

LOCATION MAP

ZONING CHART (BASED ON RB)

LOT AREA	REQUIRED	PROVIDED
60,000 SF	16,731 SF	146,571 SF
FRONTAGE	8.0%	7.93%
LOT BLDG COVERAGE	16.0%	7.93%
LOT COVERAGE	16.0%	7.93%
MAXIMUM HEIGHT	22 FT	31.67 FT
- MAIN BUILDING	22 FT	31.67 FT
- ACCESSORY BUILDING	25 FT	NA
BUILDING SETBACK	25 FT	NA
- FRONT SETBACK	50 FT	50.9 FT
- SIDE SETBACK	25 FT	25.3 FT
- REAR SETBACK	50 FT	71.8 FT
AVERAGE EXISTING GRADE	93.75	
TOP OF SILL ELEV.	94.75	
TOP OF SILL TO ROOF PEAK	30.67	
ROOF PEAK ELEV.	125.42	
BUILDING HEIGHT, 125.42 - 93.75 =	31.67	

- NOTES:**
- PROPERTY LINES AND TOPOGRAPHIC MAPPING INFORMATION FROM PLANS ENTITLED, "COMPREHENSIVE BOUNDARY & TOPOGRAPHY SURVEY", PREPARED BY CHERENZIA & ASSOCIATES, LTD., DATED JANUARY 21, 2023.
 - THE SITE LIES WITHIN UNSCREENED ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA FLOOD INSURANCE RATE MAP PANEL 44009C0366J, EFFECTIVE OCTOBER 16, 2013.
 - WETLAND DELINEATION CONDUCTED BY AWINIS ENVIRONMENTAL SERVICES, INC. ON JULY 28, 2022.

- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL ADHERE TO ALL OSHA REQUIREMENTS FOR UTILITY TRENCH EXCAVATIONS (I.E. SHORING FOR DEEP TRENCHES)

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	4/12/23	TOWN COMMENTS	AKG	SFC
2	5/25/23	RIDEM COMMENTS	AKG	SFC

SCALE: 1"=10'
 CA JOB # 222033
 APRIL 6, 2023

DRAWN BY: AKG
 CHECK BY: SFC

ISSUED FOR RIDEM PERMITTING

SITE PLAN

MINADEO RESIDENCE
 HIGH VIEW LANE
 MAP 8 LOT 252
 NEW SHOREHAM, RHODE ISLAND

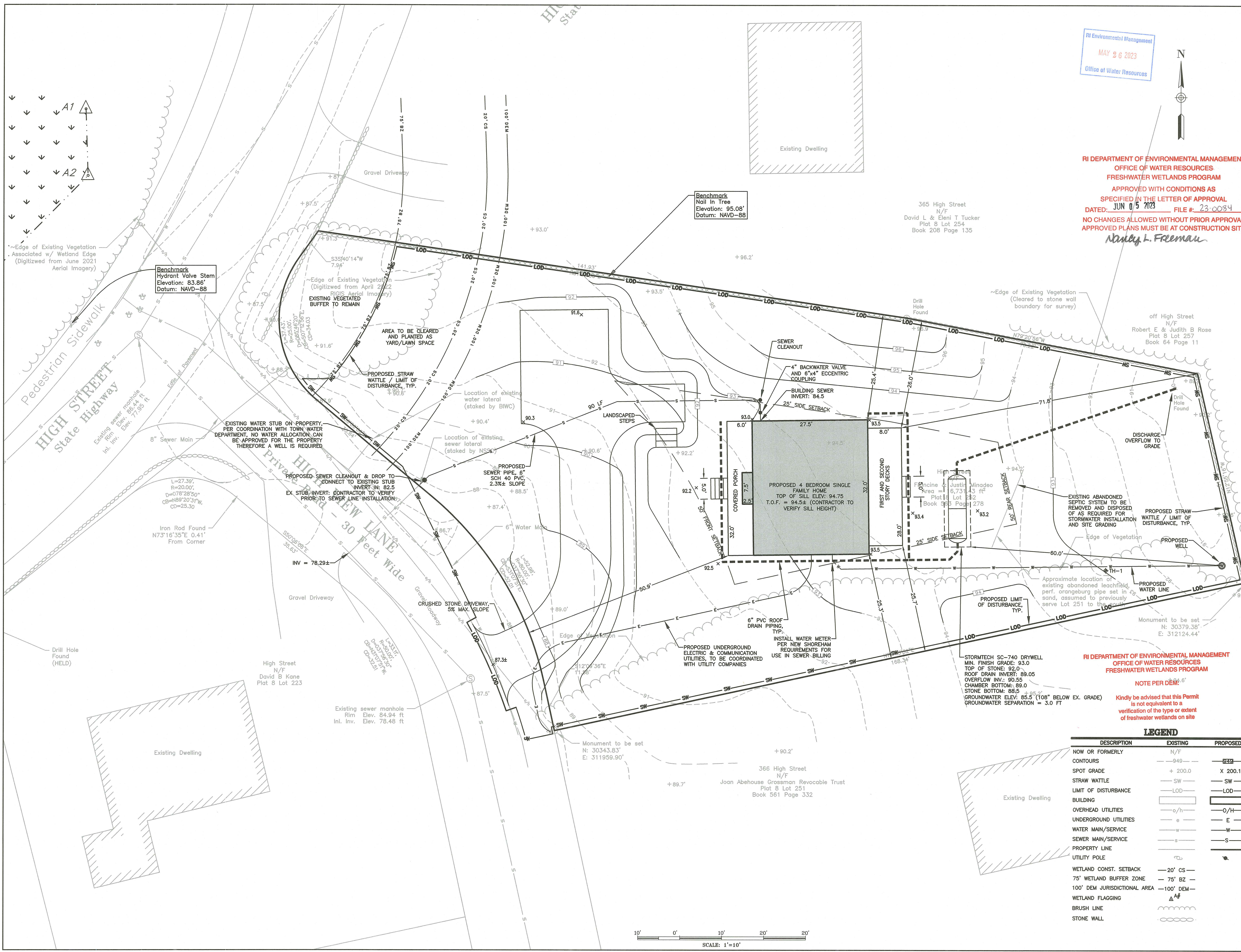
PREPARED FOR
JUSTIN & FRANCINE MINADEO



C-1

SHEET 1 OF 2

CHERENZIA & ASSOCIATES, LTD.



