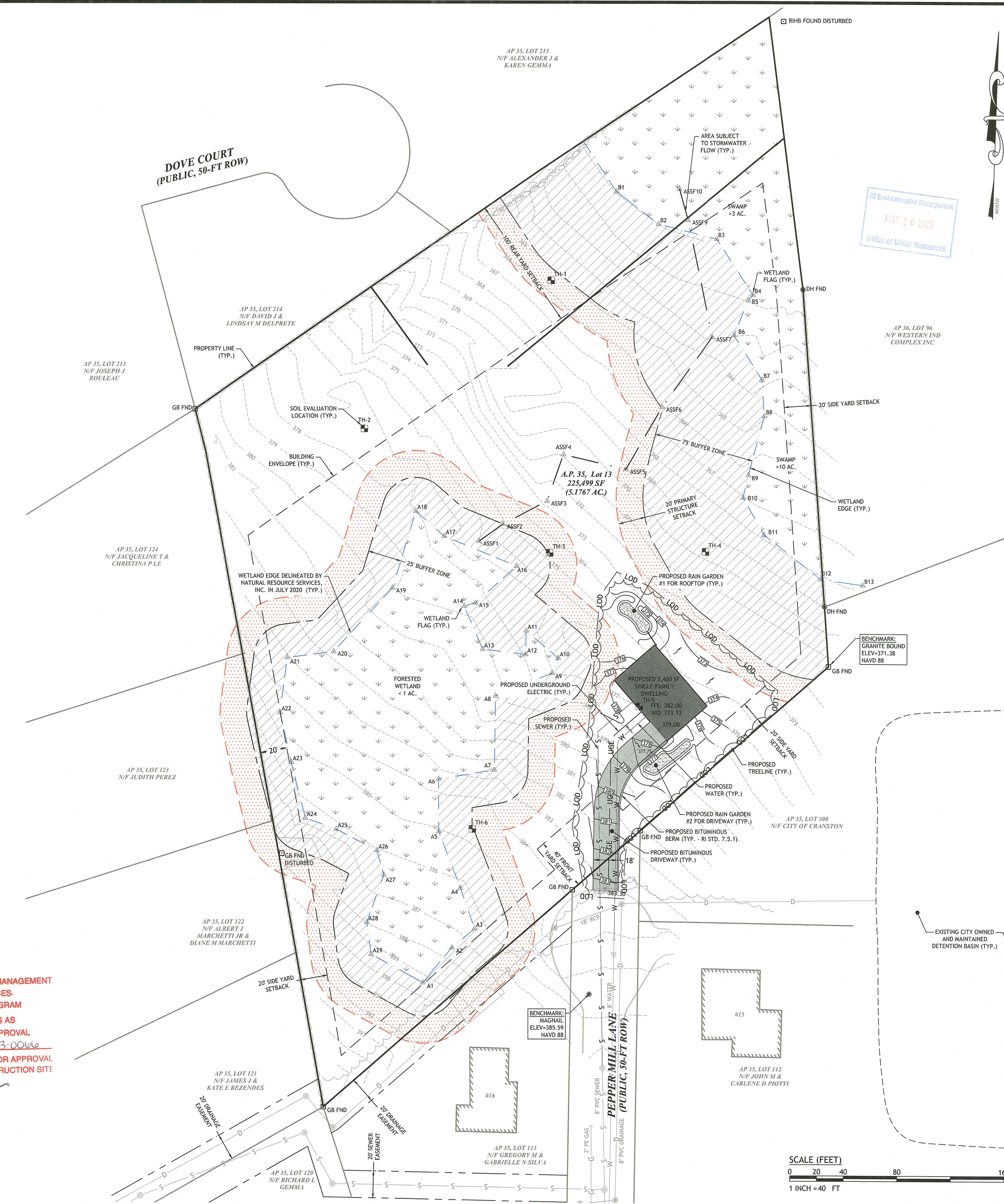
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- △ WF WETLAND FLAG
- 50' PERIMETER WETLAND
- 100' EXISTING CONTOUR
- 100' PROPOSED CONTOUR
- EXISTING FENCE
- EXISTING CURB
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- ⊙ EXISTING DRAINAGE MANHOLE
- ⊙ PROPOSED DRAINAGE MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊙ PROPOSED CATCH BASIN
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- ⊙ EXISTING SEWER MANHOLE
- ⊙ PROPOSED SEWER MANHOLE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- WG ○ EXISTING WATER GATE
- WG ○ PROPOSED WATER GATE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- TH □ EXISTING TEST HOLE
- TH □ PROPOSED TEST HOLE
- EXISTING HYDRANT

**A-80 ZONE DIMENSIONAL REGULATIONS**

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	A-80	A-80	A-80
MINIMUM LOT AREA	80,000 SF	225,499 SF	225,499 SF
MINIMUM LOT WIDTH & FRONTAGE	200 FT	67.27 FT*	67.27 FT*
MINIMUM FRONT YARD SETBACK	40 FT	NA	>40 FT
MINIMUM REAR YARD SETBACK	100 FT	NA	>100 FT
MINIMUM SIDE YARD SETBACK	20 FT	NA	>20 FT
MAXIMUM BUILDING COVERAGE	10%	0%	<10%
MAXIMUM STRUCTURE HEIGHT	35 FT	NA	<35 FT

