

Diamond Hill Park New Community Center and Offices

4097 Diamond Hill Road
Cumberland, Rhode Island



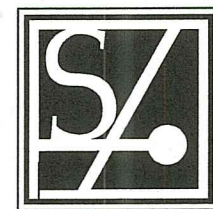
Scale : N.T.S.

CIVIL ENGINEER:



PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
8 BLACKSTONE VALLEY PLACE LINCOLN, RI 02865 401-334-4100
10 LINCOLN ROAD, SUITE 210 FOWBRO, MA 02835 202-543-1755
14 BOBALA ROAD, SUITE 2B HOLYOKE, MA 01940 413-387-3448

ARCHITECT:

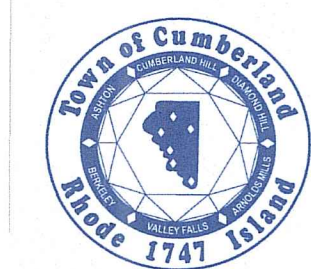


ARCHITECTS

Saccoccio & Associates, Inc.

1085 Park Avenue tel 401.942.7970
Cranston, Rhode Island fax 401.942.7975
02910

PREPARED FOR:



TOWN OF CUMBERLAND
45 BROAD STREET
CUMBERLAND, RHODE ISLAND 02864

INDEX OF DRAWINGS

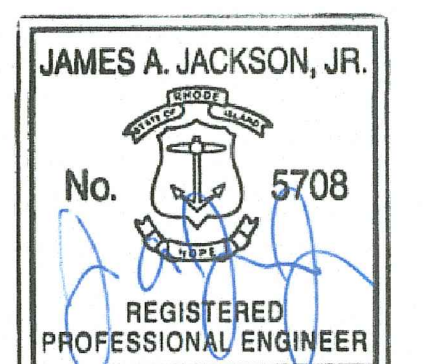
SHEET No.	DRAWING No.	DESCRIPTION
1	-	COVER SHEET
2	C0.1	NOTES
3	C0.2	LEGEND
4	C1.0	DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
5	C2.0	GENERAL PLAN
6	C3.0	GRADING PLAN
7	C4.0	DRAINAGE AND UTILITY PLAN
8	C4.1	OWTS PLAN
9	C4.2	OWTS DETAILS
10 - 14	C5.1 - C5.5	DETAILS 1 - 5
-	P1.0	FLOOR PLAN
-	P2.1	ELEVATIONS - 1
-	P2.2	ELEVATIONS - 2
-	L1.0	LANDSCAPE PLAN

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

[Handwritten signature]

PERMITTING PLANS
REVISED - JUNE 2023

RI Environmental Management
JUN 20 2023
Office of Water Resources



6/19/23

REFERENCE

- 1. PROJECT LOCATION: DIAMOND HILL PARK, 4097 DIAMOND HILL ROAD, CUMBERLAND, RHODE ISLAND 02864 MAP PARCEL 59 LOT 15.
2. EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SURVEY" PREPARED BY BRENNAN CONSULTING, DATED NOVEMBER 16, 2022.
3. WETLAND FLAGS IDENTIFYING WETLAND RESOURCE AREAS WERE PLACED BY PARE CORPORATION ON SEPTEMBER 15, 2022 AND LOCATED BY PARE CORPORATION USING A GPS DEVICE.

GENERAL NOTES

- 1. PER AVAILABLE RIDEM MAPPING, THE PROJECT SITE IS LOCATED WITHIN A NATURAL HERITAGE AREA.
2. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
3. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEER'S APPROVAL.
6. IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
7. ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
8. ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
9. ALL SIGNS SHALL BE REFLECTORIZED TYPE III SHEETING AND CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST REVISION.
10. ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS DEPICTED ON THE PLANS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

LAYOUT NOTES

- 1. ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
2. ACCESSIBLE RAMPS SHALL BE PER THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
4. DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
5. ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
2. ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
3. WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION. THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL FROM THE OWNER.

GRADING AND UTILITY NOTES

- 1. UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
2. ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
3. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
4. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
6. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
7. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
8. GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
9. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
10. ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF CUMBERLAND SEWER ORDINANCES.
11. ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE TOWN OF CUMBERLAND WATER DEPARTMENT SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN. THE CONTRACTOR SHALL COORDINATE AND CONFIRM ALL WATER DISTRIBUTION MATERIAL PRODUCTS WITH THE TOWN OF CUMBERLAND WATER DEPARTMENT PRIOR TO ORDERING OR PURCHASING PRODUCTS.
12. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
13. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED OTHERWISE.
14. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

EROSION AND SEDIMENTATION CONTROL NOTES - RHODE ISLAND

- 1. THE CONTRACTOR AND RELEVANT SUBCONTRACTORS SHALL READ AND UNDERSTAND THE RIDPE'S GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) PREPARED FOR THE PROJECT. ALL EROSION CONTROLS SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
4. ANTI-TRACKING PADS (R.I. STD. DETAIL 9.9.0) SHALL BE PROVIDED AT ALL POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
5. EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
6. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
9. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBS MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
10. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
11. REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
12. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
13. EXISTING AND NEWLY INSTALLED CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
14. DEWATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO STRAW BALE CORRALS OR SEDIMENTATION BAGS.
15. THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
16. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
17. RIP-RAP OR OTHER ENERGY DISSIPATORS SHALL BE USED WHERE NECESSARY TO PREVENT SCOUR.
18. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
19. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
20. NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE STABLE VEGETATED SURFACES.
21. EROSION AND SEDIMENTATION CONTROLS SHALL BE UTILIZED AS SHOWN ON THE PLANS. POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
22. WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
23. TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
24. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES

DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

- 1. THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
2. THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER AND THE TOWN OF CUMBERLAND. FOLLOWING ACCEPTANCE OF THE PROPOSED DRAINAGE SYSTEM, THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
3. ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

- 1. TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CATCH BASINS, MANHOLES, INLET, OUTLET AND DIVERSION STRUCTURES, AND STORMWATER BEST MANAGEMENT PRACTICES (BMPs)) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL.
2. THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEEPED BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS POST-CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER.

CATCH BASINS WITH SUMPS INSPECTION, MAINTENANCE, AND REPAIR NOTES

- 1. INSPECTIONS SHALL BE PERFORMED A MINIMUM OF TWO TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED ANNUALLY AND WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO HALF THE SUMP DEPTH.
2. THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME OR PAVED OVER SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.
3. CARE SHALL BE TAKEN TO AVOID DAMAGING AND DISPLACING HOODS PLACED ON HOODED OUTLETS DURING CLEANING.

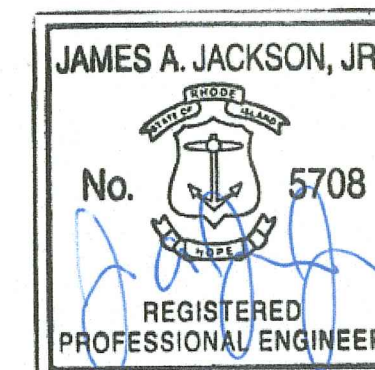
STATE RIGHT-OF-WAY NOTES

- 1. ALL WORK TO BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY (ROW) SHALL CONFORM TO THE RIDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AMENDED MARCH 2018, WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RIDOT STANDARD DETAILS 1998 EDITION WITH ALL REVISIONS.
2. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN A UTILITY PERMIT FROM THE RIDOT FOR UTILITY WORK WITHIN THE STATE'S ROW AND MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
3. THE CONTRACTOR SHALL PREPARE A TRANSPORTATION MANAGEMENT PLAN INCLUDING A TEMPORARY TRAFFIC CONTROL PLAN AS REQUIRED FOR THE RIDOT UTILITY PERMIT APPLICATION AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. ALL TEMPORARY TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST REVISION.

UNDERGROUND INFILTRATION/DETENTION SYSTEM BASIN INSPECTION, MAINTENANCE, AND REPAIR NOTES

FOLLOWING CONSTRUCTION, THE COMPLETION OF THE INSPECTION AND MAINTENANCE REQUIREMENTS BELOW SHALL BE THE RESPONSIBILITY OF THE OWNER.

- 1. THE SYSTEM SHALL BE MAINTAINED AS RECOMMENDED BY THE MANUFACTURER.
2. FOLLOWING STORM EVENTS WITH RAINFALL EXCEEDING 2.7"
• INSPECT INFILTRATION/DETENTION SYSTEM FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY THE OWNER.
3. BI-ANNUALLY
• INSPECTIONS SHALL BE PERFORMED A MINIMUM OF TWO TIMES PER YEAR ON THE INSPECTION PORTS AND DRAINAGE STRUCTURES OF THE UNDERGROUND INFILTRATION/DETENTION SYSTEM TO ENSURE PROPER OPERATION OF THE SYSTEM.
4. JETVAC MAINTENANCE IS RECOMMENDED IF SEDIMENT HAS BEEN COLLECTED TO A DEPTH OF 3" IN THE PRETREATMENT ROW. MORE FREQUENT MAINTENANCE MAY BE REQUIRED TO MAINTAIN MINIMUM FLOW RATES THROUGH THE PRETREATMENT ROW. THE JETVAC PROCESS SHALL ONLY BE PERFORMED ON THE PRETREATMENT ROW.



Saccoccio & Associates, Inc.

1085 Park Avenue Cranston, Rhode Island 02910 tel 401.942.7970 fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD. CUMBERLAND, RI

Table with 2 columns: Revision Number, Revision Date. Row 1: 1, 6/19/23 - RTC

PERMIT SET JUNE 2023

SHEET TITLE NOTES

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: JUL 26 2023 FILE # 23-00086 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

COPYRIGHT 2021 THIS DRAWING IS THE PROPERTY OF SACCOCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00 CHECKED BY: CW DATE: JUNE 2023

C0.1

SHEET: 2 OF: 15

ABBREVIATIONS

GENERAL

AA DT	ANNUAL AVERAGE DAILY TRAFFIC
ABAN	ABANDON
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUST
APPROX	APPROXIMATE
AC	ASPHALT CONCRETE
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
ASSF	AREA SUBJECT TO STORM FLOWAGE
ATD	ASPHALT TURNDOWN
ATG	ADJUST TO GRADE
BB	BITUMINOUS BERM
BC	BOTTOM OF CURB (FINISHED GRADE ON LOW SIDE OF CURB)
BD	BOUND
BIT	BITUMINOUS
BL	BASELINE
BLDG	BUILDING
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICE
BO	BY OTHERS
BOL	BOLLARD
BOS	BOTTOM OF SLOPE
BOT	BOTTOM
BPM	BLACKOUT PAVEMENT MARKING
BR	BRIDGE
BS	BOTTOM OF STAIR (FINISHED GRADE AT BOTTOM STAIR)
BW	BOTTOM OF WALL (FINISHED GRADE ON LOW SIDE OF WALL)
BWL	BROKEN WHITE LINE
BYL	BROKEN YELLOW LINE
C=	CURVE LENGTH
CB	CATCH BASIN
CB CI	CATCH BASIN WITH CURB INLET
CC	CEMENT CONCRETE
CCM	CEMENT CONCRETE MASONRY
CCW	CEMENT CONCRETE WALK
CD	CHECK DAM
CE	CONSTRUCTION ENTRANCE
CEM	CEMENT
CFS	COMPOST FILTER SOCK
CG	CLEAR AND GRUB VEGETATION
CH	CHORD LENGTH
CI	CURB INLET
CIP	CAST IRON PIPE
CL	CENTERLINE
CLDI	CEMENT-LINED DUCTILE IRON
CLF	CHAIN LINK FENCE
CLSM	CONTROLLED LOW STRENGTH MATERIAL
CLR	CLEAR
CLS	CLASS
CM	SAWCUT AND MATCH
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CP	CONCRETE PAD
CR GR	CROWN GRADE
CSP	CORRUGATED STEEL PIPE
CSTR	CONCRETE STAIRS
CTE	CONNECT TO EXISTING
CW	CROSSWALK
DEMO	DEMOLITION
DET	DETECTABLE
DHV	DESIGN HOURLY VOLUME
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DIV	DIVERSION
DMH	DRAIN MANHOLE
DTP	DRIFLINE TREE PROTECTION
DWL	DOTTED WHITE LINE
DWLEx	DOTTED WHITE LINE EXTENSION
DBWL	DOUBLE WHITE LINE
DWP	DETECTABLE WARNING PAVER
DYL	DOTTED YELLOW LINE
DYLEx	DOTTED YELLOW LINE EXTENSION
DBYL	DOUBLE YELLOW LINE
DW	STEADY DON'T WALK - PORTLAND ORANGE
DWY	DRIVEWAY
ELEV (or EL)	ELEVATION
EMB	EMBANKMENT
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
ETR	EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.
EXIST (or EX)	EXISTING
EXC	EXCAVATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
FLDSTN	FIELDSTONE
FND	FOUND
FT	FOOT
GAR	GARAGE

GD	GROUND
GG	GAS GATE
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
GRAN	GRANITE
GRAV	GRAVEL
GRD	GUARD
GTD	GRADE TO DRAIN
GV	GATE VALVE
HCPS	HANDICAP ACCESSIBLE PARKING SIGN
HDBC	HEAVY DUTY BITUMINOUS CONCRETE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDPS	HANDICAP ACCESSIBLE PARKING SIGN
HDW	HEADWALL
HMA	HOT MIX ASPHALT
HMAW	HOT MIXED ASPHALT WALKWAY
HOR	HORIZONTAL
HPR	HEADWALL PROTECTION RACK
HYD	HYDRANT
ID	INSIDE DIAMETER
INV	INVERT
JCT	JUNCTION
L=	LENGTH OF CURVE
LB	LEACH BASIN
LOD	LIMIT OF DISTURBANCE
LP	LOW POINT
LS	LOAM AND SEED
LSOD	LOAM AND SOD
LT	LEFT
LTP	LIGHT POLE
MAX	MAXIMUM
MB	MAILBOX
MCW	MONOLITHIC CONCRETE WALK
MH	MANHOLE
MIN	MINIMUM
MON	MONITORING
MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OCS	OUTLET CONTROL STRUCTURE
OD	OUTSIDE DIAMETER
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
OWS	OIL WATER SEPARATOR
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCFES	PRECAST CONCRETE FLARED END SECTION
PCTC	PRECAST CONCRETE TRANSITION CURB
PCR	PEDESTRIAN CURB RAMP
PE	POLYETHYLENE
PERF	PERFORATED
PGL	PROFILE GRADE LINE
PHMA	POROUS HOT MIXED ASPHALT PAVEMENT
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PM	PAVEMENT MARKING
PRC	POINT OF REVERSE CURVATURE
PROJ	PROJECT
PROP	PROPOSED
PSB	PLANTABLE SOIL BORROW
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVCH	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVMT	PAVEMENT
PWW	PAVED WATER WAY
QPA	QUALIFYING PERVIOUS AREA
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
R=	RADIUS
RA	RAILING
RCP	REINFORCED CONCRETE PIPE
RDWY	ROADWAY
REM	REMOVE
RET	RETAIN
RET WALL	RETAINING WALL
RRLS	RIPRAP LEVEL SPREADER
ROW	RIGHT OF WAY
RR	RAILROAD
RRS	RIPRAP SLOPE
RS	RIPRAP SPILLWAY
RT	RIGHT
RTAD	REFER TO ARCHITECTURAL DRAWINGS
RTED	REFER TO ELECTRICAL DRAWINGS
RTFPD	REFER TO FIRE PROTECTION DRAWINGS
RTL D	REFER TO LANDSCAPE DRAWINGS
RTMD	REFER TO MECHANICAL DRAWINGS
RTPD	REFER TO PLUMBING DRAWINGS
RTSD	REFER TO STRUCTURAL DRAWINGS
S=	SLOPE
SB	SAND BAG EROSION CONTROL BARRIER
SDR	STANDARD DIMENSIONAL RATIO
SED	SEDIMENT
SESC	SOIL EROSION AND SEDIMENT CONTROL

SFL	STATE FREEWAY LINE
SFCD	SEDIMENT FOREBAY CHECK DAM
SG	SWING GATE
SHL	STATE HIGHWAY LINE
SHLD	SHOULDER
SHLO	STATE HIGHWAY LAYOUT
SHP	HANDICAP PARKING PAVEMENT MARKING
SM	SEDIMENT MARKER
SMH	SEWER MANHOLE
SSD	STOPPING SIGHT DISTANCE
ST	STREET
STA	STATION
SW	SIDEWALK
SWL	SINGLE SOLID WHITE LINE
SWR	SEWER
SYL	SINGLE SOLID YELLOW LINE
T=	TANGENT DISTANCE OF CURVE/TRUCK %
TAN	TANGENT
TD	TEMPORARY DIVERSION
TEMP	TEMPORARY
TC	TOP OF CURB
TDS	TEMPORARY DIVERSION SWALE
TGP	TREE GROUP PROTECTION
TIP	TEMPORARY INLET PROTECTION
TMH	TELEPHONE MANHOLE
TOS	TOP OF SLOPE
TP	TEST PIT
TRAN	TRANSITION
TRM	TURF REINFORCEMENT MAT
TS	TOP OF STAIR (FINISHED GRADE OF TOP STAIR)
TST	TEMPORARY SEDIMENT TRAP
TSW	TEMPORARY SWALE
TW	TOP OF WALL
TYP	TYPICAL
UP	UTILITY POLE
VAR	VARIES
VERT	VERTICAL
VC	VERTICAL CURVE
VCC	VERTICAL CONCRETE CURB
VCP	VEHICULAR CONCRETE PAVEMENT
VFC	VITRIFIED CLAY
VEG	VEGETATION
VEH	VEHICULAR
VFS	VEGETATED FILTER STRIP
VGC	VERTICAL GRANITE CURB
VGTC	VERTICAL GRANITE TRANSITION CURB
VLF	VINYL FENCE
w/	WITH
WG	WATER GATE
WIP	WROUGHT IRON PIPE
WM	WATER METER/WATER MAIN
WMH	WATER MANHOLE
WPM	WATER PAINT MARK
X-SECT	CROSS SECTION
YD	YARD DRAIN
4DY	4" DOUBLE YELLOW EPOXY RESIN PAVEMENT MARKING
4W	4" SOLID WHITE EPOXY RESIN PAVEMENT MARKING
12W	12" SOLID WHITE EPOXY RESIN PAVEMENT MARKING