LEGEND

DESCRIPTION	EXISTING	PROPOSED
NOW OR FORMERLY	N/F	—
CONTOURS	— 949 —	— 924 —
SPOT GRADE	+ 200.0	X 200.1
STRAW WATTLE	— SW —	— SW —
LIMIT OF DISTURBANCE	— LOD —	— LOD —
BUILDING	[Symbol]	[Symbol]
OVERHEAD UTILITIES	— o/h —	— O/H —
UNDERGROUND UTILITIES	— e —	— E —
WATER MAIN/SERVICE	— w —	— W —
SEWER MAIN/SERVICE	— s —	— S —
PROPERTY LINE	— P —	— P —
UTILITY POLE	— U —	— U —
WETLAND CONST. SETBACK	— 20' CS —	— 20' CS —
75' WETLAND BUFFER ZONE	— 75' BZ —	— 75' BZ —
100' DEM JURISDICTIONAL AREA	— 100' DEM —	— 100' DEM —
WETLAND FLAGGING	— A# —	— A# —
BRUSH LINE	— B —	— B —
STONE WALL	— S —	— S —

SCALE: 1"=10'

SOIL EROSION & SEDIMENT CONTROL NOTES:

- UNNECESSARY CLEARING OF ANY VEGETATION OR GROUND COVER SHALL BE AVOIDED. ANY DISTURBED AREA LEFT UN-VEGETATED FOR MORE THAN FIVE DAYS SHALL BE COVERED WITH A HAY OR STRAW MULCH TO MINIMIZE EROSION.
- FOLLOWING FINAL GRADING, ALL DISTURBED AREAS SHALL BE COVERED WITH 4" LOAM AND SEEDS AS DESCRIBED BELOW. IF ANY SEEDS ARE DISTURBED OR DAMAGED, RE-SEEDING WILL OCCUR AS SOON AS POSSIBLE.

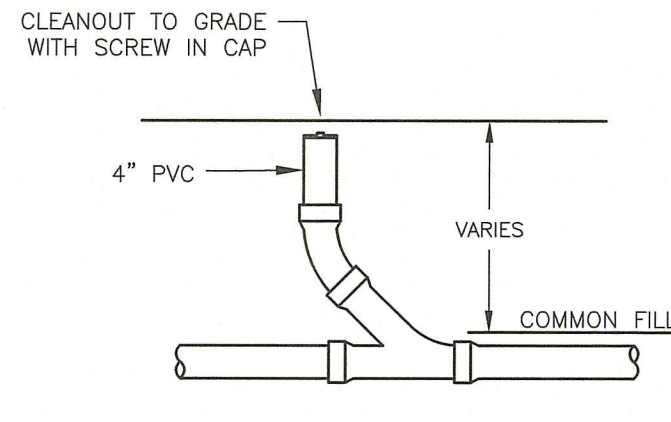
SEED MIXTURE, % BY WT:
 RED FESCUE - 75%
 COLONIAL BENTGRASS-EXETER - 5%
 PERENNIAL RYEGRASS - 5%
 BIRDSFOOT TREFOIL-EMPIRE - 15%

APPLY SEED MIXTURE AT A RATE OF 100 LBS. PER ACRE. IF FINAL GRADING OCCURS AFTER OCTOBER 15, DISTURBED AREAS WILL BE SEEDING WITH WINTER RYE-GRASS AND MULCHED WITH HAY OR STRAW AT A RATE OF 1.5-2 TONS PER ACRE. ANY PROPOSED VEGETATION WHICH HAS NOT SURVIVED ONE GROWING SEASON WILL BE REPLACED. UNSUITABLE MATERIAL WILL BE REMOVED FROM THE SITE AND DEPOSITED IN A SUITABLE LOCATION.

- TOP SOIL
 - THE TOP SOIL WILL BE STOCKPILED WITH A RING OF STRAW WATTLES PLACED AROUND THE BASE OF THE PILE.
 - STOCK PILES CAN BE PLACED ANYWHERE WITHIN THE LIMIT OF DISTURBANCE.
 - AFTER CONSTRUCTION IS COMPLETED, THE TOP SOIL WILL BE SCREENED.
 - SCREENED TOP SOIL WILL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL DISTURBED AREAS AND SEEDS AS DESCRIBED IN THE SOIL EROSION & SEDIMENT CONTROL NOTES.

STORMWATER DESIGN:

- STORMTECH DRY WELL SIZED BASED ON THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT, TABLE 10 FOR INFILTRATION TRENCHES AND DRY WELLS.
- THE STORMTECH SC-740 DRY WELL WAS SIZED BASED ON ROOF AREA = 1,072 SF. STORMTECH SC-740 CHAMBERS WITH 6" OVERFLOW PROVIDES 24 INCHES OF STORAGE. REQUIRED SURFACE AREA OF 24" DEEP DRY WELL = 103 SF. 2 STORMTECH SC-740 CHAMBERS PROVIDE 114 SF SURFACE AREA.