NOTES:  
1. PRE-EXISTING, NON-CONFORMING CONDITION

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**  
**OFFICE OF WATER RESOURCES.**  
**FRESHWATER WETLANDS PROGRAM**  
**APPROVED WITH CONDITIONS AS**  
**SPECIFIED IN THE LETTER OF APPROVAL**  
**DATED: MAY 18 2023 FILE #: 23-00166**  
**NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL**  
**APPROVED PLANS MUST BE AT CONSTRUCTION SITE**  
*Nancy L. Freeman*



RI Environmental Management  
 MAY 18 2023  
 Office of Water Resources

**JOE CASALI ENGINEERING, INC.**  
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION  
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN  
 401.944.1300 401.944.1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI  
 No. 7250  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 05/10/2023

**DELFINO RESIDENCE**  
**PEPPER MILL LANE**  
**CRANSTON, RHODE ISLAND**  
**AP 35, LOT 13**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	5/10/2023	RIDEM RTC

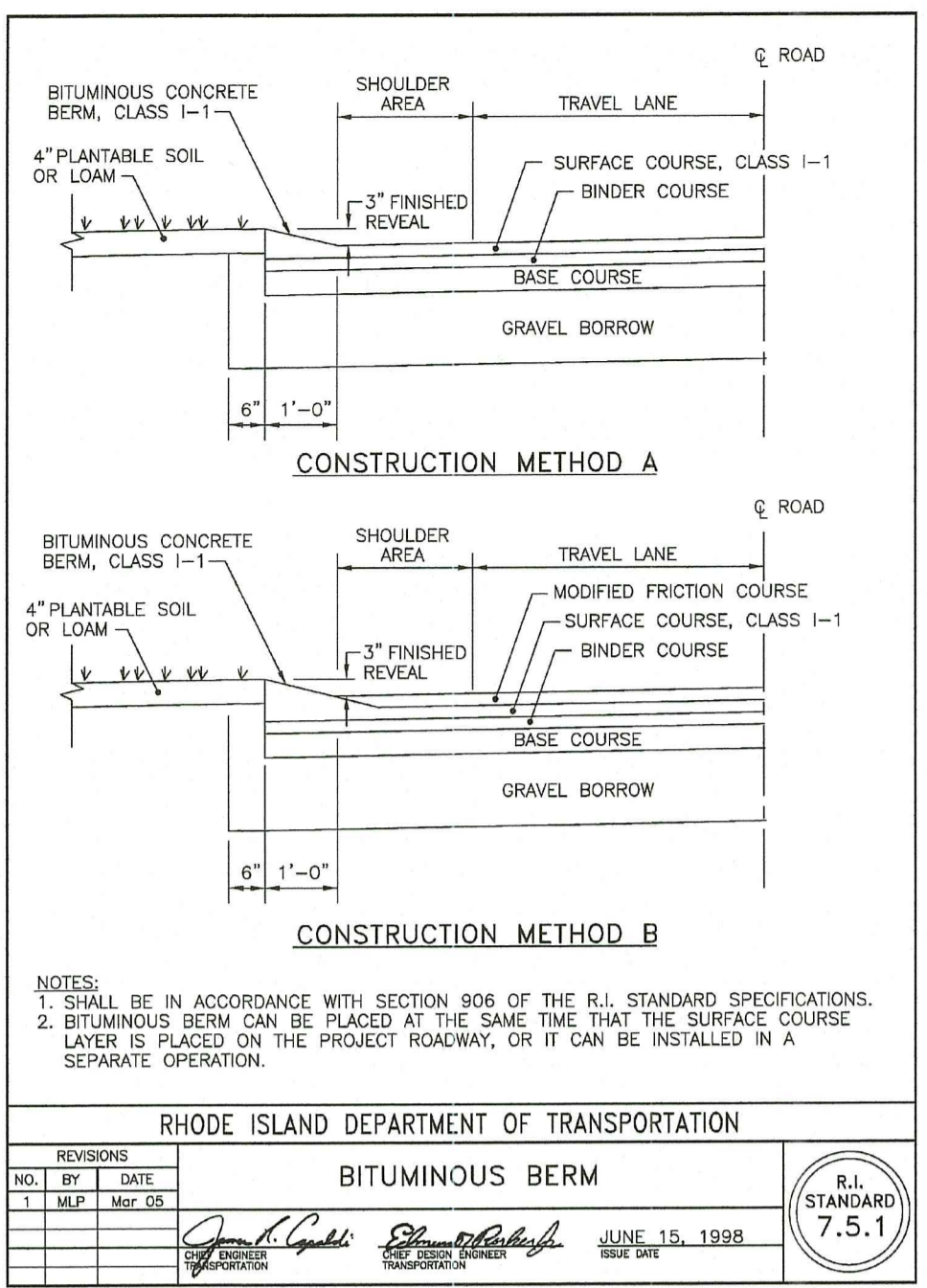
**DESIGNED BY:** WMLJR  
**DRAWN BY:** SEPSD  
**CHECKED BY:** JAC  
**DATE:** FEB. 2023  
**PROJECT NO.:** 20-24