RHODE ISLAND STANDARD DETAILS

2.3.0	= PRECAST CONCRETE FLARED END SECTION - R.I. STD. 2.3.0
4.2.0	= PRECAST 4'-0" ROUND MANHOLE - R.I. STD. 4.2.0
4.2.1	= PRECAST 5'-0" ROUND MANHOLE - R.I. STD. 4.2.1
4.2.2	= PRECAST 6'-0" ROUND MANHOLE - R.I. STD. 4.2.2
4.4.0M	= PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN - R.I. STD. 4.4.0M
4.7.2	= ALTERNATE TOP COVER FOR ROUND PRECAST MANHOLES AND CATCH BASINS - R.I. STD. 4.7.2
6.2.1	= HEAVY-DUTY ROUND FRAME AND COVER - R.I. STD. 6.2.1
6.3.2	= SQUARE FRAME AND GRATE (BICYCLE SAFE) - R.I. STD. 6.3.2
7.1.0	= PRECAST CONCRETE CURB - R.I. STD. 7.1.0
7.1.1	= 3'-0" PRECAST CONCRETE TRANSITION CURB - R.I. STD. 7.1.1
7.1.2	= 6'-0" PRECAST CONCRETE TRANSITION CURB - R.I. STD. 7.1.2
7.1.3	= PRECAST CONCRETE RAMP STONE - R.I. STD. 7.1.3
7.3.0	= GRANITE CURB - R.I. STD. 7.3.0
7.3.2	= 6'-0" GRANITE TRANSITION CURB - R.I. STD. 7.3.2
7.5.1	= BITUMINOUS BERM - R.I. STD. 7.5.1
9.7.0	= DEWATERING BASIN - R.I. STD. 9.7.0
9.9.0	= CONSTRUCTION ACCESS - R.I. STD. 9.9.0
24.6.0	= PARKING SIGN MOUNTING DETAIL - R.I. STD. 24.6.0
34.2.0	= STEEL BEAM GUARDRAIL - R.I. STD. 34.2.0
43.1.0M	= CEMENT CONCRETE SIDEWALK (MODIFIED) - R.I. STD. 43.1.0M
43.2.0	= BITUMINOUS CONCRETE SIDEWALK - R.I. STD. 43.2.0
43.3.0	= WHEELCHAIR RAMP - R.I. STD. 43.3.0
48.1.0M	= DETECTABLE WARNING SYSTEM (MODIFIED) - R.I. STD. 48.1.0M
51.1.1	= DRIFLINE TREE PROTECTION DEVICE FOR EXISTING TREES - R.I. STD. 51.1.1

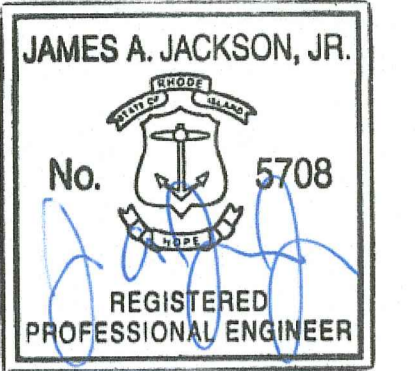
EXISTING LEGEND

⊙	SEWER MANHOLE
⊕	WATER SHUT OFF/WATER GATE
⊞	CATCH BASIN
⊚	GUY WIRE
⊛	UTILITY POLE
⊜	BOLLARD
⊝	POST
⊞	SIGN
⊚	FLAG POLE
⊛	VENT PIPE
⊜	SECURITY CAMERA
⊝	UTILITY POLE W/ LIGHT
⊞	GAS METER
⊛	ELECTRIC METER
⊜	DISABLED PARKING SPACE
⊝	DECIDUOUS TREE
⊞	CONIFEROUS TREE
BC	BOTTOM OF CURB
BCB	BIT. CONC. BERM
[X.X']	BUILDING DIMENSION
BFA	BUILDING FOOTPRINT AREA
BIT	BITUMINOUS
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
COL	COLUMN
CONC	CONCRETE
ENT	ENTRANCE
FGC	FLUSH GRANITE CURB
GR	GUARD RAIL
HR	HANDRAIL
IE	INVERT ELEVATION
INACC.	INACCESSIBLE
LST	LANDSCAPE TIMBER
M&S	MULCH & SHRUBS
NVP	NO VISIBLE PIPES
R=	RADIUS OR RIM ELEVATION
SBCC	SLOPED BITUMINOUS CONCRETE CURB
SQ. FT.	SQUARE FEET
T	TOP
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TH	THRESHOLD
TOW	TOP OF WATER
TS	TOP OF STEPS
TW	TOP OF WALL
VGC	VERTICAL GRANITE CURB
D	DRAIN
G	GAS
OHW	OVERHEAD WIRES
12" D(CI)	PIPE SIZE AND MATERIAL
PE	PLASTIC
RCP	REINFORCED CONCRETE PIPE
EDGE OF WOODS	EDGE OF WOODS
GUARD RAIL	GUARD RAIL
DSG	DIGSAFE GAS

PROPOSED LEGEND

---	PROPERTY LINE
---	SETBACKS
---	EASEMENT LINE
---	CONTOUR
---	SPOT ELEVATION
---	DRAINAGE LINE
---	WATER LINE
---	FIRE WATER LINE
---	SANITARY SEWER LINE
---	GAS LINE
---	ELECTRIC
---	TELEPHONE LINE
---	OVERHEAD ELECTRIC LINE
---	LIMIT OF DISTURBANCE
---	LIMIT OF DISTURBANCE/COMPOST FILTER SOCK
---	CATCH BASIN
---	HYDRANT
---	DRAINAGE MANHOLE
---	SEWER MANHOLE
---	UTILITY POLE
---	WATER VALVE
---	GAS GATE
---	LIGHT POLE
---	TREE LINE
---	STONE WALL
---	CHAIN LINK FENCE
---	WIRE FENCE
---	WOOD FENCE
---	FENCE
---	CURBING
---	EDGE OF PAVEMENT
---	SAWCUT LINE
---	SIGN
---	COMPOST FILTER SOCK
---	SILT FENCE
---	SAND BAGS
---	NO. OF PARKING SPACES
---	WETLAND EDGE
---	75' BUFFER ZONE
---	100' JURISDICTIONAL AREA

RI Environmental Management
JUN 20 2023
Office of Water Resources
Consultant



Saccocio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.7970
fax 401.942.7975



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

PERMIT SET
JUNE 2023

SHEET TITLE
LEGEND

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

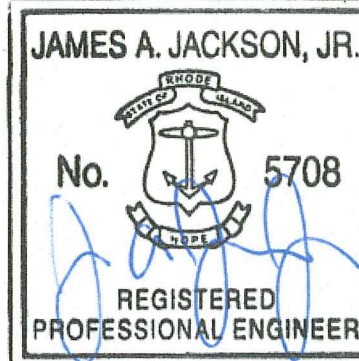
COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

C0.2

RHODE ISLAND ABBREVIATIONS

GENERAL	
RIDEM	RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
RIHP	RHODE ISLAND HIGHWAY PLAT
RIPDES	RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM
R.I. STD.	RHODE ISLAND STANDARD



619123



Saccoccio & Associates, Inc.
 1065 Park Avenue
 Cranston, Rhode Island 02910
 tel 401.942.7970
 fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
 CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

**SHEET TITLE
 GENERAL PLAN**

COPYRIGHT 2021
 THIS DRAWING IS THE PROPERTY OF SACCOCCHIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00
 CHECKED BY: CW DATE: JUNE 2023

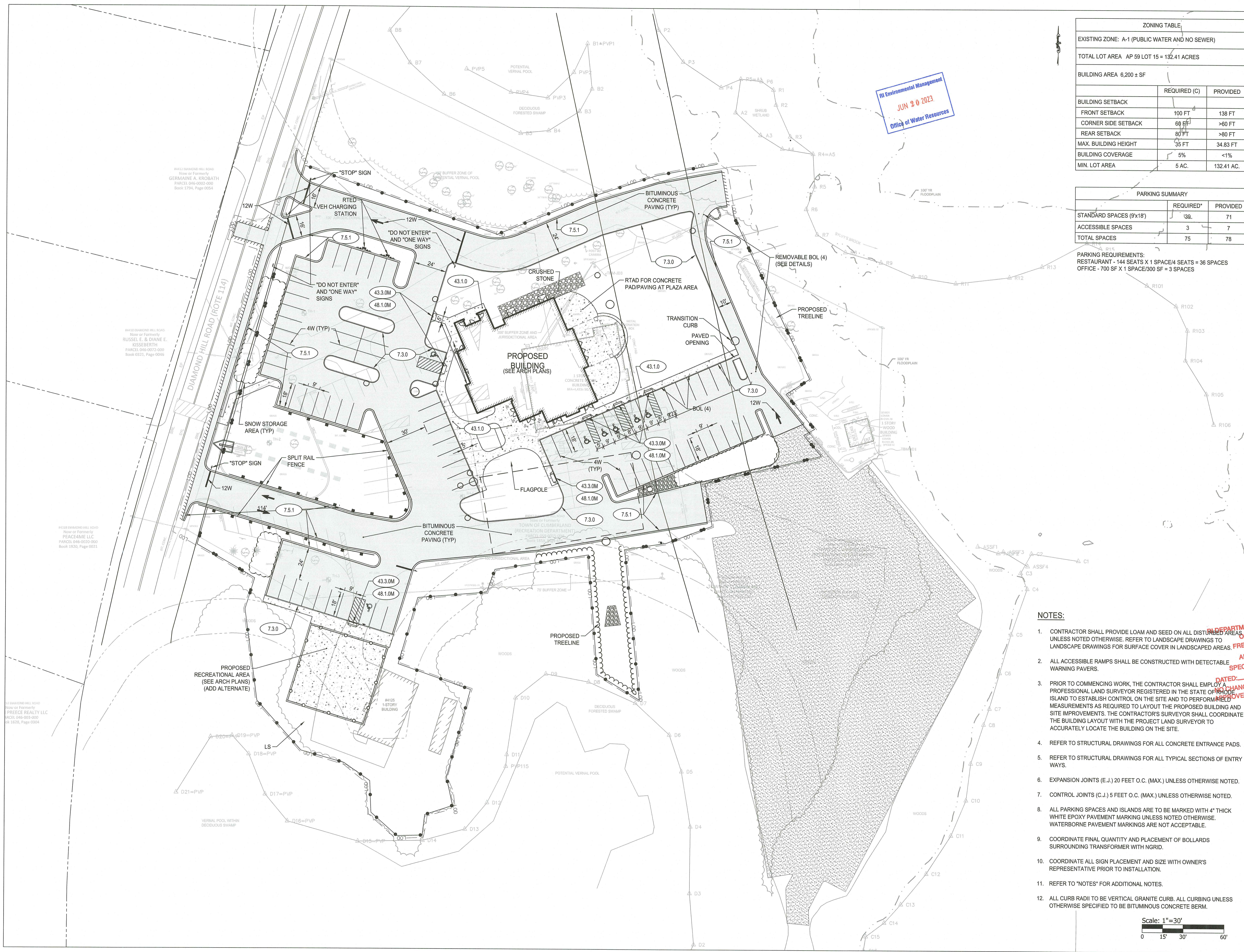
C2.0

ZONING TABLE		
EXISTING ZONE:	A-1 (PUBLIC WATER AND NO SEWER)	
TOTAL LOT AREA:	AP 59 LOT 15 = 132.41 ACRES	
BUILDING AREA:	6,200 ± SF	
	REQUIRED (C)	PROVIDED
BUILDING SETBACK:		
FRONT SETBACK:	100 FT	138 FT
CORNER SIDE SETBACK:	60 FT	>60 FT
REAR SETBACK:	80 FT	>80 FT
MAX. BUILDING HEIGHT:	35 FT	34.83 FT
BUILDING COVERAGE:	5%	<1%
MIN. LOT AREA:	5 AC.	132.41 AC.

PARKING SUMMARY		
	REQUIRED	PROVIDED
STANDARD SPACES (9'x18')	39	71
ACCESSIBLE SPACES	3	7
TOTAL SPACES	75	78

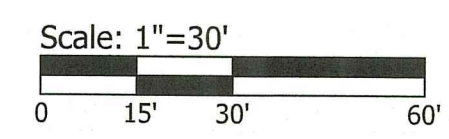
PARKING REQUIREMENTS:
 RESTAURANT - 144 SEATS X 1 SPACE/4 SEATS = 36 SPACES
 OFFICE - 700 SF X 1 SPACE/300 SF = 3 SPACES

RI Environmental Management
 JUN 20 2023
 Office of Water Resources

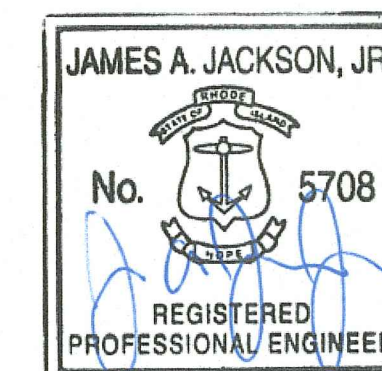


NOTES:

- CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS TO LANDSCAPE DRAWINGS FOR SURFACE COVER IN LANDSCAPED AREAS.
- ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVERS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.
- REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE ENTRANCE PADS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL TYPICAL SECTIONS OF ENTRY WAYS.
- EXPANSION JOINTS (E.J.) 20 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
- CONTROL JOINTS (C.J.) 5 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES AND ISLANDS ARE TO BE MARKED WITH 4" THICK WHITE EPOXY PAVEMENT MARKING UNLESS NOTED OTHERWISE. WATERBORNE PAVEMENT MARKINGS ARE NOT ACCEPTABLE.
- COORDINATE FINAL QUANTITY AND PLACEMENT OF BOLLARDS SURROUNDING TRANSFORMER WITH NGRID.
- COORDINATE ALL SIGN PLACEMENT AND SIZE WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- REFER TO "NOTES" FOR ADDITIONAL NOTES.
- ALL CURB RADII TO BE VERTICAL GRANITE CURB. ALL CURBING UNLESS OTHERWISE SPECIFIED TO BE BITUMINOUS CONCRETE BERM.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 FILE # 23-0086
 DATED: JUL 26 2023
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE POSTED ON SITE
 PERMIT SET
 JUNE 2023



01/19/23



Saccoccio & Associates, Inc.
1085 Park Avenue tel 401.942.7970
Cranston, Rhode Island fax 401.942.7975
02910

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: July 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PERMIT SET
JUNE 2023

SHEET TITLE GRADING PLAN

COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

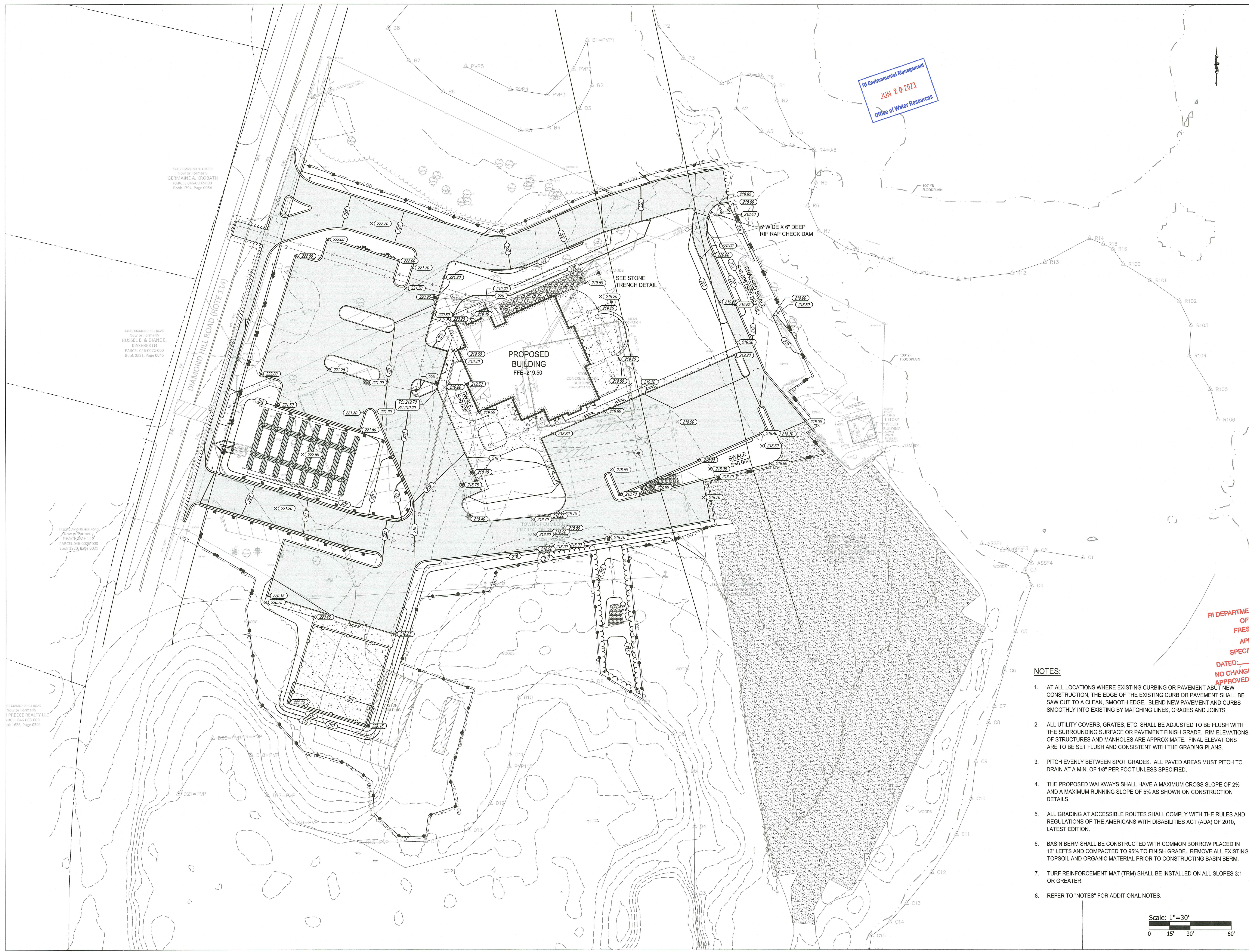
DRAWN BY: AKL JOB NUMBER: 22155.00

CHECKED BY: CW DATE: JUNE 2023

C3.0

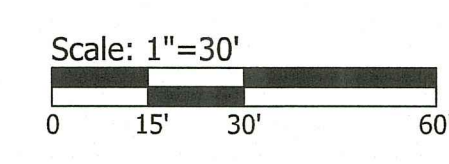
SHEET: 6 OF: 15

RI Environmental Management
JUN 20 2023
Office of Water Resources



NOTES:

- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
- THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS.
- ALL GRADING AT ACCESSIBLE ROUTES SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 2010, LATEST EDITION.
- BASIN BERM SHALL BE CONSTRUCTED WITH COMMON BORROW PLACED IN 12" LEFTS AND COMPACTED TO 95% TO FINISH GRADE. REMOVE ALL EXISTING TOPSOIL AND ORGANIC MATERIAL PRIOR TO CONSTRUCTING BASIN BERM.
- TURF REINFORCEMENT MAT (TRM) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER.
- REFER TO "NOTES" FOR ADDITIONAL NOTES.