SEWER CLEANOUT

NTS CA-0-006B

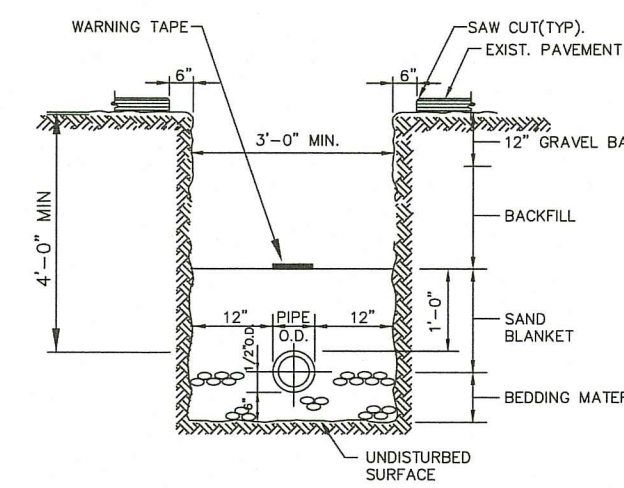
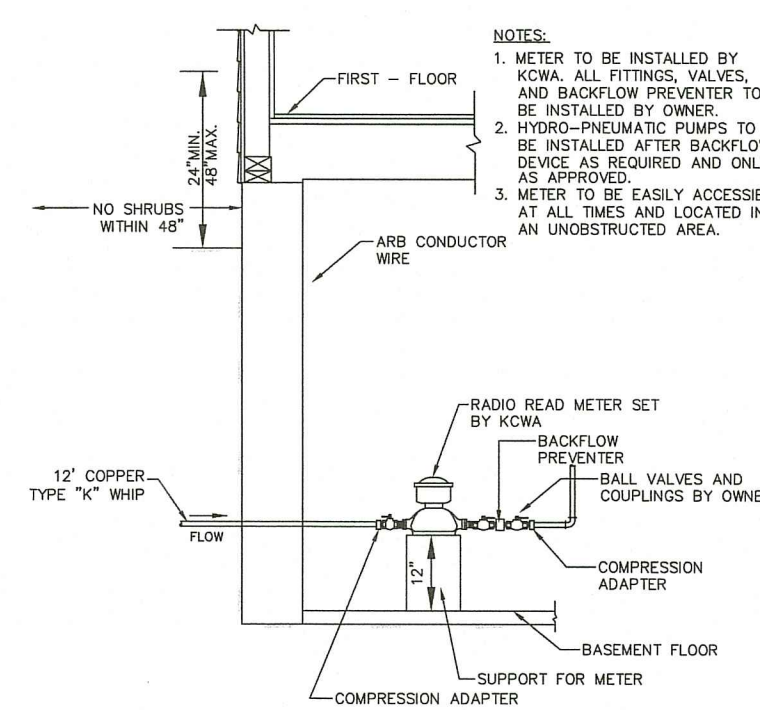


Figure W-10
 WATER SERVICE TRENCH DETAIL
 Standard Water Requirements
 Date: 2019 Scale: No Scale

NEW SHOREHAM WATER TRENCH

NTS



RESIDENTIAL WATER METER INSTALLATION

WATER METER SETTINGS WITH FITTINGS

METER LAYING LENGTH	METER COUPLINGS
1/2" and 3/4" x 3/4"	13"
3/4"	14"
1"	15"
1 1/2"	24"
2"	28"

Figure W-12
 RESIDENTIAL WATER METER
 Standard Water Requirements
 Date: 2019 Scale: No Scale

NEW SHOREHAM WATER METER

NTS

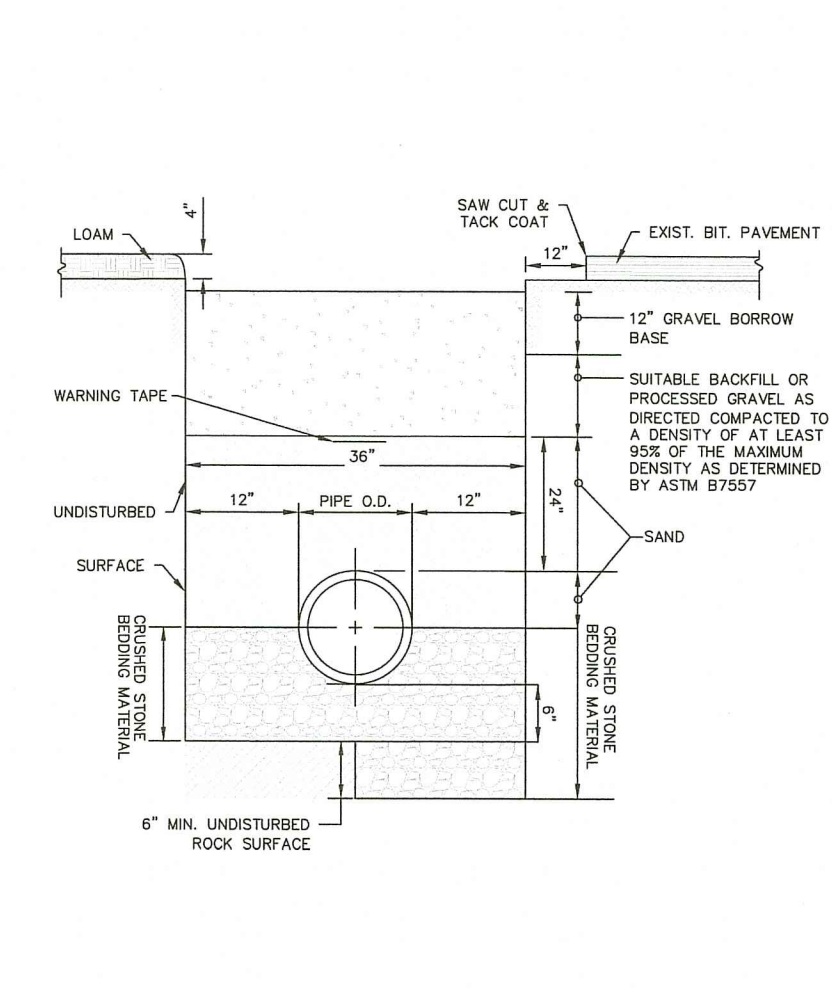


Figure S-1
 TRENCH DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2019 Scale: No Scale