PRELIMINARY, NOT FOR CONSTRUCTION

**SITE, GRADING & DRAINAGE PLAN**

**SHEET 2 OF 3**

05/20/24 David Delfino/ACD/Pepper Mill Lane [Permit Set] - R1.dwg May 10, 2023 12:08pm



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

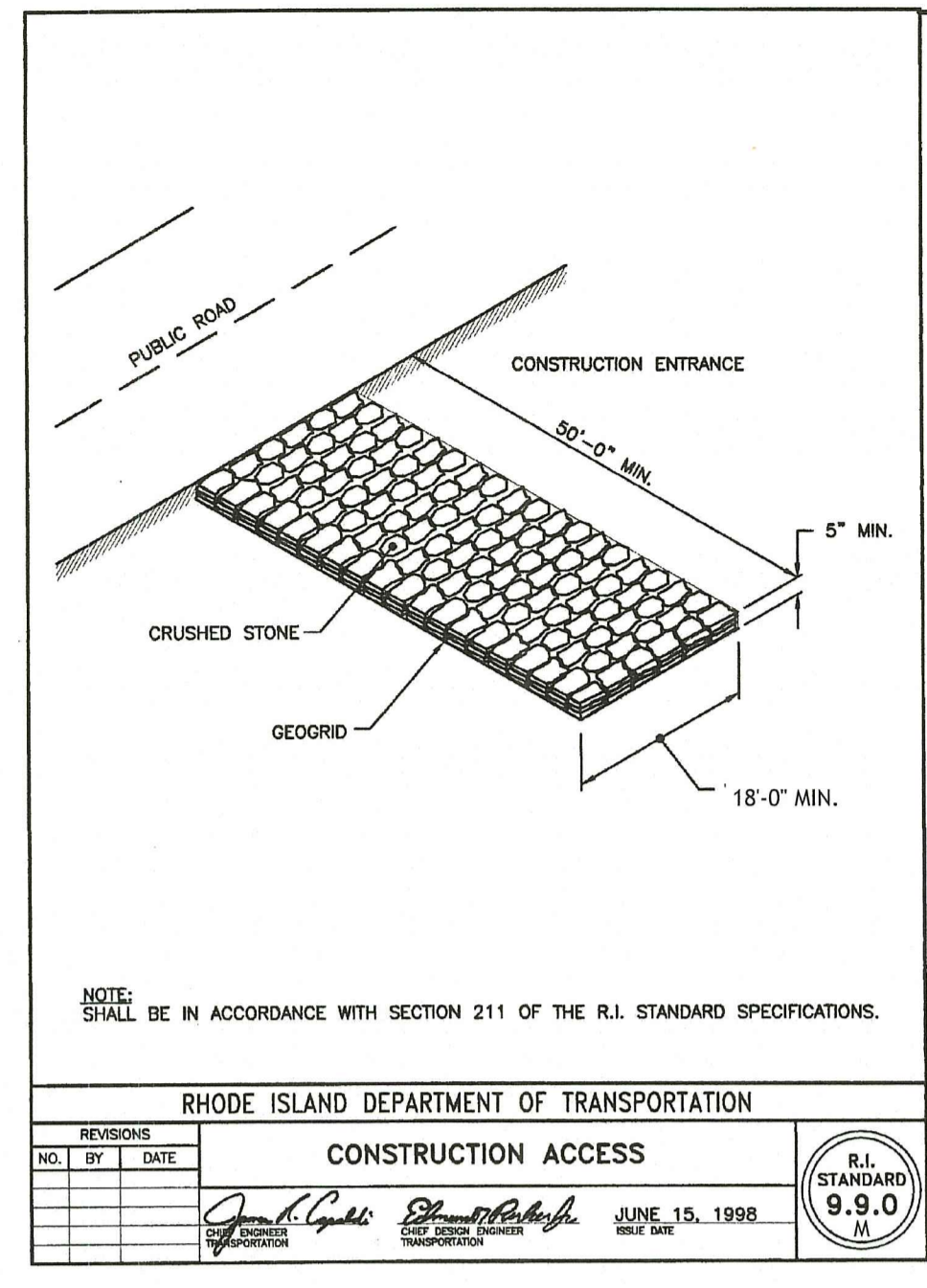
BITUMINOUS BERM

NO.	BY	DATE
1	MEP	03

REVISIONS

DATE: JUNE 15, 1998

R.I. STANDARD 7.5.1



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

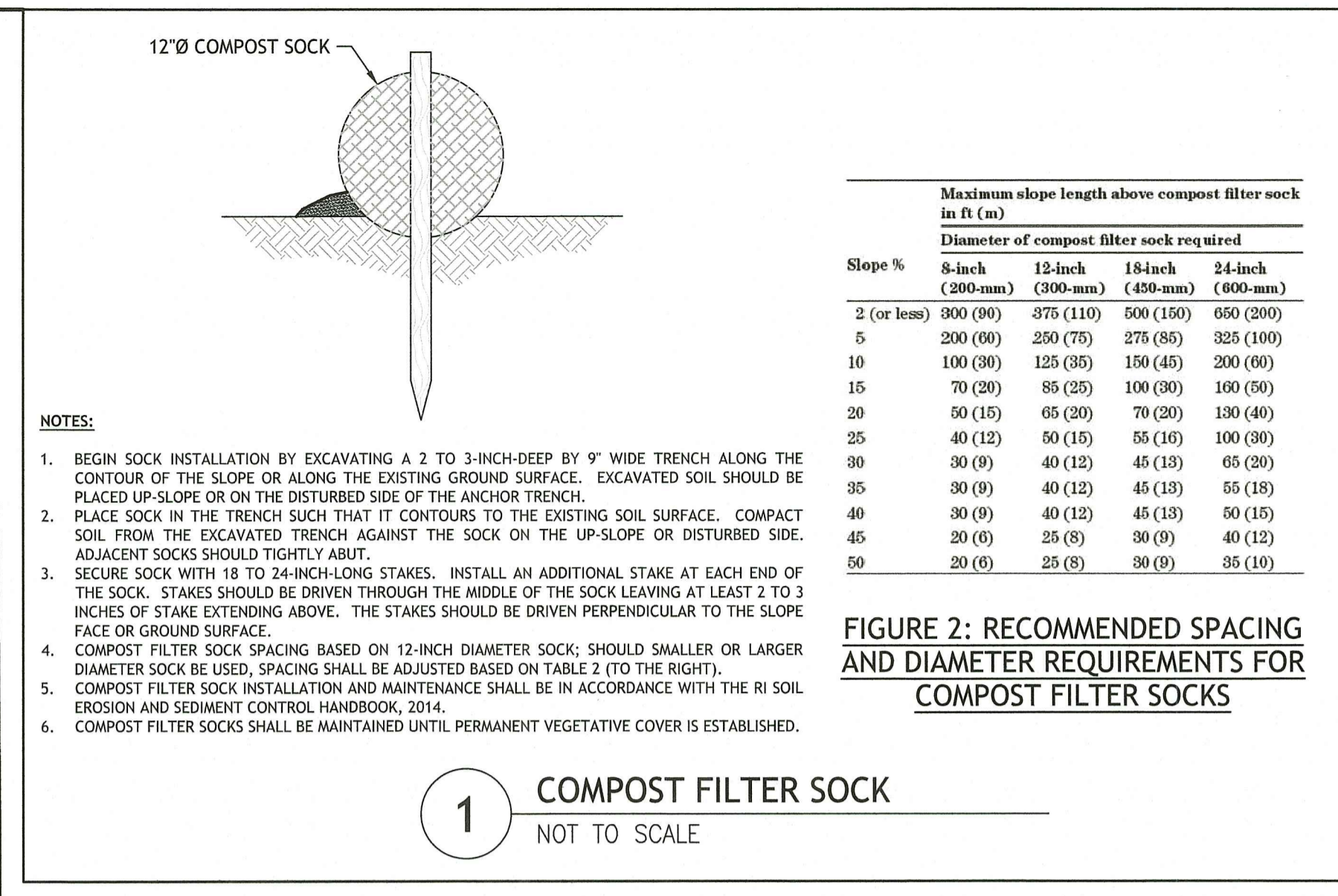
CONSTRUCTION ACCESS

NO.	BY	DATE
1	MEP	03

REVISIONS

DATE: JUNE 15, 1998