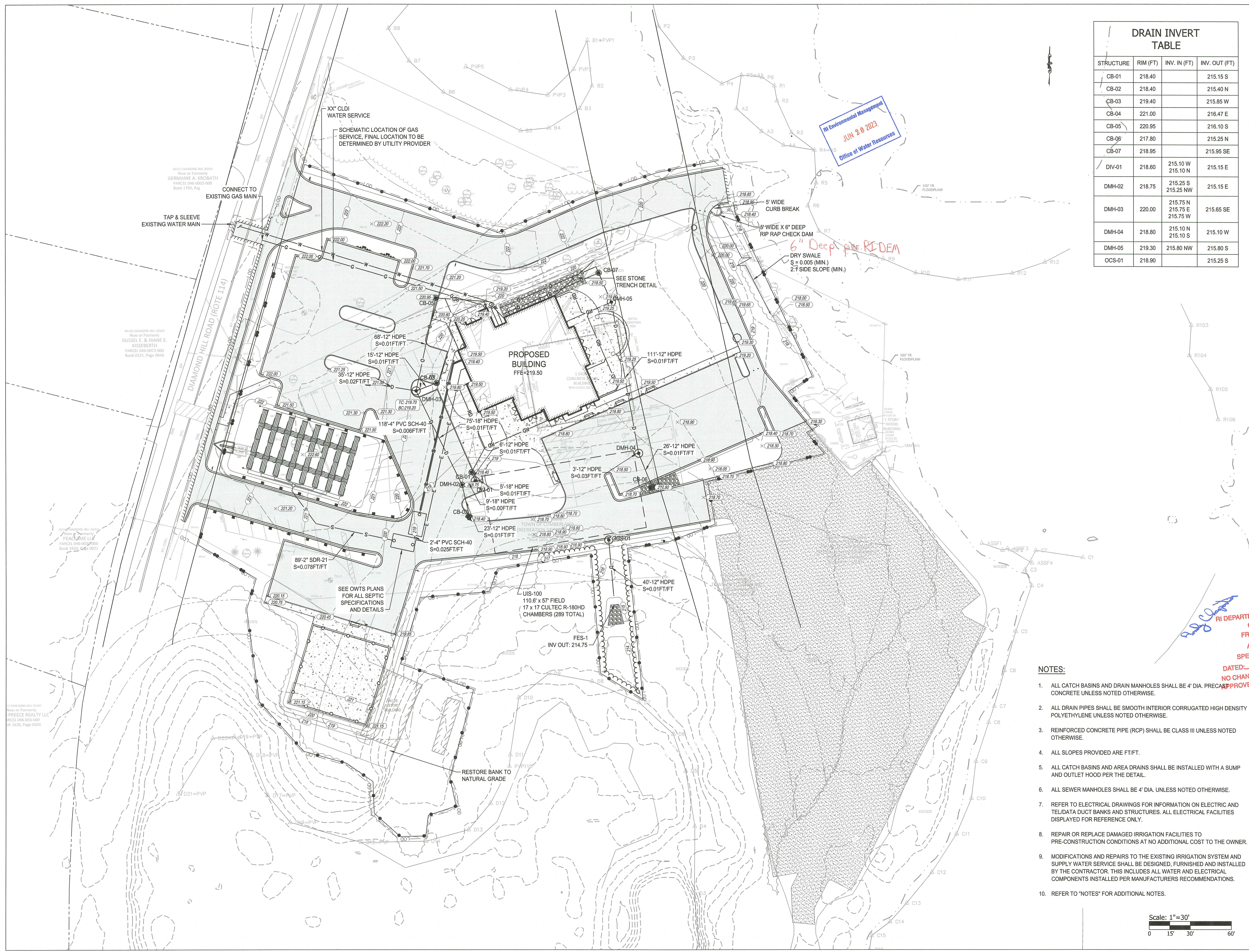
8412 DIAMOND HILL ROAD
Now of Formerly
GERMAINE A. KROBATH
PARCEL 046-0002-000
Book 1794, Page 0054

8410 DIAMOND HILL ROAD
Now of Formerly
RUSSELL E. & DIANE E.
KISSEBERTH
PARCEL 046-0072-000
Book 0251, Page 0046

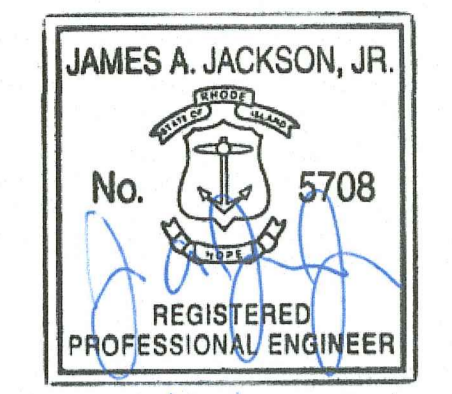
8409 DIAMOND HILL ROAD
Now of Formerly
PEACOCK LLC
PARCEL 046-0030-000
Book 1925, Page 0021

8408 DIAMOND HILL ROAD
Now of Formerly
FREECE REALTY LLC
PARCEL 046-003-000
ct 1626, Page 0304

27:085132 Job:122155.00 Community-Center and Offices-04/20/2023 09:40:00 PL:AKL



DRAIN INVERT TABLE			
STRUCTURE	RIM (FT)	INV. IN (FT)	INV. OUT (FT)
CB-01	218.40		215.15 S
CB-02	218.40		215.40 N
CB-03	219.40		215.85 W
CB-04	221.00		216.47 E
CB-05	220.95		216.10 S
CB-06	217.80		215.25 N
CB-07	218.95		215.95 SE
DIV-01	218.60	215.10 W 215.10 N	215.15 E
DMH-02	218.75	215.25 S 215.25 NW	215.15 E
DMH-03	220.00	215.75 N 215.75 E 215.75 W	215.65 SE
DMH-04	218.80	215.10 N 215.10 S	215.10 W
DMH-05	219.30	215.80 NW	215.80 S
OCS-01	218.90		215.25 S



Saccoccio & Associates, Inc.
 1085 Park Avenue tel 401.942.7970
 Cranston, Rhode Island fax 401.942.7975
 02910

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
 CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH-WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: JUN 28 2023 FILE # 23-0086
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 PERMIT SET
 JUNE 2023

**SHEET TITLE
 DRAINAGE AND
 UTILITY PLAN**

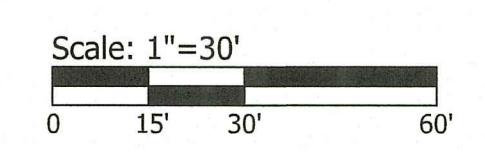
COPYRIGHT 2021
 THIS DRAWING IS THE PROPERTY OF SACCOCCHIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

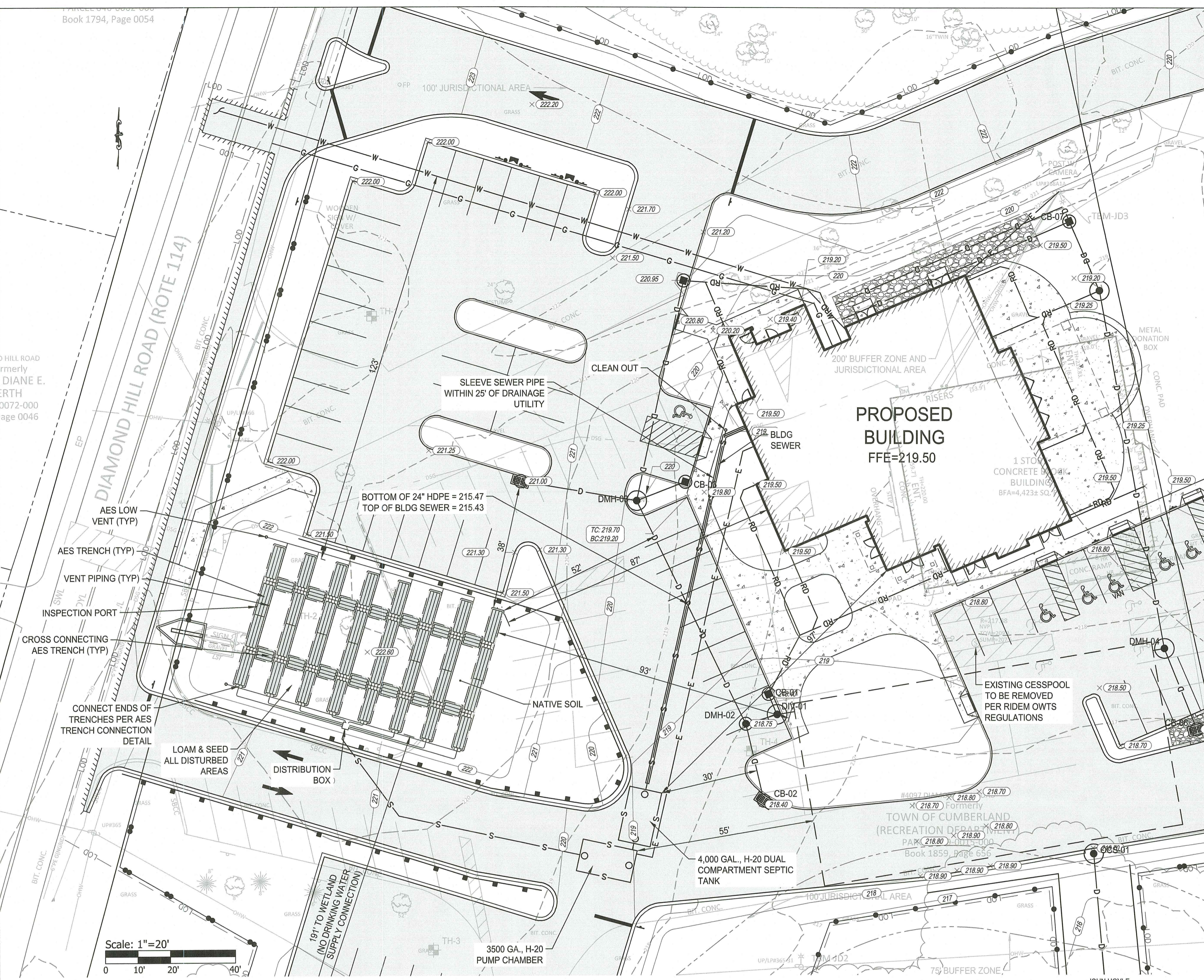
DRAWN BY: AKL JOB NUMBER: 22155.00
 CHECKED BY: CW DATE: JUNE 2023

C4.0

SHEET: 7 OF: 15

- NOTES:**
- ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4' DIA. PRECAST CONCRETE UNLESS NOTED OTHERWISE.
 - ALL DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
 - REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS NOTED OTHERWISE.
 - ALL SLOPES PROVIDED ARE FT/FT.
 - ALL CATCH BASINS AND AREA DRAINS SHALL BE INSTALLED WITH A SUMP AND OUTLET HOOD PER THE DETAIL.
 - ALL SEWER MANHOLES SHALL BE 4' DIA. UNLESS NOTED OTHERWISE.
 - REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON ELECTRIC AND TEL/DATA DUCT BANKS AND STRUCTURES. ALL ELECTRICAL FACILITIES DISPLAYED FOR REFERENCE ONLY.
 - REPAIR OR REPLACE DAMAGED IRRIGATION FACILITIES TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 - MODIFICATIONS AND REPAIRS TO THE EXISTING IRRIGATION SYSTEM AND SUPPLY WATER SERVICE SHALL BE DESIGNED, FURNISHED AND INSTALLED BY THE CONTRACTOR. THIS INCLUDES ALL WATER AND ELECTRICAL COMPONENTS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - REFER TO "NOTES" FOR ADDITIONAL NOTES.





DESIGN DATA

DESIGN FLOW:
 PROPOSED BANQUET HALL WITH 168 SEAT CAPACITY, PROPOSED PARKS AND RECREATION OFFICE WITH 5 EMPLOYEES AND A SHOWER FIXTURE (NOT OPEN TO PUBLIC), AND 3 ATTACHED PUBLICLY ACCESSIBLE TOILETS.
 UNIT LOADING RATES TAKEN FROM 250-RICR-150-10-6.22

OFFICE BUILDING: 15 GPD/PERSON
 BANQUET HALL: 5 GPD/SEAT
 PUBLIC PARK WITH TOILETS: 5 GPD/PERSON
 ADD FOR SHOWERS: 10 GPD/PERSON

15 GPD/PERSON X 5 EMPLOYEES = 75 GPD
 10 GPD/PERSON X 5 EMPLOYEES = 50 GPD
 5 GPD/PERSON X 200 PEOPLE = 1,000 GPD
 5 GPD/SEAT X 168 SEATS = 840 GPD

75 GPD (EMPLOYEES) + 50 GPD (SHOWERS) + 1,000 GPD (TOILETS) + 840 GPD (BANQUET) = 1,965 GPD

1,965 GPD DEMAND

EVENTS ATTRACTING MORE THAN 200 PARK GOERS WILL BE REQUIRED UNDER DIAMOND HILL PARK REGULATIONS TO PROVIDE PORTABLE WASTEWATER FACILITIES

SOIL ABSORPTION SYSTEM:

STEP 1:
 CATEGORY 1: SOIL = 0.70 GPD/SF
 1,965 GPD / 0.70 GPD/SF = 2,808 SF MIN. LEACH AREA

STEP 2:
 USE AES FIELD IN TRENCH CONFIGURATION
 2,808 SF / 7 SF/LF = 402 LF OF AES TRENCH REQ'D

STEP 3:
 USE 7-40' TRENCHES WITH 2 CROSS CONNECTING TRENCHES BETWEEN ROWS (12 CROSSING TRENCHES)
 (8' X 40') + (4' X 5') = 320 + 70 = 390 LF OF TRENCHING
 ADD 1' FOR SAND ON ENDS AND 1' FOR CROSSING TRENCH
 390 LF + 22 LF = 412 LF
 TOTAL = 412 LF OF TRENCHING > 402 LF REQ'D

STEP 4:
 (10' SEGMENT LENGTH X 8 ROWS X 4 SEGMENTS/ROW) + (5' SEGMENT LENGTH X 14 CROSSING TRENCHES) = 380' OF AES SEGMENTS X 3 PIPES PER TRENCH = 1,170 LF OF AES PIPE

412 LF OF TRENCHING X 7 SF = 2,884 SF > 2,808 SF REQ'D
 2,884 SF LEACH AREA X 0.70 GPD/SF = 2,018 GPD > 1,965 GPD REQ'D

CONSTRUCTION SEQUENCING:

- CONTRACTOR TO OBTAIN ALL PERMITS, AND TO NOTIFY "DIG SAFE" PRIOR TO CONSTRUCTION.
- INSTALL ALL PROPOSED EROSION AND SEDIMENT CONTROL FEATURES.
- CONTACT DESIGNER 48 HOURS PRIOR TO CONSTRUCTION.
- BEGIN OWTS EXCAVATION.
- CONTACT DESIGNER 48 HOURS PRIOR TO BOTTOM ELEVATIONS.
- BEGIN OWTS CONSTRUCTION.
- CONTACT DESIGNER 48 HOURS PRIOR TO OWTS COMPLETION FOR INSPECTION.
- FINALIZE GRADINGS.
- CONTACT DESIGNER 48 HOURS PRIOR TO FINAL GRADING REVIEW.
- COMPLETE SOIL STABILIZATION BY LOAM AND SEEDING.