NEW SHOREHAM SEWER TRENCH

NTS

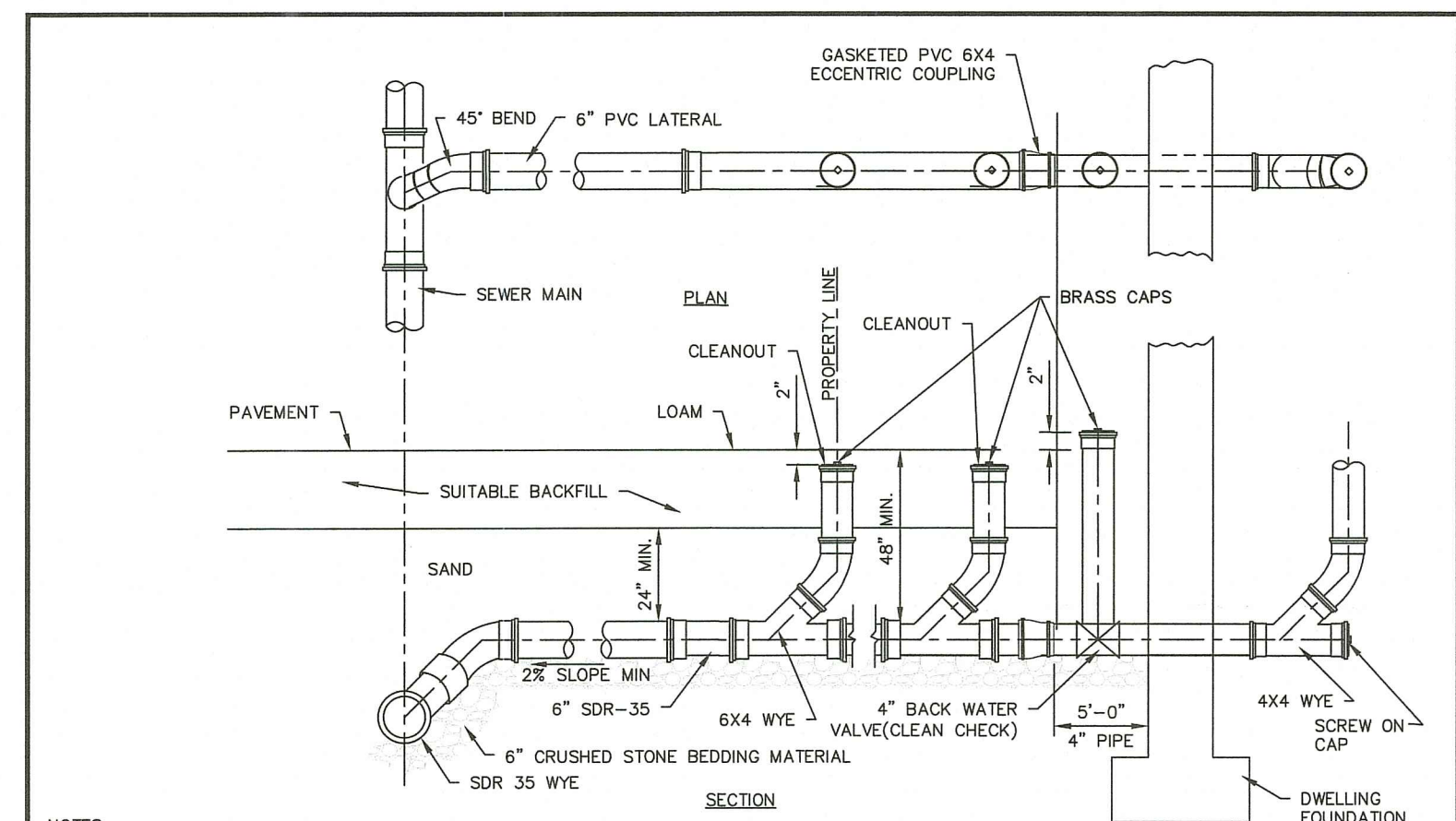
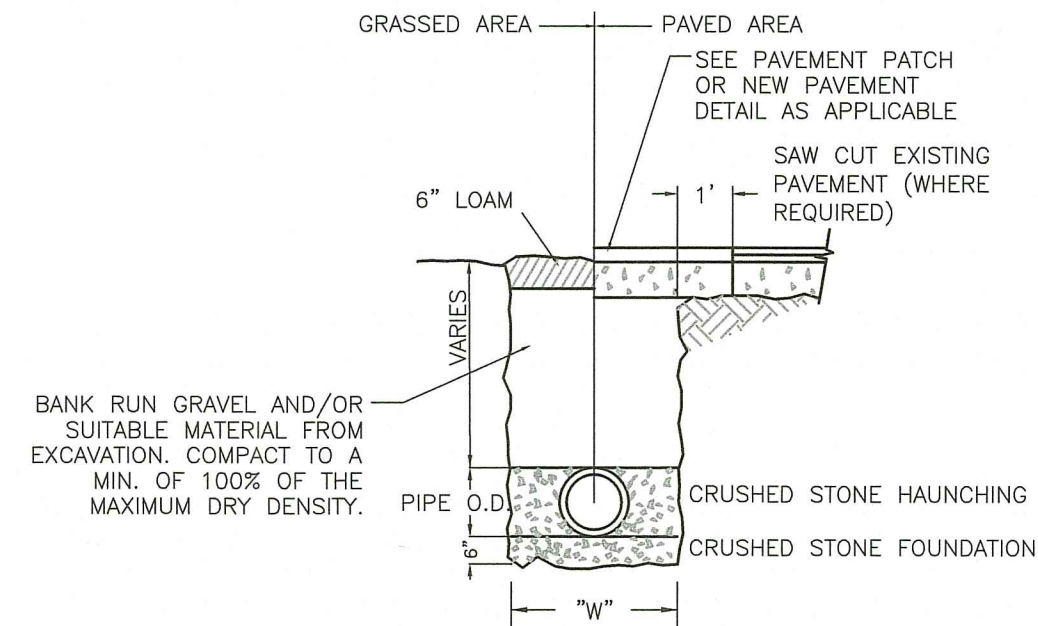


Figure S-14
 STANDARD HOUSE CONNECTION DETAIL
 Standard Sanitary Sewer Requirements
 Date: 2019 Scale: No Scale