R.I. STANDARD 9.9.0



1 COMPOST FILTER SOCK NOT TO SCALE

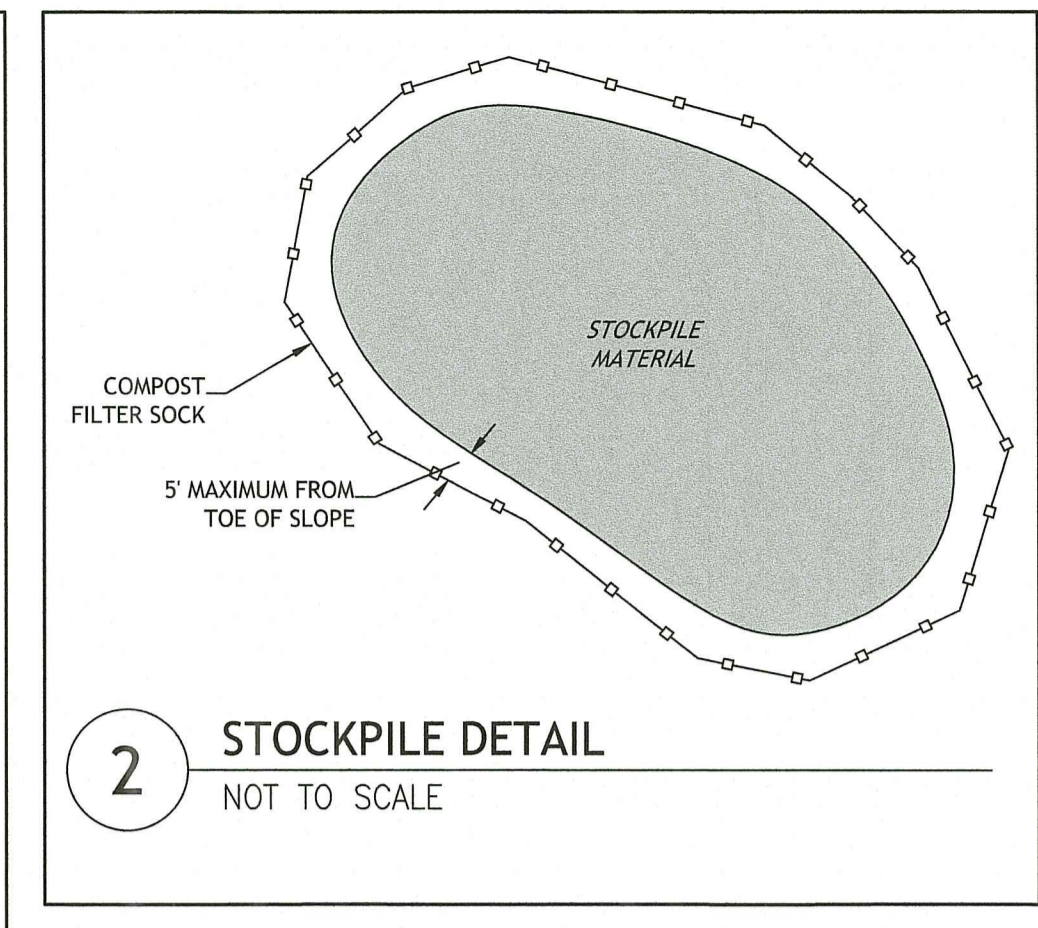
NOTES:

- BEGIN SOCK INSTALLATION BY EXCAVATING A 2 TO 3-INCH-DEEP BY 9\"/>
- PLACE SOCK IN THE TRENCH SUCH THAT IT CONTOURS TO THE EXISTING SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UP-SLOPE OR DISTURBED SIDE. ADJACENT SOCKS SHOULD TIGHTLY ADJUT.
- SECURE SOCK WITH 18 TO 24-INCH-LONG STAKES. INSTALL AN ADDITIONAL STAKE AT EACH END OF THE SOCK. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2 TO 3 INCHES OF STAKE EXTENDING ABOVE. THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE OR GROUND SURFACE.
- COMPOST FILTER SOCK SPACING BASED ON 12-INCH DIAMETER SOCK; SHOULD SMALLER OR LARGER DIAMETER SOCK BE USED, SPACING SHALL BE ADJUSTED BASED ON TABLE 2 (TO THE RIGHT).
- COMPOST FILTER SOCK INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2014.
- COMPOST FILTER SOCKS SHALL BE MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

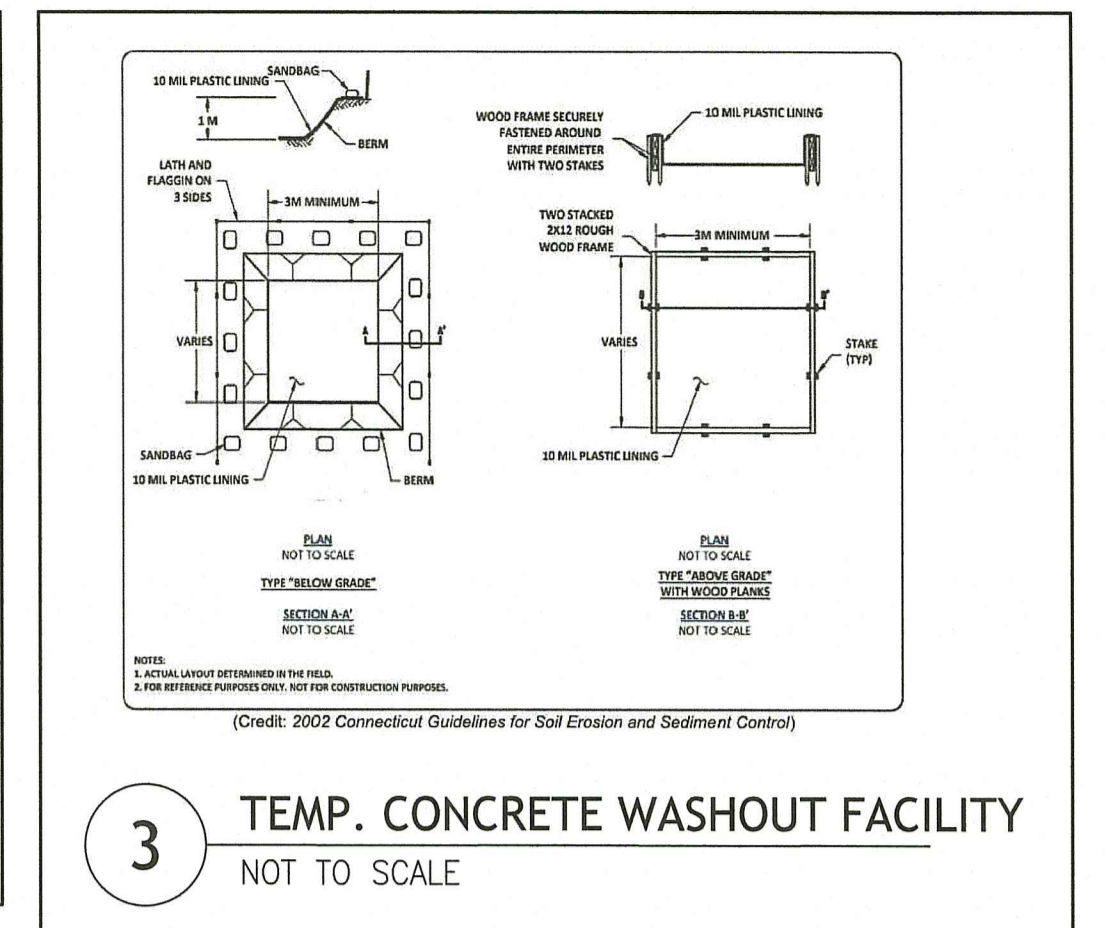
Maximum slope length above compost filter sock in ft (m)