ENVIRO-SEPTIC NOTES:

- SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ADVANCED ENVIRO-SEPTIC DESIGN AND INSTALLATION MANUAL FOR ADVANCED ENVIRO-SEPTIC (AES) WASTEWATER SYSTEM FOR RHODE ISLAND. FOR PRODUCT INFORMATION OR THE NEAREST DEALER CONTACT PRESBY ENVIRONMENTAL, INC. 4 BUSINESS PARK ROAD, OLD SAYBROOK, CT 06475; PHONE 860-577-7000 - WWW.INFILTRATORWATER.COM/PRESBY-ENVIRONMENTAL
- INSTALLER REQUIRED TO CONTACT DIG SAFE PRIOR TO CONSTRUCTION.
- DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
- NO DRAINS, HOT TUBS, SAUNAS, GARBAGE DISPOSALS ETC. SHALL BE INCORPORATED INTO THIS SYSTEM.
- SYSTEM SAND SHALL FOLLOW ALL SPECIFICATIONS WITHIN THE RI AES DESIGN AND INSTALLATION MANUAL UNLESS AN ACCEPTABLE ALTERNATIVE SPECIFIED IN THE MANUAL IS USED.
- ENVIRO-SEPTIC PIPE IS NOT DESIGNED FOR TRAFFIC LOADS. THERE WILL BE NO DRIVING OVER THE ENVIRO-SEPTIC FIELD.

REFERENCE

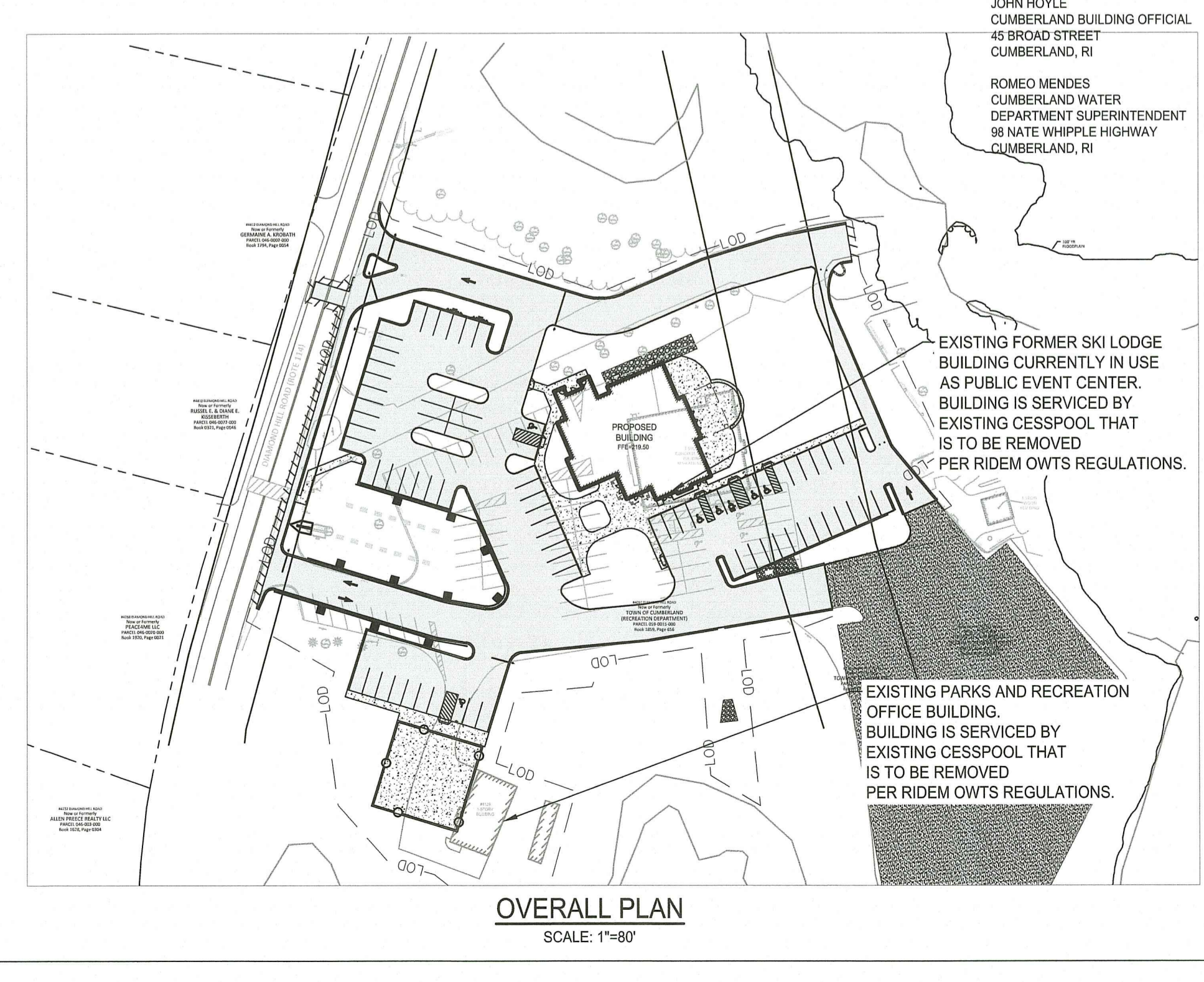
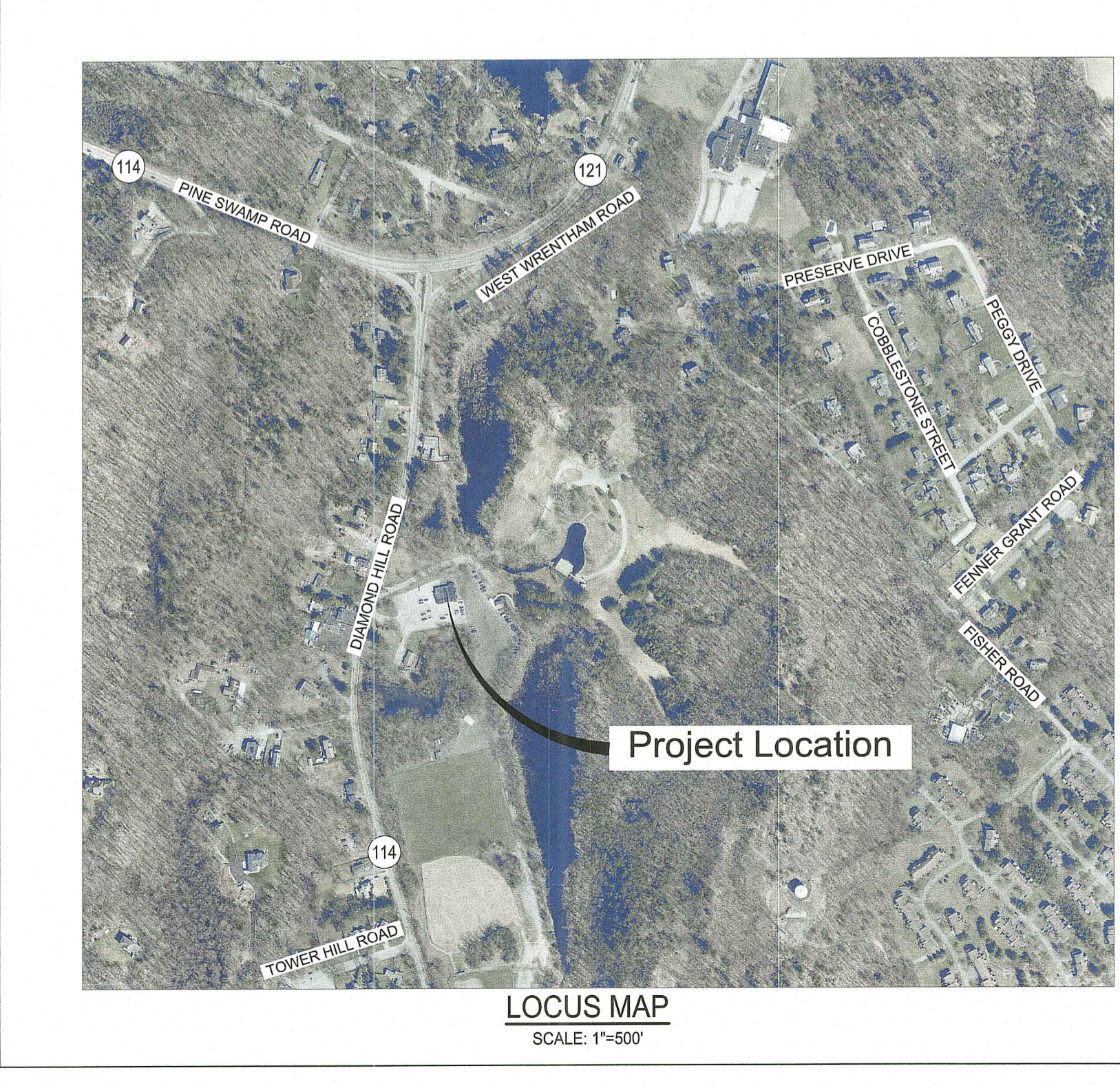
- PROJECT LOCATION: DIAMOND HILL PARK, 4097 DIAMOND HILL ROAD, CUMBERLAND, RHODE ISLAND 02864 MAP PARCEL 59 LOT 15.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SURVEY" PREPARED BY BRENNAN CONSULTING, DATED NOVEMBER 16, 2022.

SOIL DATA: TH-1 TH-4
 DATE: 3/9/2023
 PERFORMED BY: GREG LACROIX, D103

ELEV. (FEET)	TH-1 DEPTH (INCHES)	ELEV. (FEET)	TH-2 DEPTH (INCHES)	ELEV. (FEET)	TH-3 DEPTH (INCHES)	ELEV. (FEET)	TH-3 DEPTH (INCHES)
221.00	45	220.80	18	219.00	34	218.00	96
221.00	0	220.80	0	219.00	0		
219.25	21	220.47	4	218.50	6		
216.17	58	218.30	30	217.33	20		
		214.30	78	213.83	62		

GENERAL NOTES

- THE PROJECT IS LOCATED OUTSIDE THE LIMITS OF THE 100-YEAR FLOODPLAIN.
- MATERIALS PROVIDED AND PROCEDURES FOLLOWED FOR THE INSTALLATION OF THE PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ON-SITE WASTEWATER TREATMENT SYSTEMS DATED NOVEMBER 25, 2018.
- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION OR LATEST REVISION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 EDITION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- PER AVAILABLE RIDEM MAPPING, THE PROJECT SITE IS LOCATED WITHIN A NATURAL HERITAGE AREA.
- PER AVAILABLE MAPPING, THIS SITE IS NOT LOCATED WITHIN A CRITICAL RESOURCE AREA. THE DRAINAGE SYSTEM DOES NOT DISCHARGE TO A CRITICAL RESOURCE AREA.
- THERE ARE NO DRINKING WATER WELLS WITHIN 200' OF THE SYSTEM.
- NO KNOWN PUBLIC WATER SUPPLY WELLS (EXISTING OR PROPOSED) ARE LOCATED WITHIN 100' OF ANY COMPONENT OF THE SYSTEM.
- THE CONTRACTOR SHALL, AT ALL TIMES, CONTROL DUST FROM ROAD SURFACES AND ELSEWHERE WITHIN THE AREA TO THE OWNER'S, RIDOTS, AND TOWNS SATISFACTION.
- THIS SYSTEM IS NOT DESIGNED FOR GARBAGE GRINDERS.
- SEPTIC TANK SHALL BE VENTED THROUGH BUILDING PLUMBING AS REQUIRED BY THE BUILDING CODE AND AES INSTALLATION MANUAL.
- EFLUENT FILTER MEETING THE REQUIREMENTS OF RIDEM OWTS RULE 37 SHALL BE INSTALLED ON THE SEPTIC TANK OUTLET TEE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO BACKFILLING LEACHING AREA TO SCHEDULE A REVIEW. CONTRACTOR SHALL NOT COVER LEACHING AREA UNTIL ENGINEER HAS INSPECTED THE COMPLETED SYSTEM.
- REMEDIAL WORK REQUIRED FOR THE SYSTEM TO MEET RIDEM REQUIREMENTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
- ANY DAMAGE TO EXISTING OR INSTALLED IMPROVEMENTS ON THE PROPERTY SHALL BE RESTORED TO MEET OR EXCEED EXISTING CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH THE OSHA STANDARDS AND THE TOWN OF CUMBERLAND REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE INSPECTIONS WITH RIDEM AND ENGINEER AS REQUIRED.
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR IS TO IMMEDIATELY CONTACT AND COORDINATE WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WILL BE AFFECTED.
- ALL UTILITIES (LOCATION & ELEVATION) SHOWN SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.
- ONLY SANITARY WASTEWATER SHALL BE DISCHARGED TO THE OWTS. CHEMICALS, TRASH, FOREIGN OBJECTS, AND ALL OTHER NON-SANITARY WASTEWATER SHALL NOT BE DISCHARGED INTO THE OWTS. FLOOR DRAINS ARE NOT TO BE CONNECTED TO THE OWTS.
- CONTRACTOR PERFORMING THE OWTS INSTALLATION SHALL BE A LICENSED OWTS INSTALLER IN ACCORDANCE WITH RIDEM REGULATIONS.
- THE DESIGN IS BASED AROUND A 200 PERSON EVENT AT THIS PORTION OF THE PARK. AN EVENT OF LARGER THAN 200 PEOPLE SHALL BE REQUIRED UNDER DIAMOND HILL PARK RULES TO PROVIDE TEMPORARY WASTEWATER FACILITIES TO ACCOMMODATE THE EXCESS LOADING.



LEGEND

EXISTING	PROPERTY LINE	PROPOSED
---	PROPERTY LINE	---
---	SETBACKS	---
---	EASEMENT LINE	---
---	CONTOUR	---
X 407.5	SPOT ELEVATION	X 267.3
D-D	DRAINAGE LINE	D-D
W-W	WATER LINE	W-W
S-S	FIRE WATER LINE	S-S
OH-W	SANITARY SEWER LINE	S-S
---	OVERHEAD ELECTRIC LINE	---
---	LIMIT OF DISTURBANCE	---
■	CATCH BASIN	■
○	HYDRANT	○
○	DRAINAGE MANHOLE	○
○	SEWER MANHOLE	○
○	UTILITY POLE	○
○	WATER VALVE	○
○	LIGHT POLE	○
○	TREE LINE	○
---	STONE WALL	---
---	FOUNDATION/PERIMETER DRAIN	FD FD
---	CHAIN LINK FENCE	---
---	IRON FENCE	---
---	CURBING	---
---	EDGE OF PAVEMENT	---
---	SAWCUT LINE	---
---	SIGN	---
---	COMPOST FILTER SOCK	---
---	SILT FENCE	---
---	R&D PIPE	---
---	TEST PIT	TP

CONSTRUCTION & INSPECTION

- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- CONTRACTOR SHALL PROVIDE SUBMITTALS OF ALL SYSTEM COMPONENTS TO THE ENGINEER FOR REVIEW PRIOR TO PURCHASE AND FABRICATION. ANY SYSTEM COMPONENTS FABRICATED OR PURCHASED PRIOR TO REVIEW BY THE ENGINEER NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED OR REVISED AS REQUIRED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

DRAINAGE AND UTILITIES NOTES:

- ALL SLOPES PROVIDED ARE FT/FT.
- ALL PIPE JOINTS FOR THE OWTS SYSTEM SHALL BE MADE WATERTIGHT AND BE PROPERLY CONNECTED.
- ALL SEPTIC PIPING (EXCLUDING AES PIPING) SHALL BE LAID ON A COMPACTED, STABILIZED SUBGRADE AND REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.
- SEPTIC TANK MATERIAL, CONSTRUCTION, AND INSTALLATION SPECIFICATIONS SHALL FOLLOW ALL GUIDELINES LAID OUT IN PART 6.27 OF RI CODE OF REGULATIONS TITLE 26, CHAPTER 150, SUBCHAPTER 10.
- DISTRIBUTION BOX MATERIAL, CONSTRUCTION, AND INSTALLATION SPECIFICATIONS SHALL FOLLOW ALL GUIDELINES LAID OUT IN PART 6.32 OF RI CODE OF REGULATIONS TITLE 26, CHAPTER 150, SUBCHAPTER 10.

SEPTIC TANK NOTES

- CONCRETE: 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
- STEEL REINFORCING-ASTM A-615, GRADE 60
- COVER TO STEEL-1" MINIMUM
- TANKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318 AND CAPABLE OF MEETING ASHTO H-20 LOADING CRITERIA
- EARTH COVER - 1 TO 5 FEET MAX
- CONSTRUCTION JOINT SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT
- LABEL OF NONCORROSIVE MATERIAL SHALL BE APPLIED TO ACCESS OPENING WITH WARNING STATING "ENTRANCE INTO TANK COULD BE FATAL"
- SEPTIC TANK SHALL BE PERFORMANCE TESTED ON-SITE IN ACCORDANCE WITH RI OWTS REGULATIONS.
- SEPTIC TANK SHALL BE INSTALLED IN ACCORDANCE WITH RI OWTS REGULATIONS.
- PROVIDE HEAVY DUTY FRAME AND COVERS WEIGHING A MINIMUM OF 59 LBS.
- INLET AND OUTLET SHALL BE WATERTIGHT SEALED FLEXIBLE JOINTS WITH STAINLESS STEEL CLAMPS.

VARIANCES

- A VARIANCE IS REQUESTED FOR "RULES ESTABLISHING MINIMUM STANDARDS" SECTION 6.11(I)(1) REQUIRING 2 TEST HOLES WITHIN 25' OF THE OWTS FIELD. A SINGLE OWTS TEST PIT IS PROVIDED ON THE UPGRADABLE SIDE OF THE SAS WITH 2 OTHER TEST PITS 50' (TP-3) AND 100' (TP-1) AWAY RESPECTIVELY.