NEW SHOREHAM STANDARD HOUSE SEWER CONNECTION

NTS

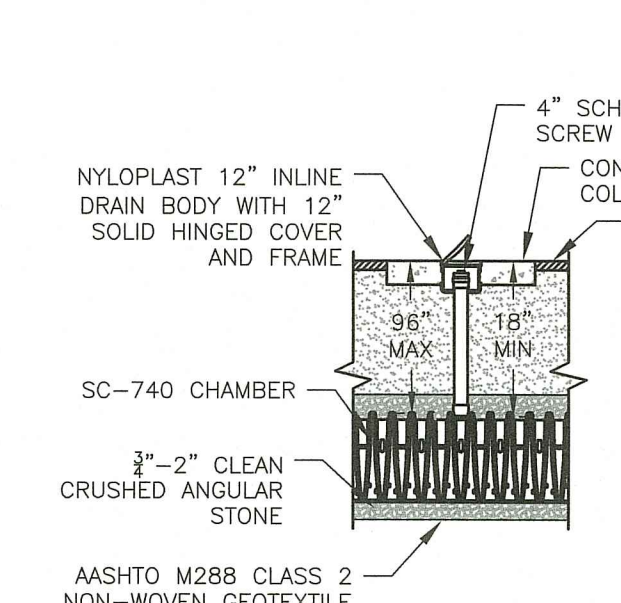


- NOTES:**
- WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 - SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 - CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE GRADE. THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 - CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.

STORM DRAIN TRENCH

NTS

CA-U-015

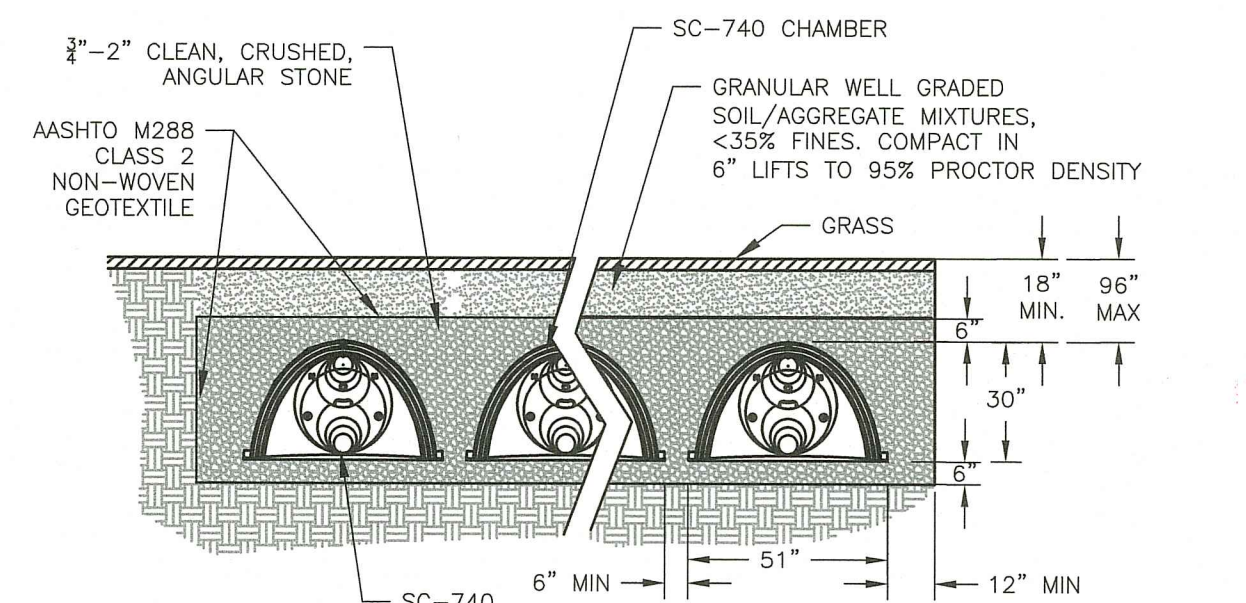


- NOTES:**
- INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

STORMTECH SC-740

NTS

CA-D-038



- NOTES:**
- WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
 - SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
 - CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE GRADE. THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
 - CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPES.

UTILITY TRENCH

NTS

CA-U-004

CHERENZIA & ASSOCIATES, LTD.
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 Land Use Planners
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 P.O. Box 513
 Westerly, RI 02891
 Tel: 401.596.7747
 www.cherenzia.com

RI Environmental Management
 MAY 26 2023
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: JUN 05 2023 FILE #: 23-0084
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Nancy L. Freeman

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 NOTE PER DEM:
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	4/12/23	TOWN COMMENTS	AKG	SFC
2	5/25/23	RIDEM COMMENTS	AKG	SFC

SCALE: NTS
 CA JOB # 222033
 APRIL 6, 2023

DRAWN BY: AKG
 CHECK BY: SFC

ISSUED FOR RIDEM PERMITTING

DETAILS

MINADEO RESIDENCE
 HIGH VIEW LANE
 MAP 8 LOT 252
 NEW SHOREHAM, RHODE ISLAND

PREPARED FOR
JUSTIN & FRANCINE MINADEO

SERGIO F. CHERENZIA
 No. 9238
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