Slope %	8-inch (200-mm)	12-inch (300-mm)	18-inch (450-mm)	24-inch (600-mm)
2 (or less)	300 (90)	275 (110)	300 (150)	650 (200)
5	200 (60)	250 (75)	275 (85)	325 (100)
10	100 (30)	125 (35)	150 (45)	200 (60)
15	70 (20)	85 (25)	100 (30)	100 (30)
20	50 (15)	65 (20)	70 (20)	130 (40)
25	40 (12)	50 (15)	55 (16)	100 (30)
30	30 (9)	40 (12)	45 (13)	65 (20)
35	30 (9)	40 (12)	45 (13)	55 (15)
40	30 (9)	40 (12)	45 (13)	50 (15)
45	20 (6)	25 (8)	30 (9)	40 (12)
50	20 (6)	25 (8)	30 (9)	35 (10)

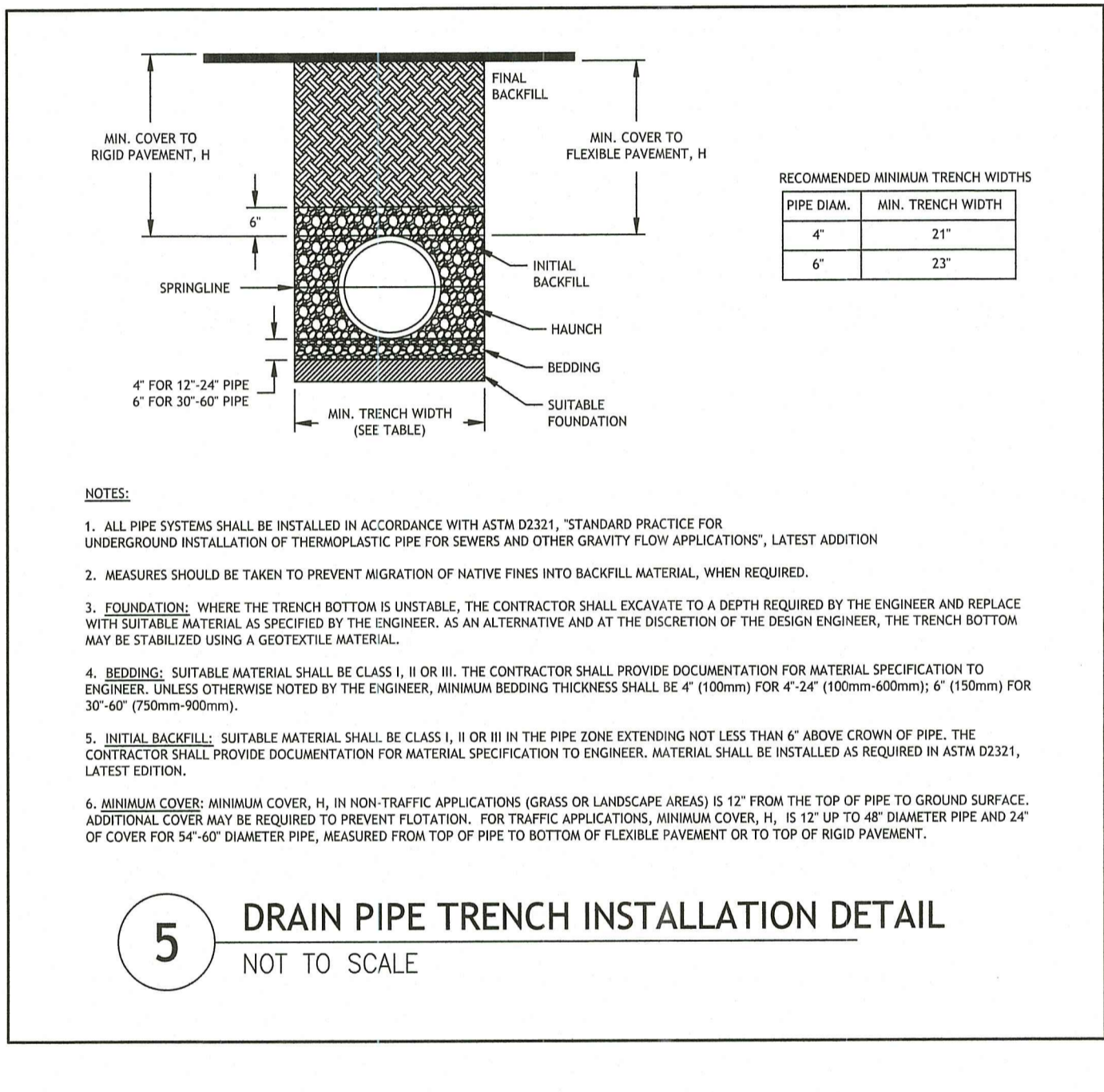
FIGURE 2: RECOMMENDED SPACING AND DIAMETER REQUIREMENTS FOR COMPOST FILTER SOCKS