IF THE VARIANCE REQUESTED IS ASSOCIATED WITH AN OWTS APPLICATION FOR NEW BUILDING CONSTRUCTION PROVIDE A SUITABLE PLAN SHOWING THE LOCATION OF ALL ROADS, PROPERTY PARCELS, EASEMENTS AND RIGHTS-OF-WAY WITHIN 200 FEET OF ANY COMPONENT OF THE OWTS. INCLUDE A LISTING CONTAINING THE NAMES AND MAILING ADDRESSES OF THE BUILDING OFFICIAL, PUBLIC WATER SUPPLY ENTITY (AS APPLICABLE PER RULE 6.51 F), AND ALL PROPERTY OWNERS AND PLATLOT IDENTIFIERS WITHIN 200 FEET OF ANY COMPONENT OF THE OWTS.

JAMES A. JOCKSON, JR.
 No. 5708
 REGISTERED PROFESSIONAL ENGINEER
 0119123

SACCOCIO & ASSOCIATES, INC.
 ARCHITECTS
 1085 Park Avenue
 Cranston, Rhode Island 02910
 tel 401.942.9790
 fax 401.942.9795

Consultant

PARE

COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
 CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

PERMIT SET
 JUNE 2023

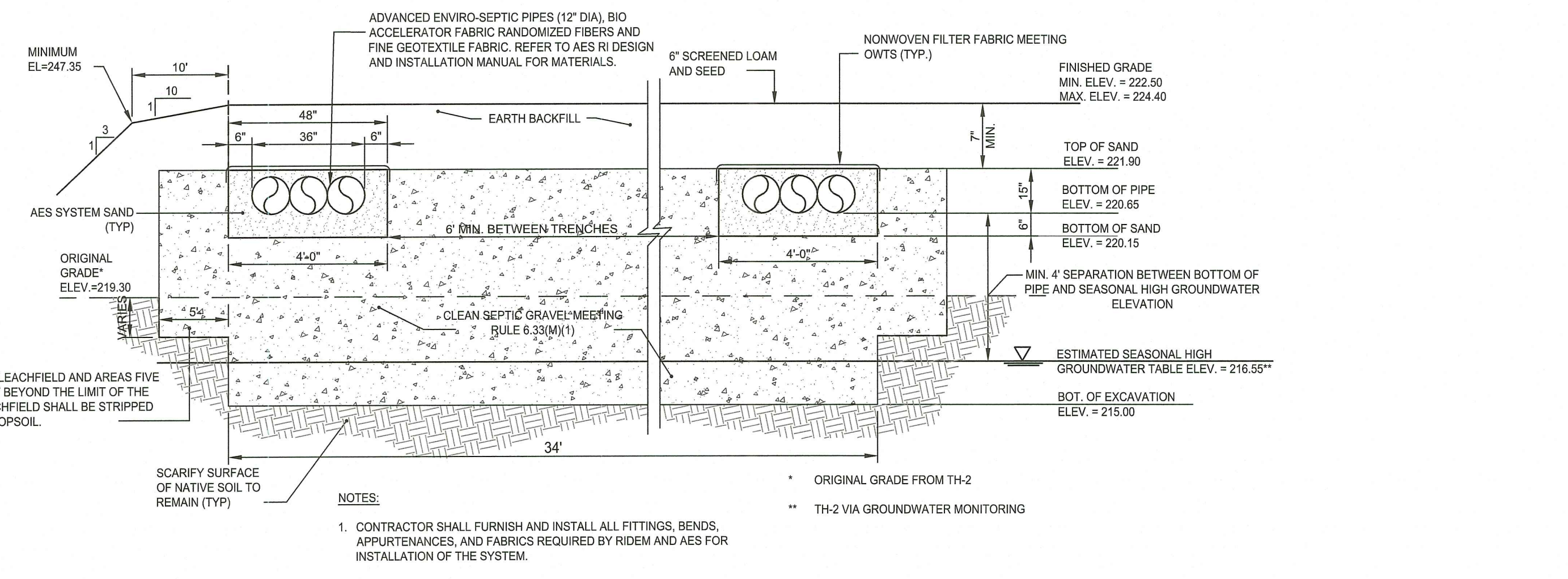
SHEET TITLE
 OWTS PLAN

C4.1

COPYRIGHT 2021 THE PROPERTY OF SACCOCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

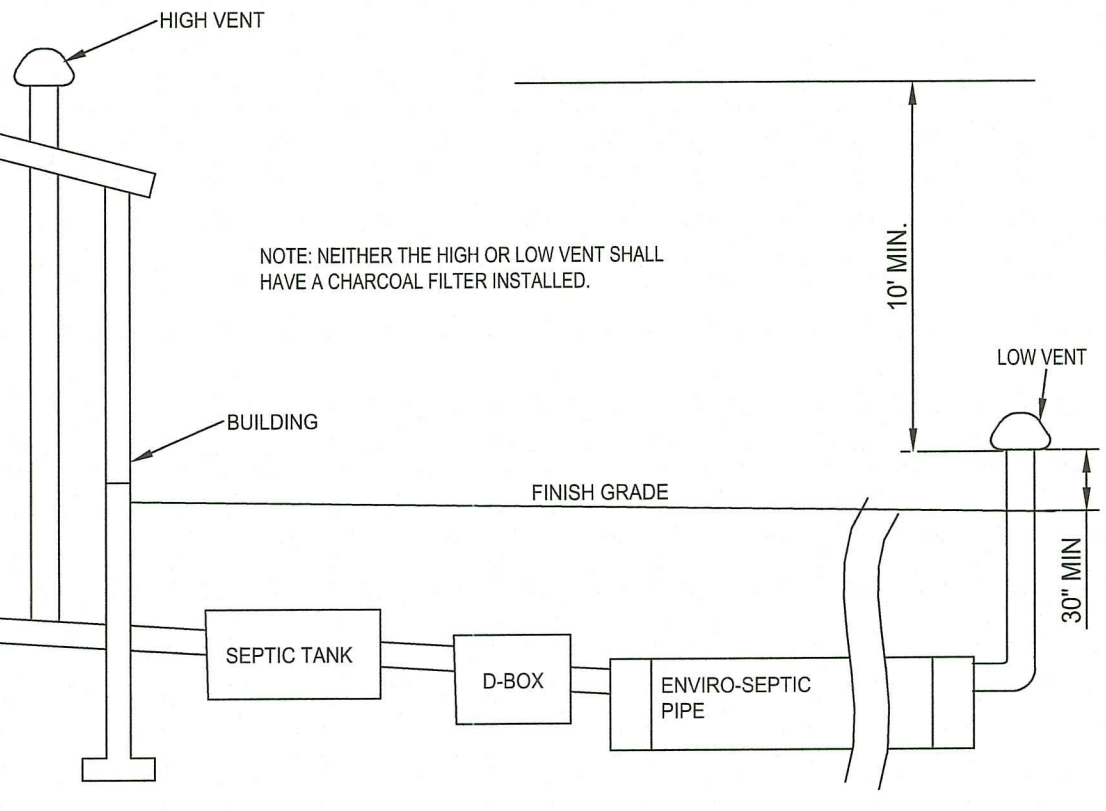
DRAWN BY: AKL JOB NUMBER: 22155.00
 CHECKED BY: CW DATE: JUNE 2023

SHEET: 8 OF: 15

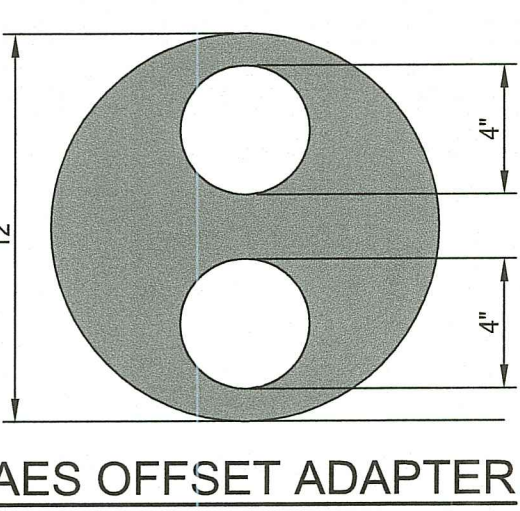


AES TRENCH CROSS SECTION (B-B)
NOT TO SCALE

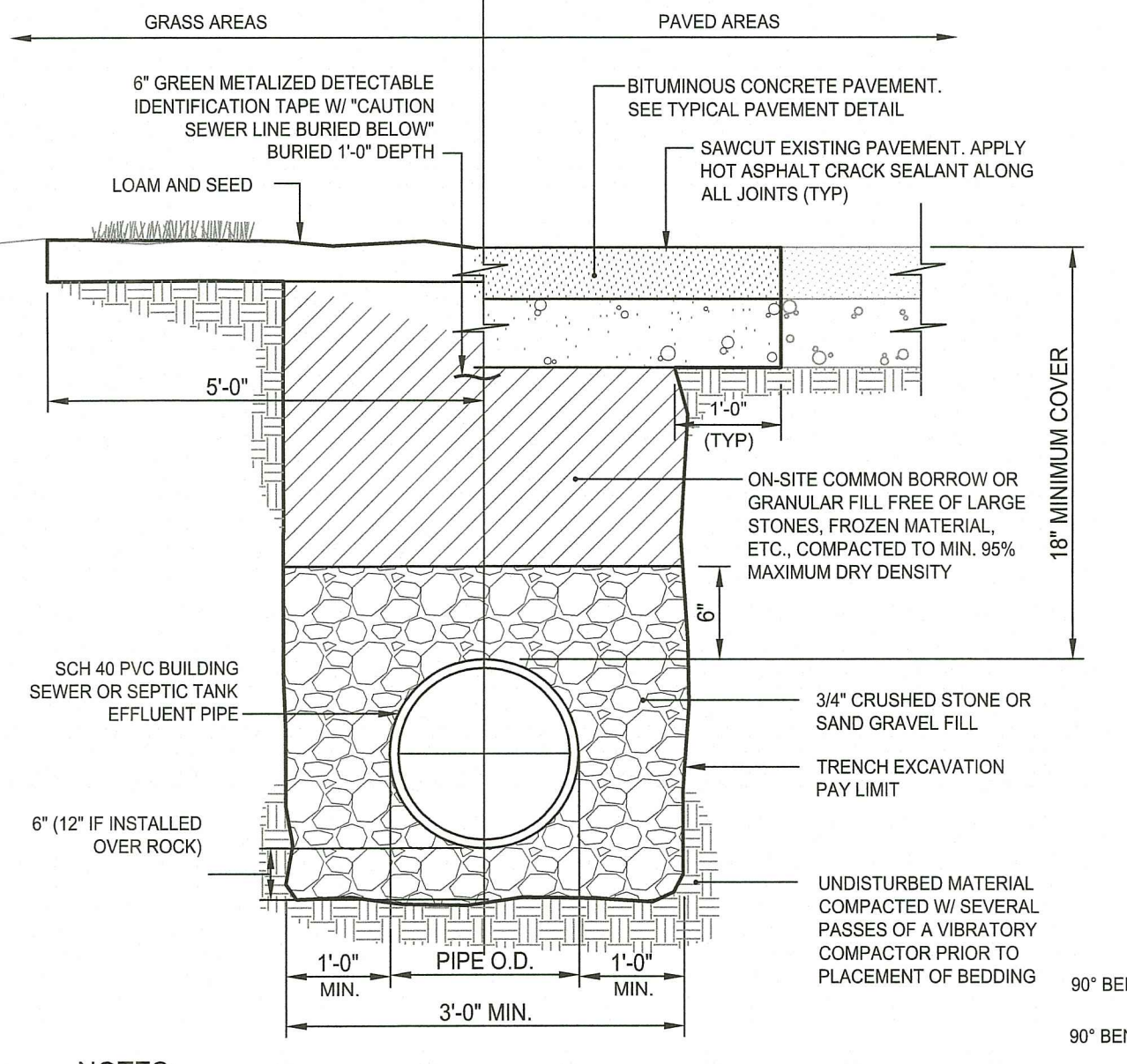
DESIGN DATA
SEPTIC TANK:
1,985 GPD X 2 = 3,970 GALLONS, 1,000 GALLON MINIMUM
USE 4,000 GAL. DUAL COMPARTMENT SEPTIC TANK
FIRST COMPARTMENT: 2/3 X 3,970 GALLONS = 2,620 GALLONS REQUIRED
PROVIDED STORAGE: 6.5' x 4' x 5.17' = 134.4 CF = 1,005 GALLONS PROVIDED > 1,000 GALLONS REQUIRED.
SECOND COMPARTMENT: 1/3 X 3,970 GALLONS = 1,310 GALLONS REQUIRED
PROVIDED STORAGE: 3.25' x 4' x 5.17' = 65.6 CF = 503 GALLONS PROVIDED > 500 GALLONS REQUIRED.



DIFFERENTIAL VENTING DETAIL
NOT TO SCALE

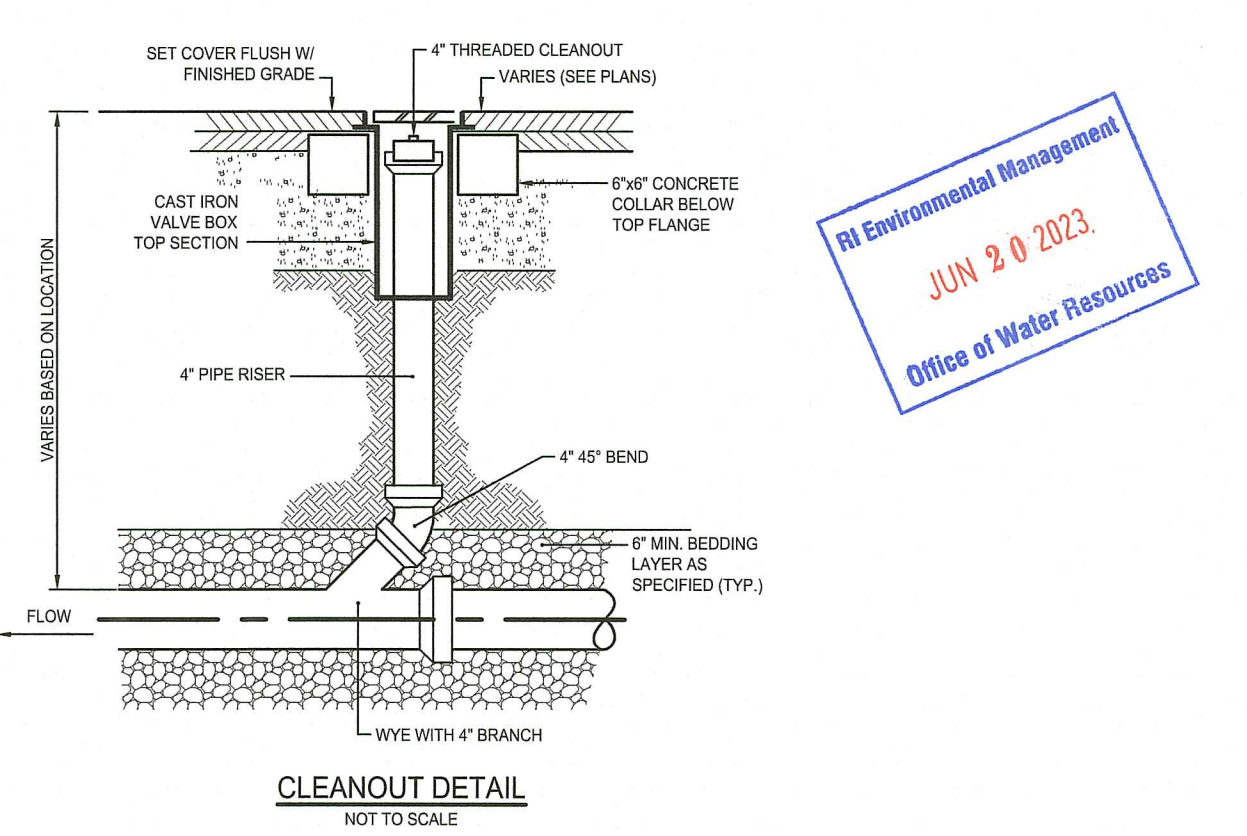


AES OFFSET ADAPTER
NOT TO SCALE

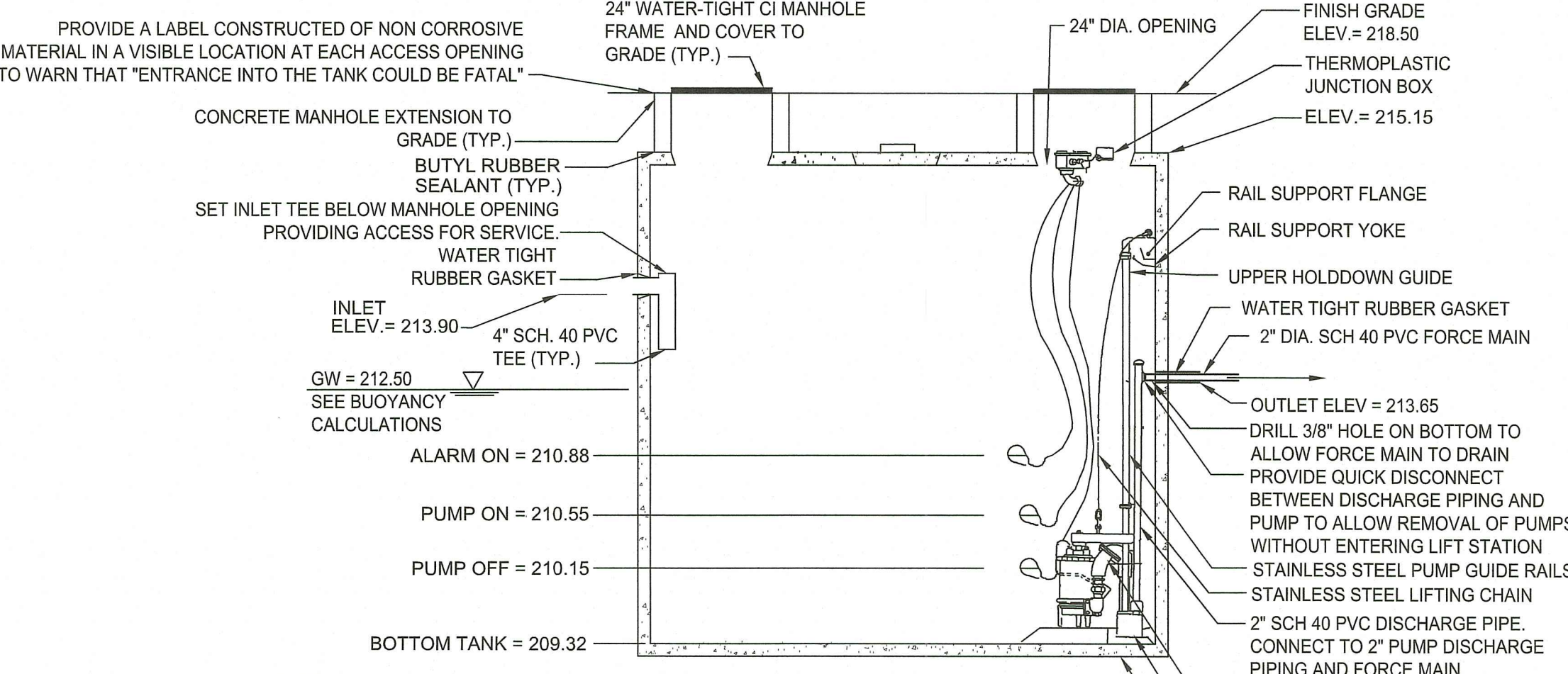


NOTES:
1. WHERE THE DISTANCE BETWEEN THE SAWCUT AND EDGE OF PAVEMENT IS 3' OR LESS, THE CONTRACTOR SHALL REPLACE THE PAVEMENT FROM THE TRENCH EDGE TO THE EXISTING EDGE OF PAVEMENT.