C-2

SHEET 2 OF 2

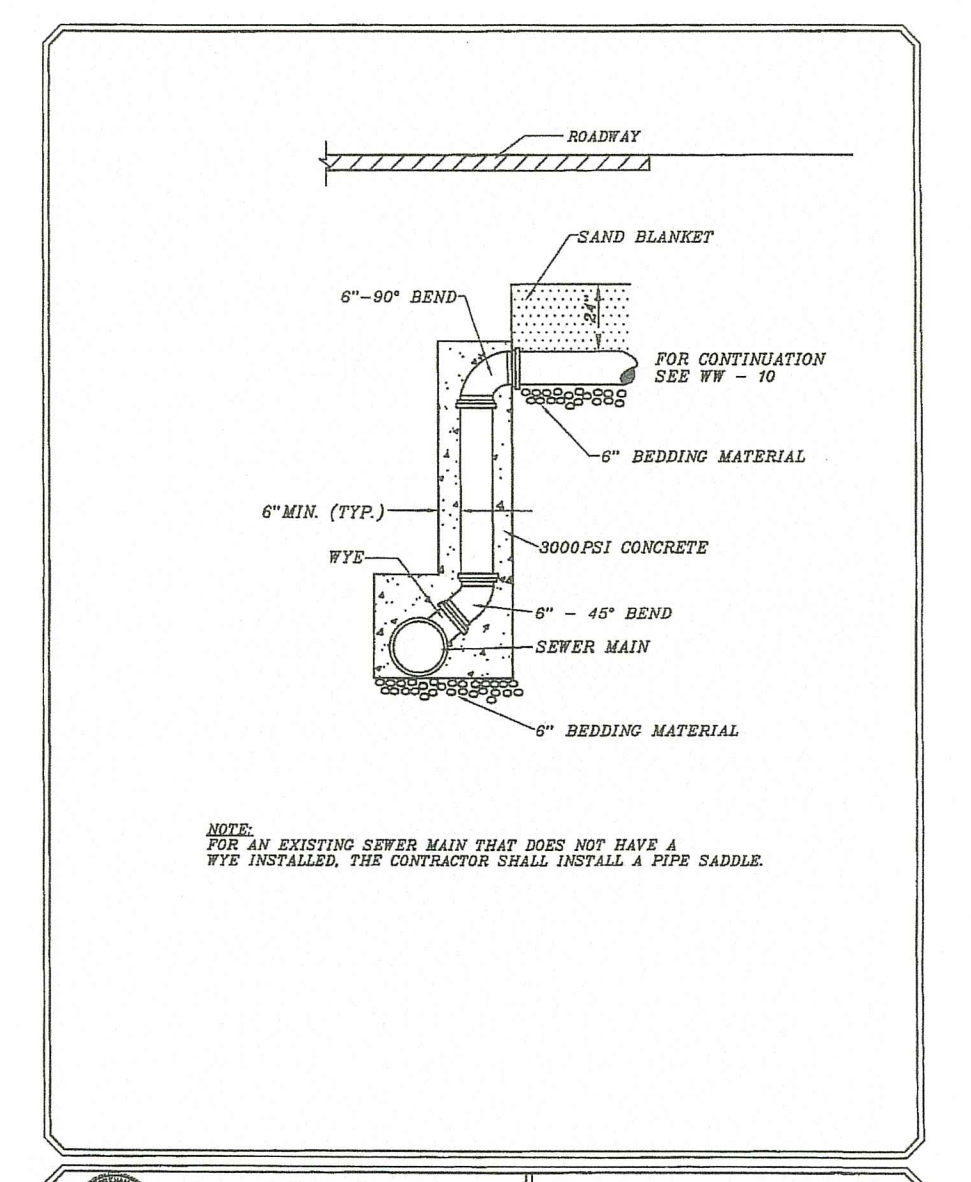
CHERENZIA & ASSOCIATES, LTD.

STORMWATER TEST HOLES
 DATE OF TEST HOLE: MARCH 24, 2023
 SOIL EVALUATOR: KEVIN HOYT

TEST HOLE #1

TEST HOLE ELEV = 92.9
 DEPTH TO GWT (E.G.) = 108"
 GROUNDWATER ELEV = 83.9
 LEDGE ENCOUNTERED: NOT APPLICABLE

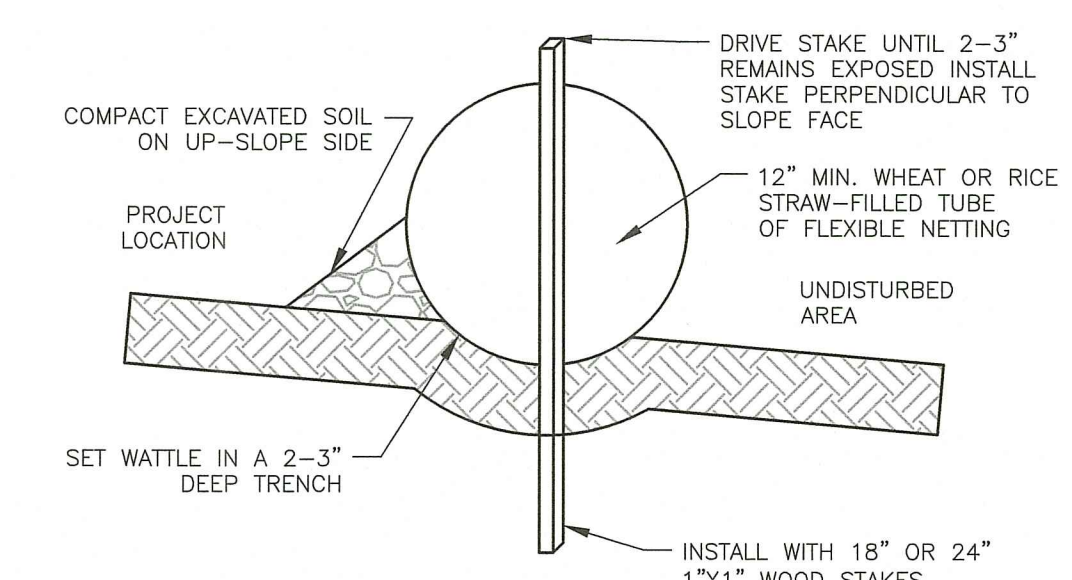
HORIZON	DEPTH	TEXTURE	SOIL CATEGORY
Ap	0-12	SL	3
Bw1	12-20	SL	3
Bw2	20-41	SL	3
C1	41-48	GCOS SIL	5
C2	48-87	GLCOS	6
C3	87-108	GCOSL	7



NEW SHOREHAM SEWER DROP

NTS

SLOPE STEEPNESS	MAXIMUM SPACING (FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