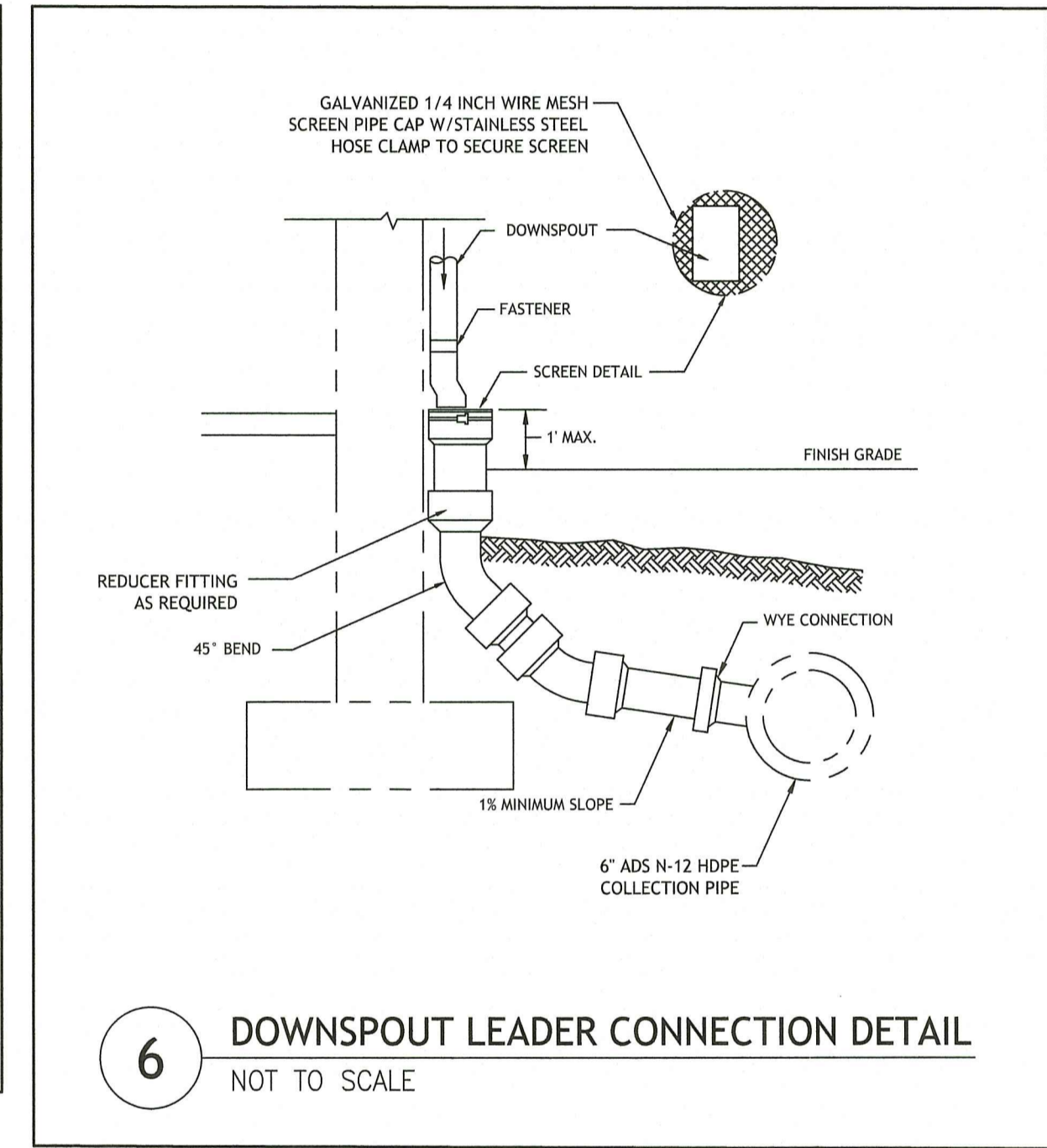
2 STOCKPILE DETAIL NOT TO SCALE



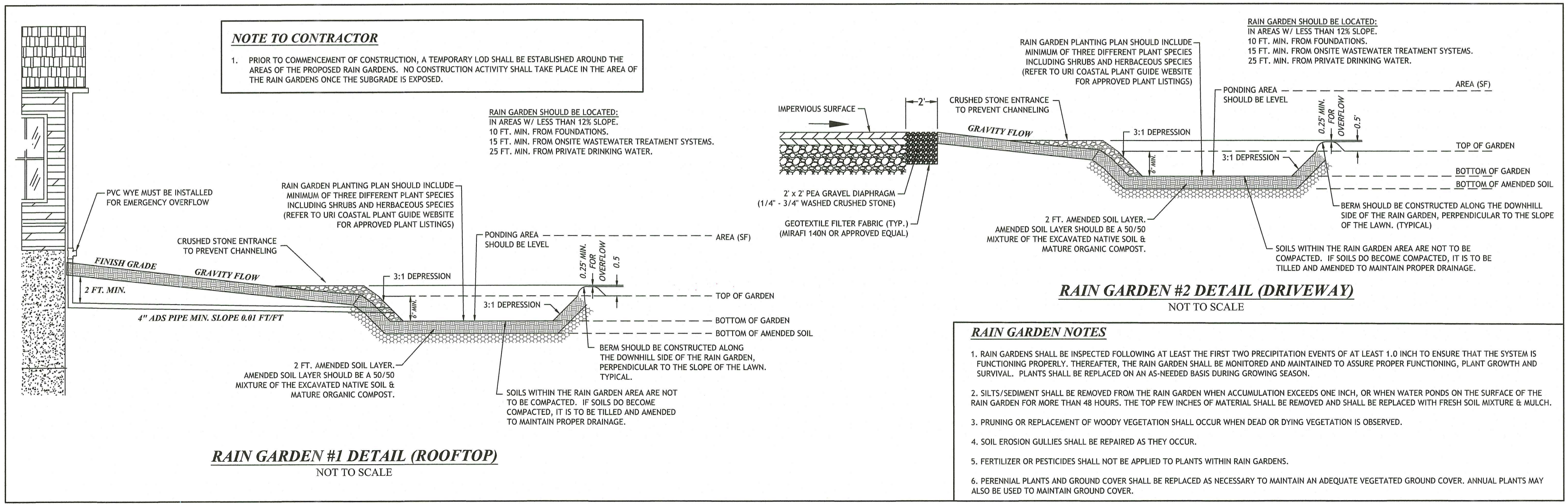
3 TEMP. CONCRETE WASHOUT FACILITY NOT TO SCALE



5 DRAIN PIPE TRENCH INSTALLATION DETAIL NOT TO SCALE



6 DOWNSPOUT LEADER CONNECTION DETAIL NOT TO SCALE



**NOTE TO CONTRACTOR**

- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A TEMPORARY LOD SHALL BE ESTABLISHED AROUND THE AREAS OF THE PROPOSED RAIN GARDENS. NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE IN THE AREA OF THE RAIN GARDENS ONCE THE SUBGRADE IS EXPOSED.

**RAIN GARDEN #1 DETAIL (ROOFTOP) NOT TO SCALE**

**RAIN GARDEN #2 DETAIL (DRIVEWAY) NOT TO SCALE**

**RAIN GARDEN NOTES**

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING GROWING SEASON.
- SILTS/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH SOIL MIXTURE & MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED AS THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GROUND COVER SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

**RAIN GARDEN CRITICAL ELEVATIONS**

RAIN GARDEN ID	1	2