SEWER TRENCH DETAIL
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE



GENERAL NOTES:
1. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM
2. CONC. MINIMUM COMPRESSIVE STRENGTH = 4000 PSI TYPE III CEMENT
3. (2) LIBERTY LEH-100 PUMPS SHALL BE USED AS A DUPLEX SYSTEM. CHECK VALVES ARE TO BE USED ON BOTH PUMPS PRIOR TO PUMP CONNECTION AND CONNECTION TO FORCE MAIN TO PREVENT BACKFLOW INTO ADJACENT PUMP. PUMPS TO RUN IN ALTERNATING SEQUENCE. PUMPS TO BE INSTALLED PER MANUFACTURER SUGGESTED SPECIFICATIONS.
4. MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C 478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS"
5. ONE POUR MONOLITHIC BASE SECTION
6. MANHOLE STRUCTURE SHALL BE CONSTRUCTED TO WITHSTAND H-20 LOADING CRITERIA
7. PUMP CHAMBER SHALL BE PERFORMANCE TESTED ON-SITE IN ACCORDANCE WITH OWTS REGULATIONS.
8. PUMP CHAMBER SHALL BE INSTALLED IN ACCORDANCE WITH OWTS REGULATIONS.

PUMP DETAIL
NOT TO SCALE

TABLE A: SYSTEM SAND SPECIFICATIONS

SIEVE SIZE	PERCENT RETAINED ON SIEVE (BY WEIGHT)
3/4" (19mm)	0
#10 (2mm)	0 - 35
#35 (0.50mm)	40 - 90

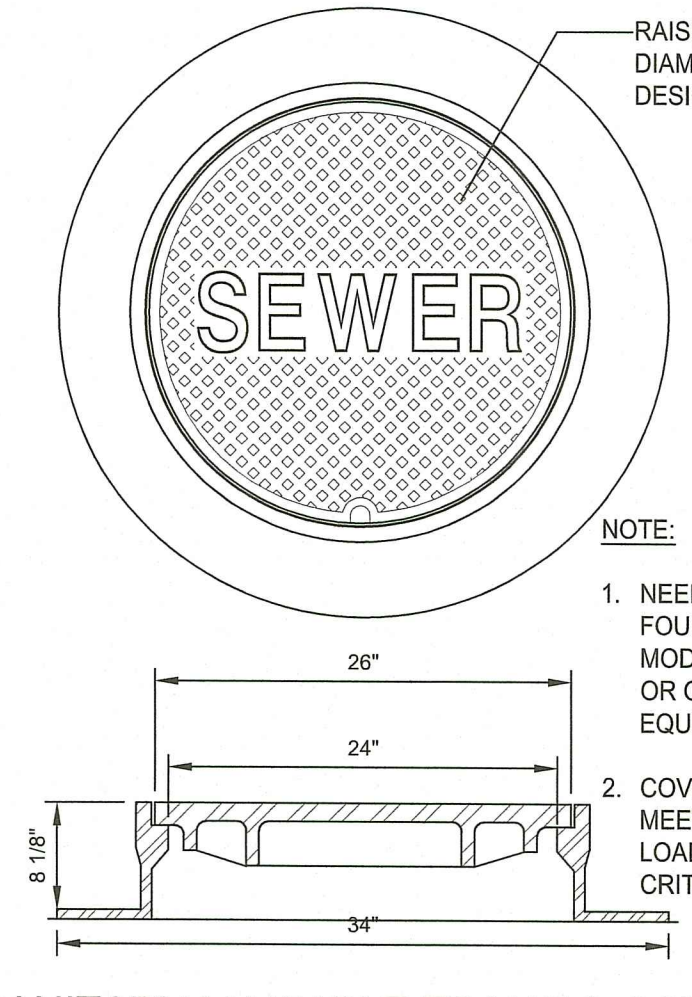
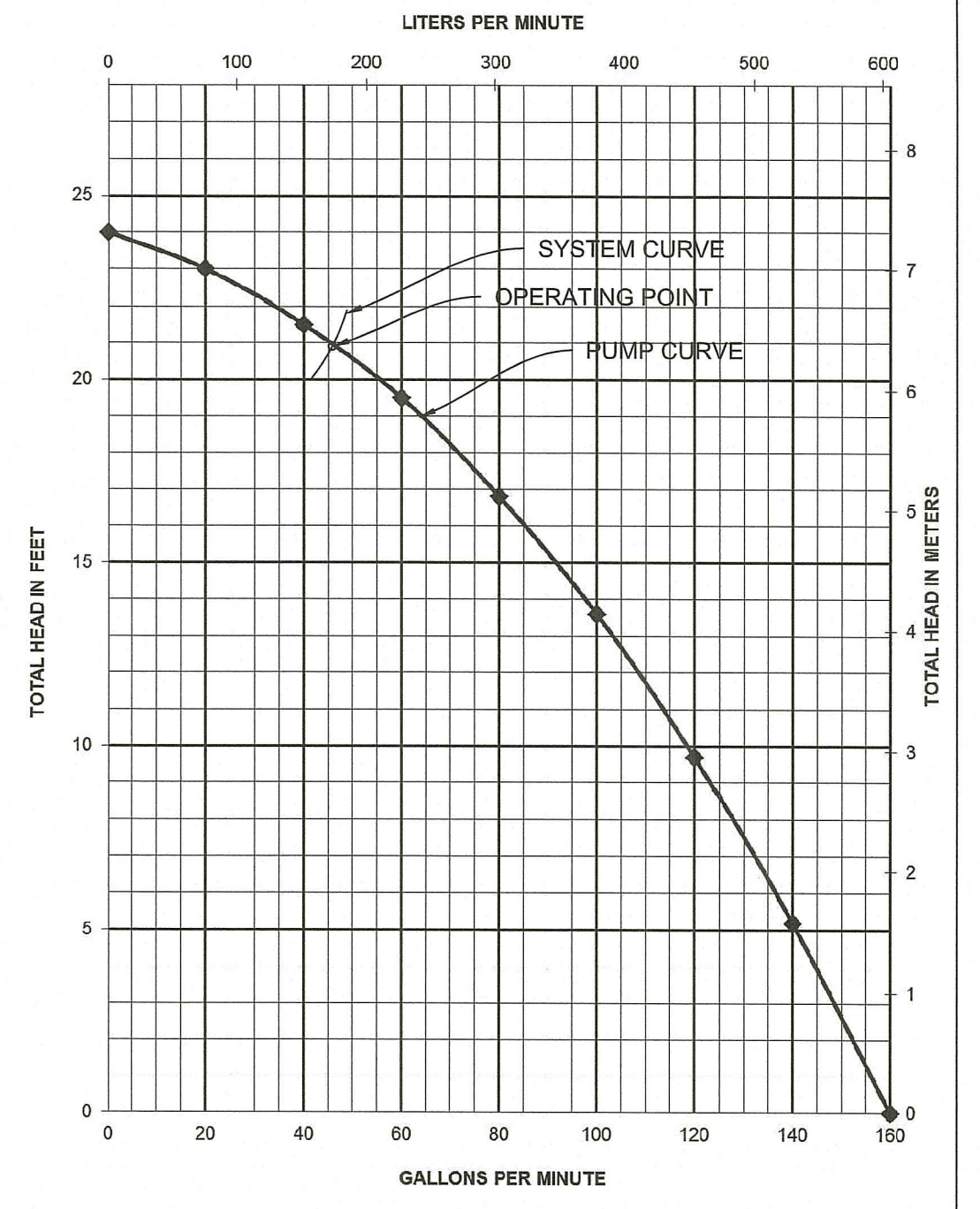
NOTE: NOT MORE THAN 3% ALLOWED TO PASS THE #200 SIEVE. (VERIFIED BY WASHING THE SAMPLE PER REQUIREMENTS OF ASTM C-117)

AES CONNECTION DETAIL
NOT TO SCALE

DOSE CALCULATION:
DESIGN DOSE = 1985 GPD / 6 DOSE/DAY = 327.5 GAL.
DRAIN BACK VOLUME = 13.9 GALLONS/DOSE
TOTAL DOSE = 327.5 + 13.9 = 341.4 GALLONS

PUMP DESIGN:
REQUIRED HEAD = FRICTION LOSS ± ELEVATION CHANGE
ELEVATION CHANGE = 221.57 - 210.15 = 11.42'
FRICTION LOSS = 9.43'
REQUIRED PUMP HEAD = 11.42' + 9.43' = 20.85'

PUMP NOTES:
1. AN AUDIBLE AND VISUAL ALARM SHALL BE PROVIDED. PUMP TO BE ON SEPARATE CIRCUIT FROM ALARM.
2. PUMP AND APPURTENANCES TO BE INSTALLED AND LOCATED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND LOCAL BUILDING AND WIRING CODES.
3. PUMP SHALL CONSIST OF A LIBERTY PUMPS MODEL L50 SUBMERSIBLE PUMP(S) (OR APPROVED EQUIVALENT). PUMP SHALL BE RATED AT 0.5 HP AND SHALL HAVE SOLIDS HANDLING CAPABILITY OF 2". THE PUMP(S) SHALL OPERATE FROM A 115 VOLT, 12 AMP, SINGLE PHASE, 60 HERTZ POWER SUPPLY.
4. CONTRACTOR TO ENSURE LIQUID IN DISCHARGE PIPE FLOWS BACK TO PUMP CHAMBER AFTER PUMP CYCLE. A 1/4" WEEP HOLE IS TO BE INSTALLED IN DISCHARGE PIPE ABOVE THE 2" BALL CHECK VALVE.
5. PUMP CONTROL PANEL SHALL CONSIST OF SIMPLEX SERIES ELECTRICAL CONTROL PANEL (OR APPROVED EQUIVALENT). PUMP CONTROL PANEL TO BE LOCATED INSIDE THE BUILDING AND IN CLEAR VIEW.
6. A JUNCTION BOX IS TO BE LOCATED OUTSIDE OF PUMP CHAMBER AND INSPECTED BY ELECTRICAL INSPECTOR.



SANITARY MANHOLE FRAME & COVER
NOT TO SCALE

BUOYANCY CALCULATIONS

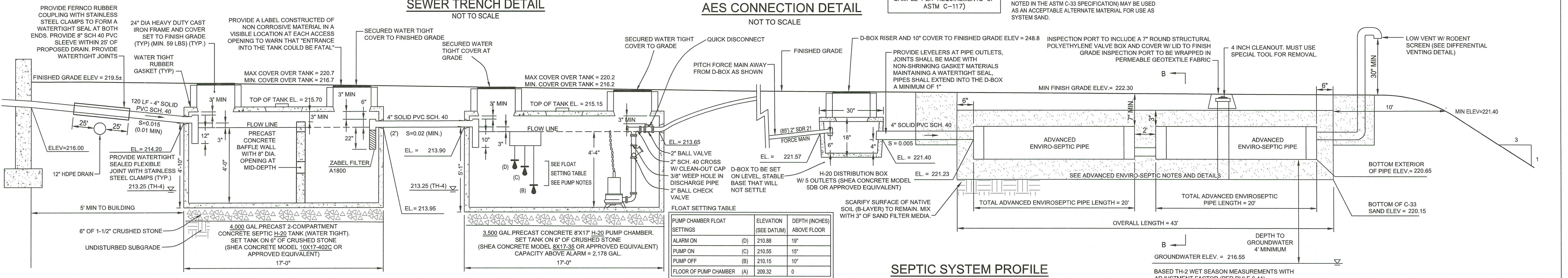
DOWNWARD FORCE:
USE SHEA CONCRETE M10X17-40C SEPTIC TANK = 65,366 LBS. (GROSS)
WEIGHT OF EMPTY 4,000GAL. 2-COMPARTMENT TANK = 55,201 LBS. (WITHOUT CONCRETE COVERS)
SOIL WEIGHT ABOVE TANK:
VOLUME OVER TANK = 17' L X 10' W X 1' (MIN) H = 170 CF
170 CF X 110 LBS./CF = 18,700 LBS.
DOWNWARD FORCE TOTAL = 55,201 + 18,700 = 73,901 LBS.

BUOYANT FORCE:
SQUARE AREA OF DISPLACEMENT = 17' (L) X 10' (W) = 170 SF
SHOW ELEVATION AT TANK (213.25) - BOTTOM OF TANK ELEVATION (209.32) = 4.45'
BUOYANT FORCE = 170 SF X 3.89 (H) X 62.4 LBS./CF = 41,265 LBS.
73,901 LB > 41,265 LB (DOWNWARD FORCE > BUOYANT FORCE)

BUOYANCY CALCULATIONS

DOWNWARD FORCE:
USE SHEA CONCRETE 3500H SEPTIC TANK = 45,929 LBS. (GROSS)
WEIGHT OF EMPTY 3,000 GAL TANK = 45,784 LBS. (WITHOUT CONCRETE COVERS)
SOIL WEIGHT ABOVE TANK:
VOLUME OVER TANK = 17.5' L X 8' W X 1' (MIN) H = 140 CF
140 CF X 110 LBS./CF = 15,400 LBS.
DOWNWARD FORCE TOTAL = 45,784 + 15,400 = 61,184 LBS.