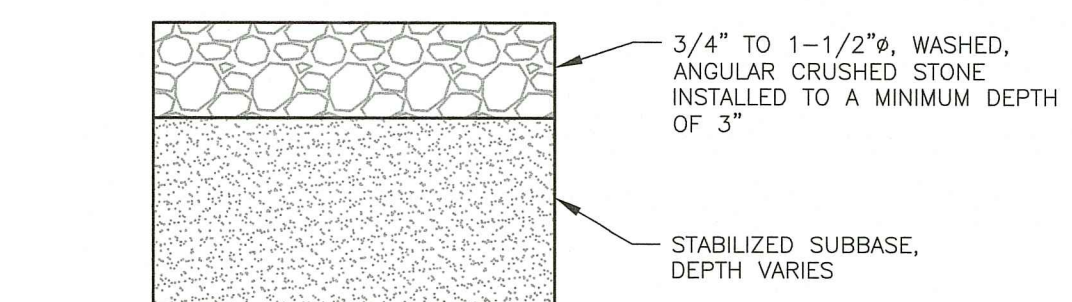


- NOTES:**
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP X 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT THE SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-HILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLES LEAVING AT LEAST SAMPLE LINE 2-3" OF STAKE EXTENDING ABOVE. THE WATTLE STAKES SHALL BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 - MAX. DRAINAGE AREA ≤ 0.25 ACRES/100 LINEAR FEET.

STRAW WATTLE

NTS

CA-EC-002

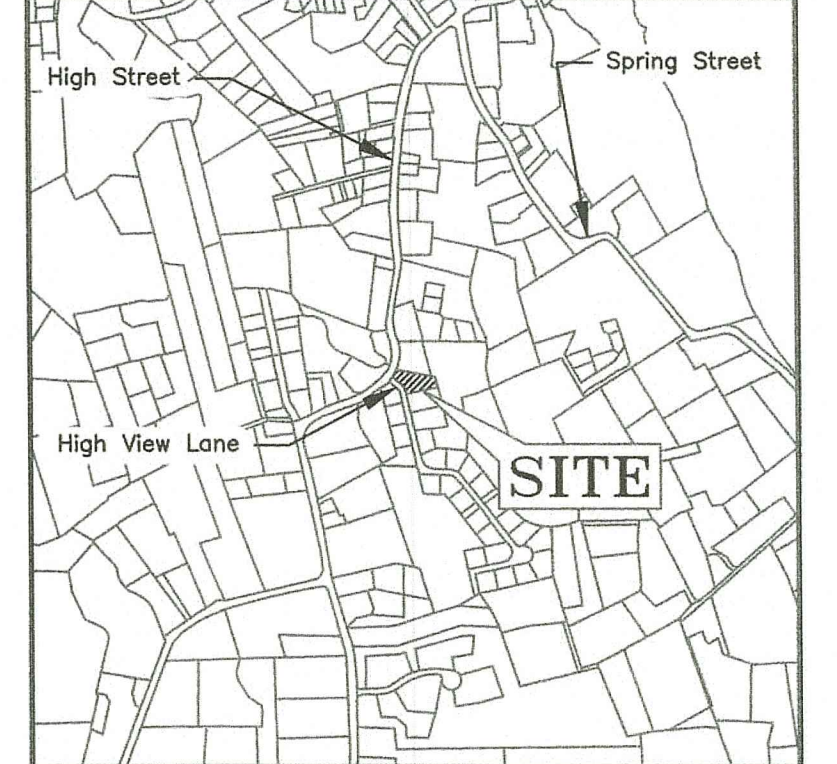


- NOTES:**
- THE GRADE OF THE FINISHED DRIVEWAY SHALL NOT BE HIGHER THAN THE ADJACENT GROUND ELEVATION.
 - CRUSHED STONE SHALL BE REPLACED OR RE-GRADED AS NECESSARY TO MAINTAIN A MINIMUM 3 INCH DEPTH OF STONE AND A LEVEL SURFACE.
 - STRUCTURAL STRENGTH OF THE DRIVE HAS NOT BEEN DESIGNED. STRUCTURAL STRENGTH OF THE DRIVE TO SUPPORT VEHICLES SHALL BE VERIFIED BY OTHERS.

CRUSHED STONE DRIVEWAY

NTS

CA-RD-027



LOCATION MAP

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: JUN 05 2023 FILE #: 23-0084
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PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1"=10'
 CA JOB # 222033
 JANUARY 21, 2022
 DRAWN BY: KPH
 CHECK BY: MAC