EXIST. GROUND ELEVATION	374.0	377.0
TOP OF GARDEN (BERM)	375.0	377.0
BOTTOM OF GARDEN	374.5	376.5
BOTTOM OF AMENDED SOIL	372.5	374.5
SHGWT ELEV.	371.5	374.5
SEPARATION TO SHGWT	3.0'	2.0'
LEDGE ELEV.	NE	NE
SEPARATION TO LEDGE	N/A	N/A
TEST HOLE REFERENCE	TH-5	TH-5

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATED: MAY 18 2023 FILE #: 23-0016

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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

**JOE CASALI ENGINEERING, INC.**  
Civil, Sanitary, Stormwater, Traffic, Floodplain, Drainage, Wetlands, ISDS, Traffic, Warwick, RI 02888  
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI  
No. 7250  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
05/10/2023

**DELFINO RESIDENCE  
PEPPER MILL LANE  
CRANSTON, RHODE ISLAND  
AP 35, LOT 13**

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/10/2023	RIDEM RTC

DESIGNED BY: WMLJR  
DRAWN BY: SEP/SD  
CHECKED BY: JAC  
DATE: FEB 2023  
PROJECT NO: 20-24

PRELIMINARY, NOT FOR CONSTRUCTION

**SITE DETAILS**

**SHEET 3 OF 3**