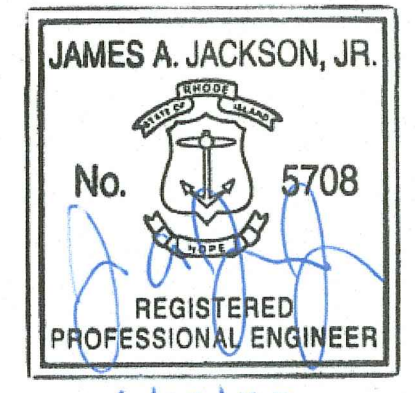
BUOYANT FORCE:
SQUARE AREA OF DISPLACEMENT = 17.5' (L) X 8' (W) = 140 SF
SHOW ELEVATION AT TANK (213.25) - BOTTOM OF TANK ELEVATION (209.82) = 4.45'
BUOYANT FORCE = 140 SF X 4.43' (H) X 62.4 LBS./CF = 38,701 LBS.
61,184 LB > 38,701 LB (DOWNWARD FORCE > BUOYANT FORCE)



FLOAT SETTING TABLE

SETTING	ELEVATION (SEE DATUM)	DEPTH (INCHES) ABOVE FLOOR
PUMP CHAMBER FLOAT		
ALARM ON (D)	210.88	19"
PUMP ON (C)	210.55	15"
PUMP OFF (B)	210.15	10"
FLOOR OF PUMP CHAMBER (A)	209.32	0

SEPTIC SYSTEM PROFILE
NOT TO SCALE



Saccoccio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.9770
fax 401.942.9775



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule

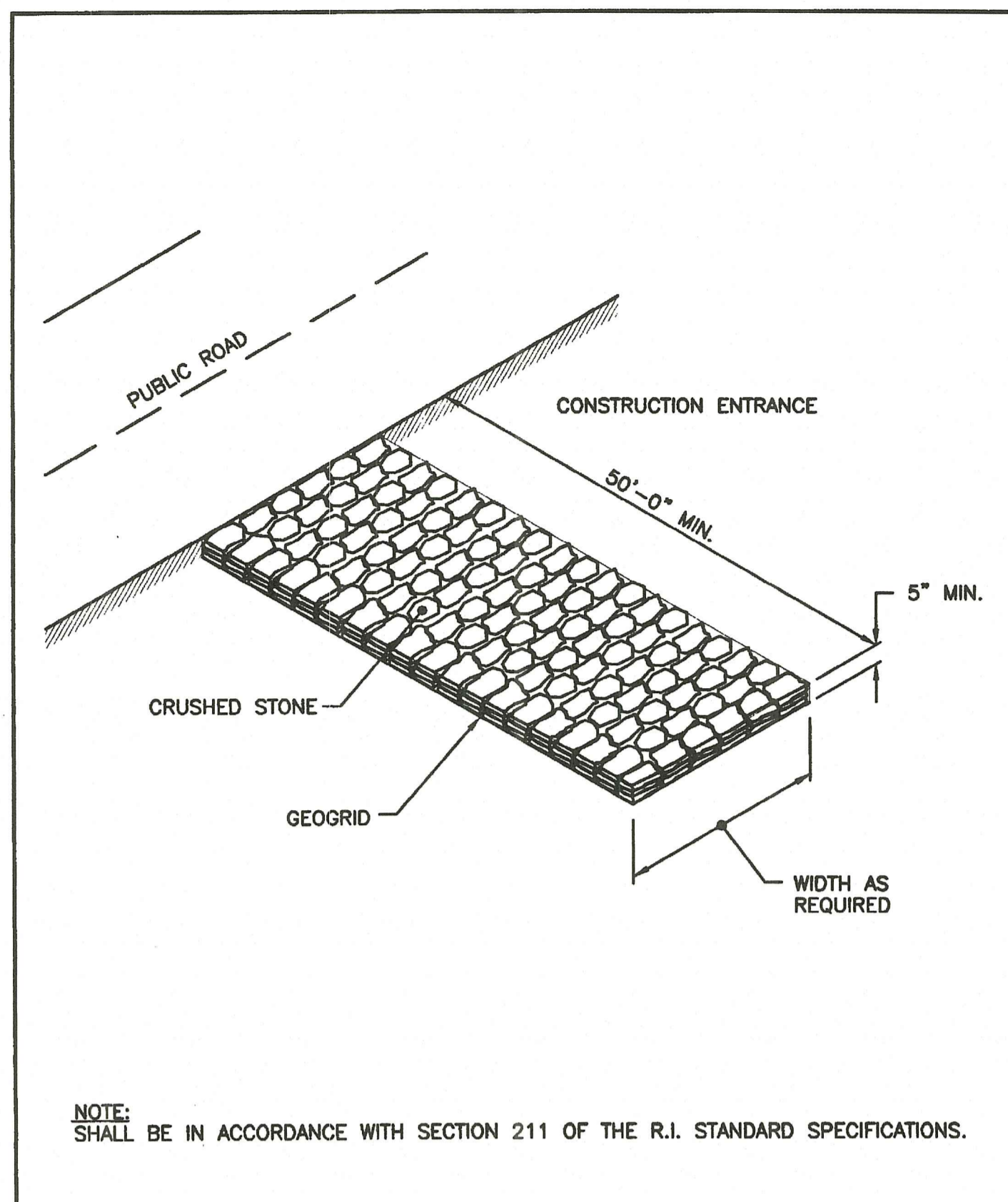
Revision Number	Revision Date
1	6/19/23 - RTC

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SHEET TITLE
OWTS DETAILS

COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.
DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

C4.2
SHEET: 9 OF: 15



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

REVISIONS		
NO.	BY	DATE

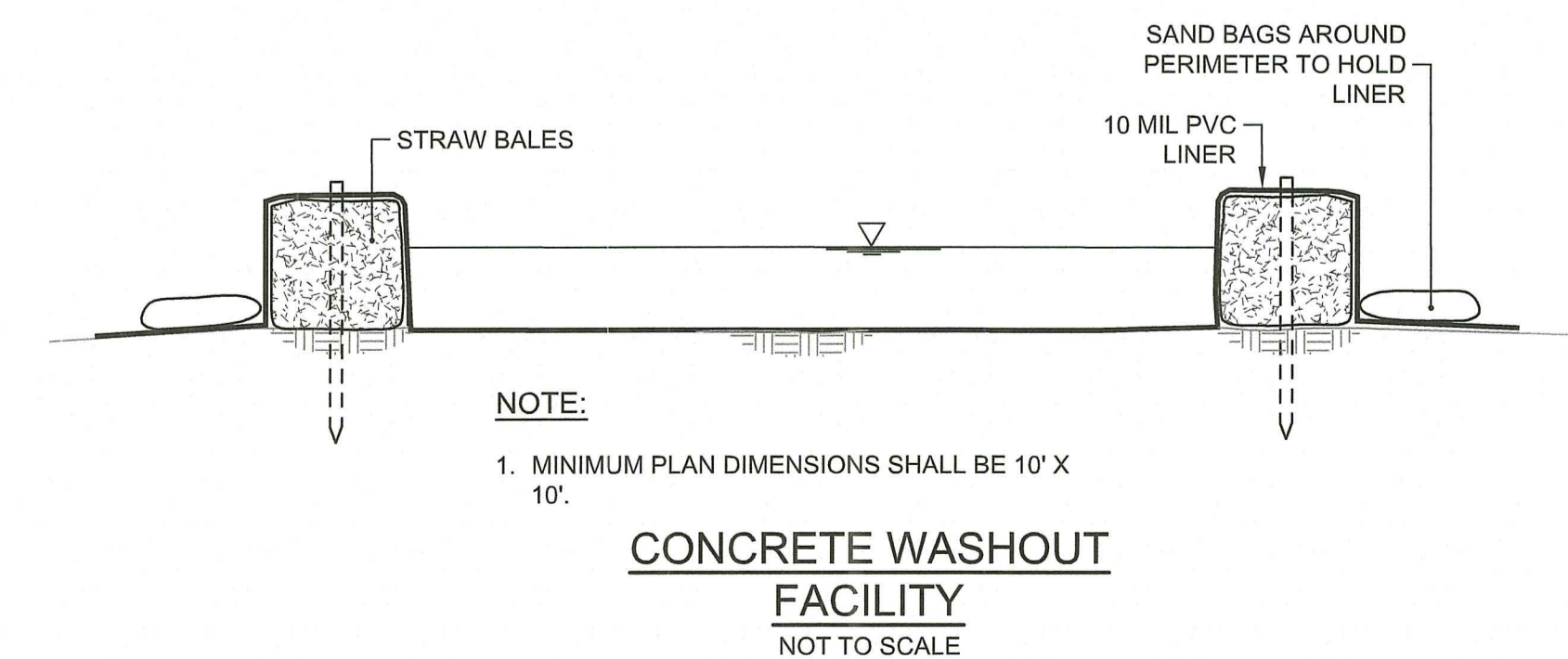
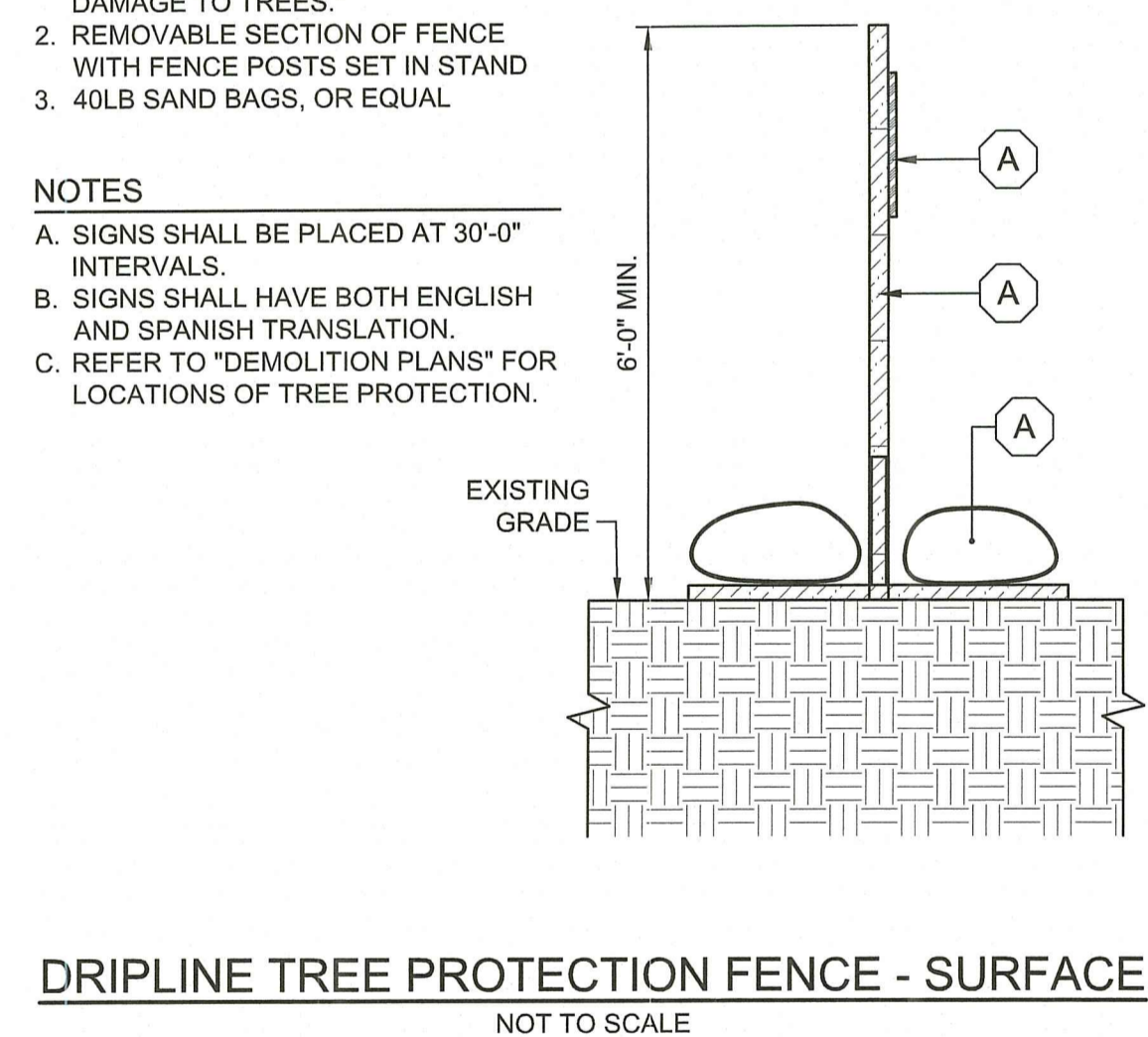
CONSTRUCTION ACCESS

R.I. STANDARD **9.9.0**

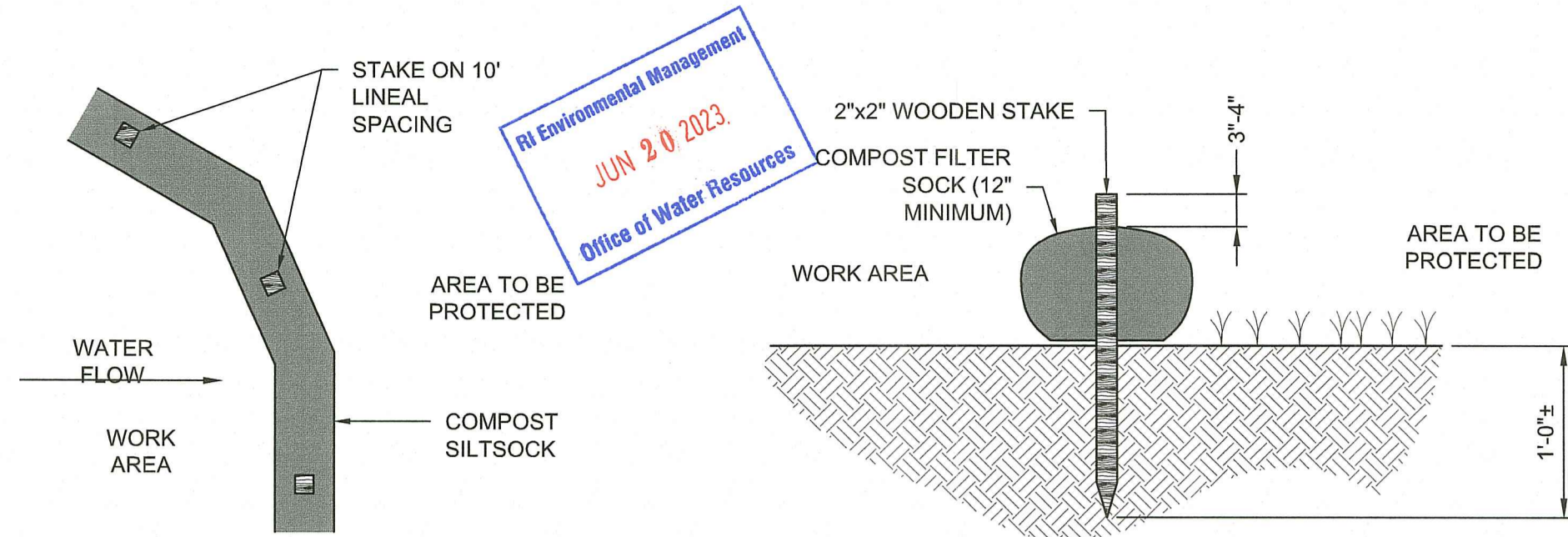
JUNE 15, 1998
ISSUE DATE

- LEGEND**
- SIGN - "KEEP OUT: SITE PROTECTION ZONE. PENALTIES ASSESSED FOR DAMAGE TO TREES."
 - REMOVABLE SECTION OF FENCE WITH FENCE POSTS SET IN STAND
 - 40LB SAND BAGS, OR EQUAL

- NOTES**
- SIGNS SHALL BE PLACED AT 30'-0" INTERVALS.
 - SIGNS SHALL HAVE BOTH ENGLISH AND SPANISH TRANSLATION.
 - REFER TO "DEMOLITION PLANS" FOR LOCATIONS OF TREE PROTECTION.



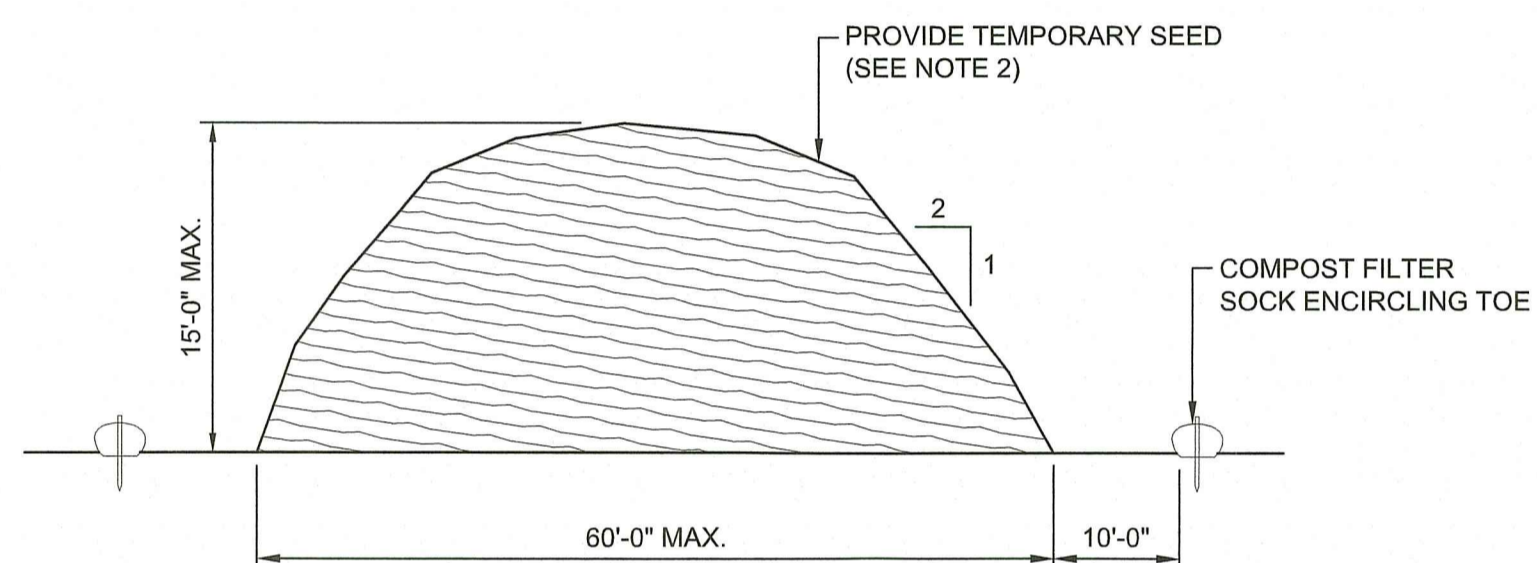
- NOTE:
- MINIMUM PLAN DIMENSIONS SHALL BE 10' X 10'.



NOTES:

- COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
- COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY ENGINEER.
- IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF NEW SOCK OVER END OF OLD SOCK, OVERLAPPING BY 2 FEET AND STACK OVERLAP. IF SOCK NETTING IS NOT JOINED, OVERLAP OLD SOCK WITH NEW ONE BY MINIMUM OF 2 FEET.