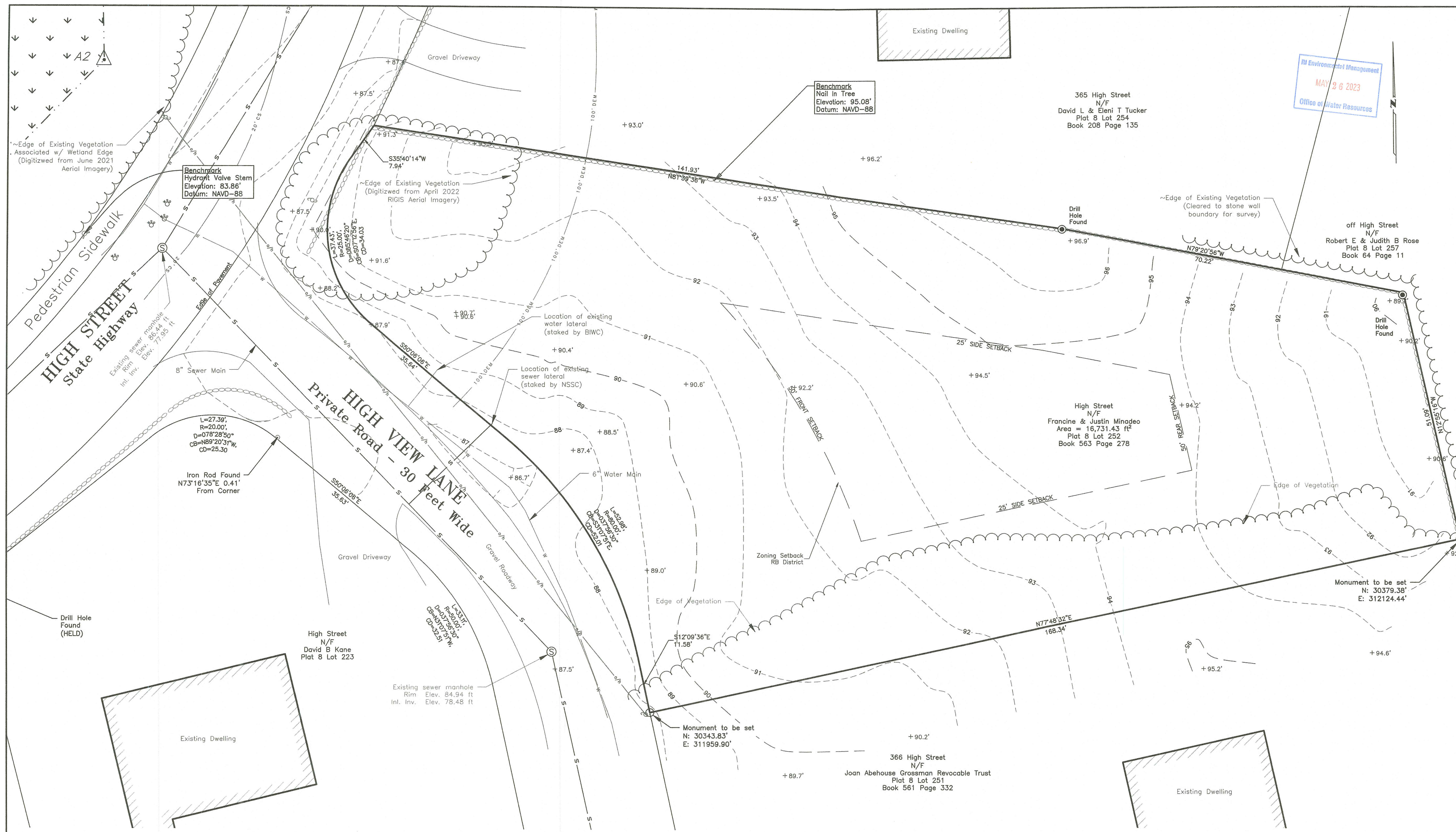
COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

EXISTING CONDITIONS

MINADEO PROPERTY
 HIGH VIEW LANE
 MAP 8 LOT 252
 NEW SHOREHAM, RHODE ISLAND

PREPARED FOR
 JUSTIN & FRANCINE MINADEO

MARK A. CASTELLANOS
 No. 2511
 PROFESSIONAL LAND SURVEYOR
SV-1
 SHEET 1 OF 1



- LEGEND**
- monument to be set
 - N/F now or formerly
 - × 28.4 spot grade
 - TOW top of wall elevation
 - FOW face of wall elevation
 - Δ # wetland flagging
 - ~~~~~ edge of vegetation
 - stone wall
 - extent of easement
 - ~ ~ ~ ~ ~ wetland area
 - major contour - 5' interval
 - minor contour - 1' interval
 - wetland edge
 - existing sewer line
 - overhead wires
 - boundary class I
 - 100' DEM 100' RIDEM jurisdictional area
 - 20' CS 20' RIDEM construction setback

DISTRICT DIMENSIONAL REGULATIONS

ZONING DISTRICT - RB (Residential)	
Min. Lot Area	60,000 S.F.
Min. Lot Frontage	150 Ft.
Max. % Lot Coverage	16%
Max. % Lot Bldg. Coverage	8%*
Max. Prin. Building Height	32 Ft.
Min. Front Yard	50 Ft.
Min. Side Yard	25 Ft.
Min. Rear Yard	50 Ft.

* for lots greater than or equal to 12,500 square feet

HIGH VIEW GLEN SUBDIVISION SURVEY CONTROL (US SURVEY FEET - RISPC)

NORTHING	EASTING	DESCRIPTION	HELD - SEE PLAN REFERENCE
30370.16'	311821.54'	DHP	R2
30169.00'	312172.71'	DHP	R2

- NOTES:**
- Bearings and North Arrow Orientation are referenced to the Rhode Island State Plane Coordinate System of 1983.
 - Elevations shown hereon are referenced to the NAVD-88 vertical datum.
 - Wetlands shown hereon were delineated by Avizinis Environmental Services, Inc. on July 28, 2022.
 - Tie-ins for utility service were set by sewer water district staff and located during field survey conducted on December 5, 2022.
 - Contours - 1' contour intervals shown hereon are based on a field survey conducted on December 5, 2022 and January 21, 2023.
 - Underground utilities have been located using the best available evidence, including surface features, the herein noted plans, information derived from Town of New Shoreham and local utility district records & other sources. Cherenzia does not warrant the accuracy or completeness of these depictions.
 - Parcel may be subject to that certain Private Road Maintenance Agreement by and among Joan A. Grossman and High View Glen, Inc. dated October 3, 2011 and filed in the Land Evidence Records November 16, 2011 in Book 439 at page 80.

- PLAN REFERENCES:**
- HIGH VIEW GLEN New Shoreham, RI Scale: 1"= 60' Date: September 1965 By: Boyer Engineering Co.
 - BOUNDARY/TOPOGRAPHIC SURVEY HIGH VIEW LANE Scale: 1" = 50' Date: January 24, 2022 By: DiPrete Engineering

CERTIFICATION:
 This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the rules and regulation for professional land surveyors, effective November 25, 2015 as follows:
TYPE OF SURVEY: BOUNDARY DATA ACCUMULATION-PLANIMETRICS TOPOGRAPHY
MEASUREMENT SPECIFICATION: CLASS I CLASS III CLASS T-2
 The purpose for the conduct of the survey and the preparation of the plan is to show the existing conditions and boundary of the subject parcel.

STREET INDEX
 Corner of High Street & High View Lane

By: *Mark A. Castellanos*
 PLS Signature
 Mark A. Castellanos PLS #2511
 Printed PLS Name & License No.
 LS.000A133-COA
 COA No.