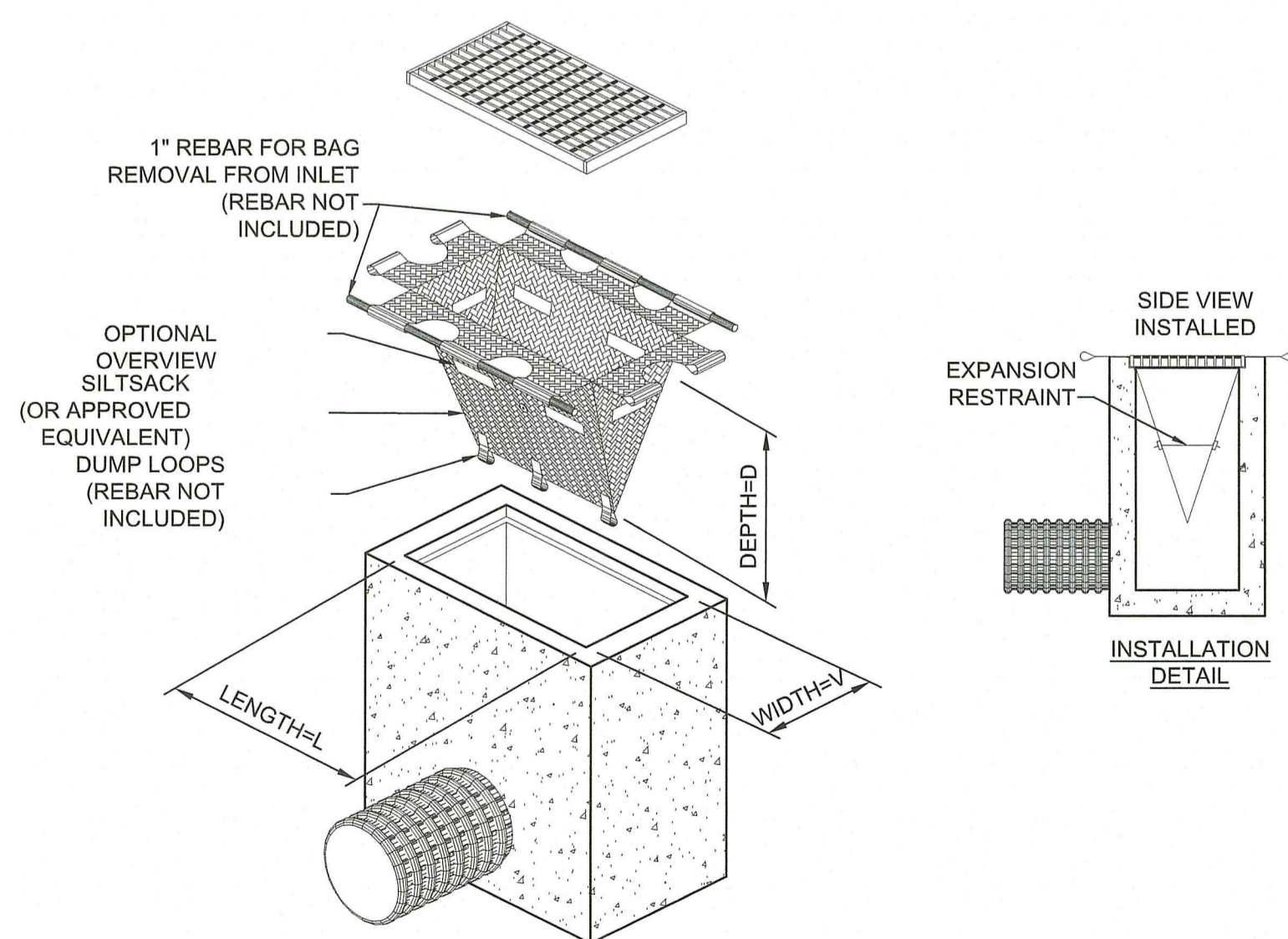
COMPOST FILTER SOCK DETAIL
NOT TO SCALE



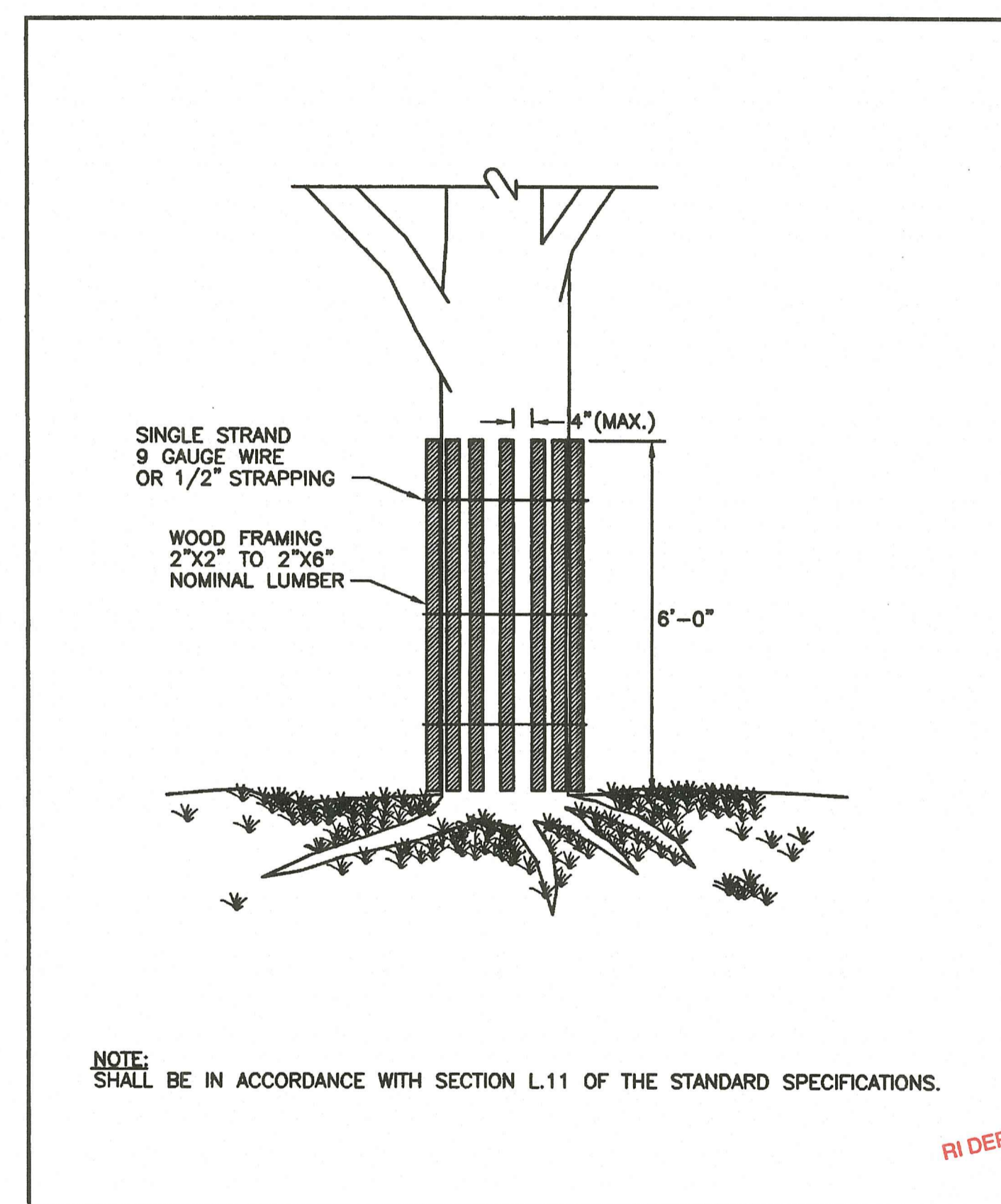
NOTES:

- STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM ENGINEER.
- STOCKPILED ERODIBLE MATERIAL THAT WILL NOT BE USED FOR GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED IMMEDIATELY FOLLOWING PLACEMENT. USE RIDOT STD. M.18.10.5 SEED MIX.

ERODIBLE MATERIAL STOCKPILE
NOT TO SCALE



TEMPORARY INLET PROTECTION
NOT TO SCALE



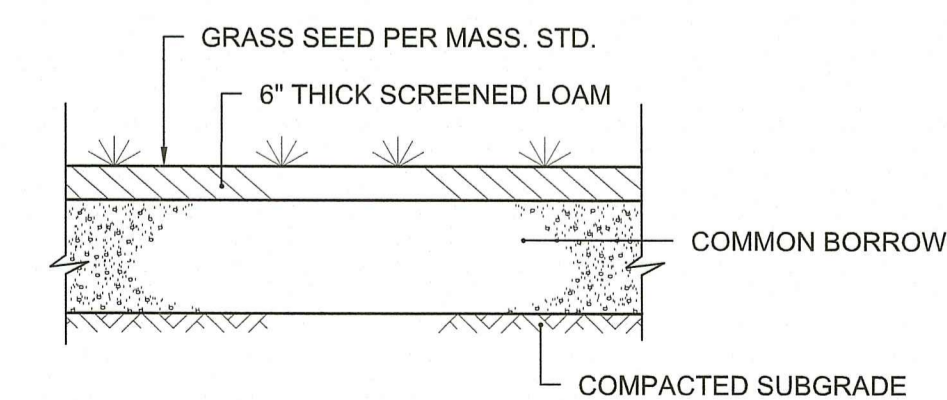
NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.

REVISIONS		
NO.	BY	DATE

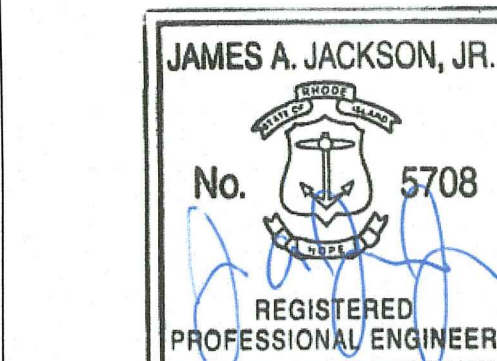
TREE PROTECTION DEVICE

R.I. STANDARD **51.1.0**

JUNE 15, 1998
ISSUE DATE



LOAM & SEED DETAIL
NOT TO SCALE



Saccoccio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.7970
fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 FILE # 23-0086
 PERMIT SET JUNE 2023
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

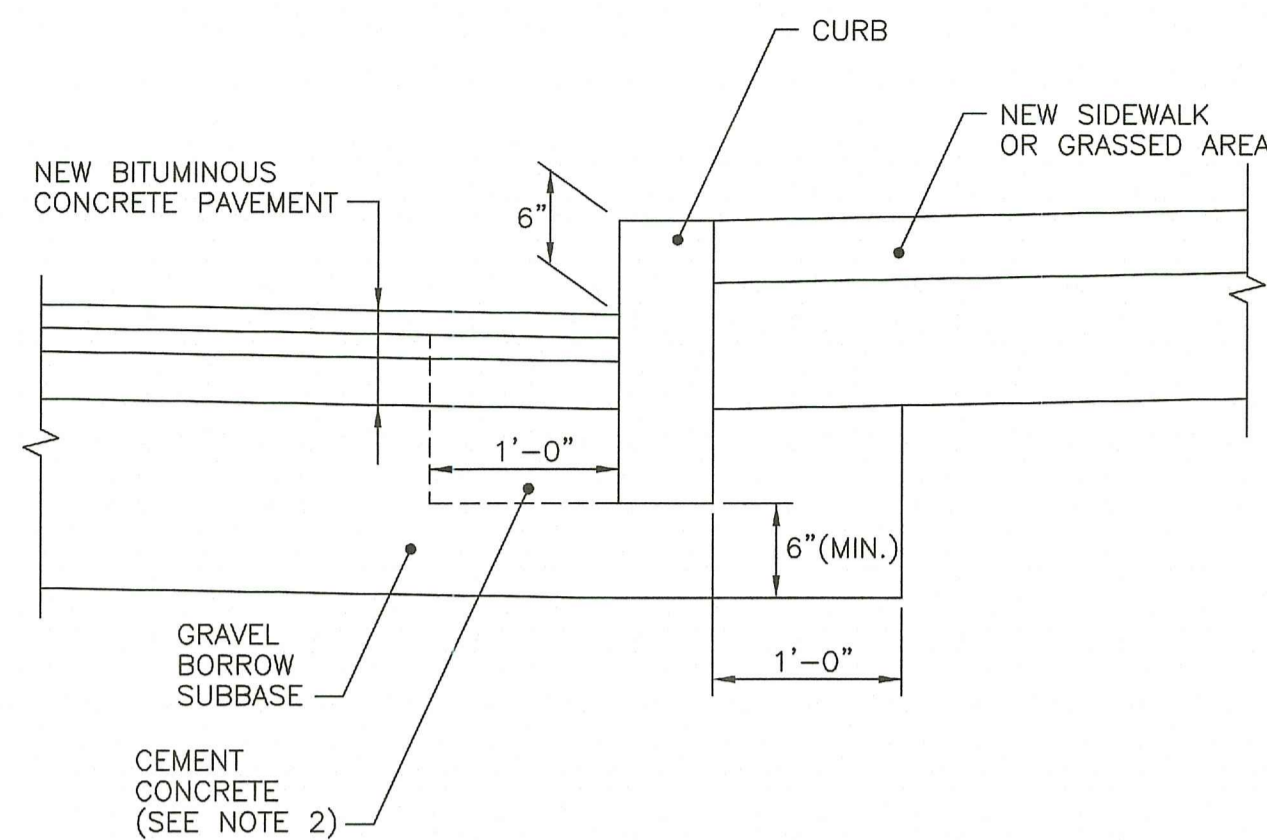
SHEET TITLE
DETAILS 1

COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

C5.1

SHEET: 10 OF: 15



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE CURB LOCK SHALL BE PROVIDED ON ALL CURBS.

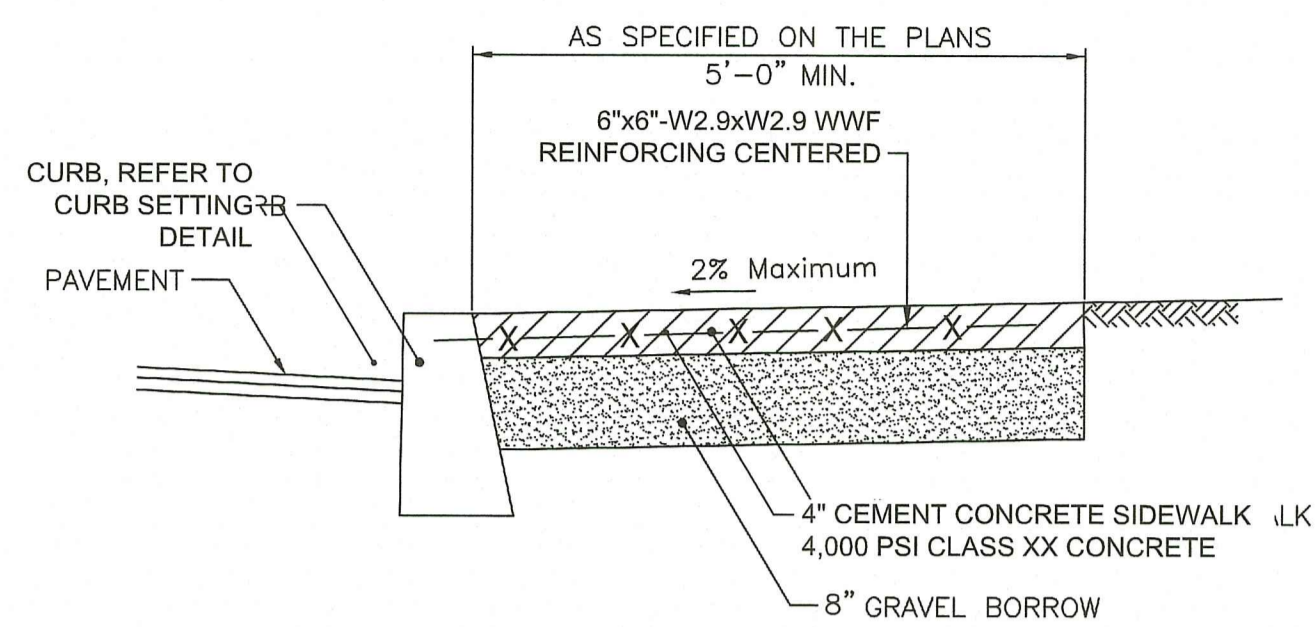
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CURB SETTING DETAIL

R.I. STANDARD 7.6.0M

NO.	BY	DATE
1	MLP	Mar 05

June 15, 1998



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 6" x 6" - W2.9 x W2.9 WELDED WIRE FABRIC REINFORCING SHALL BE IN ACCORDANCE WITH SECTION M.05.02 OF THE R.I. STANDARD SPECIFICATIONS.
 3. PROVIDE MEDIUM BROOM FINISH.

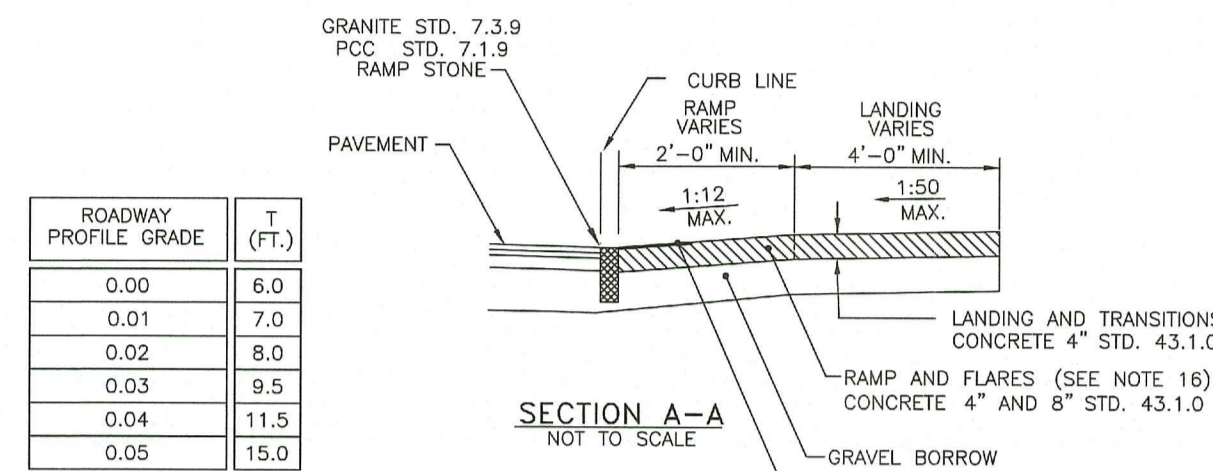
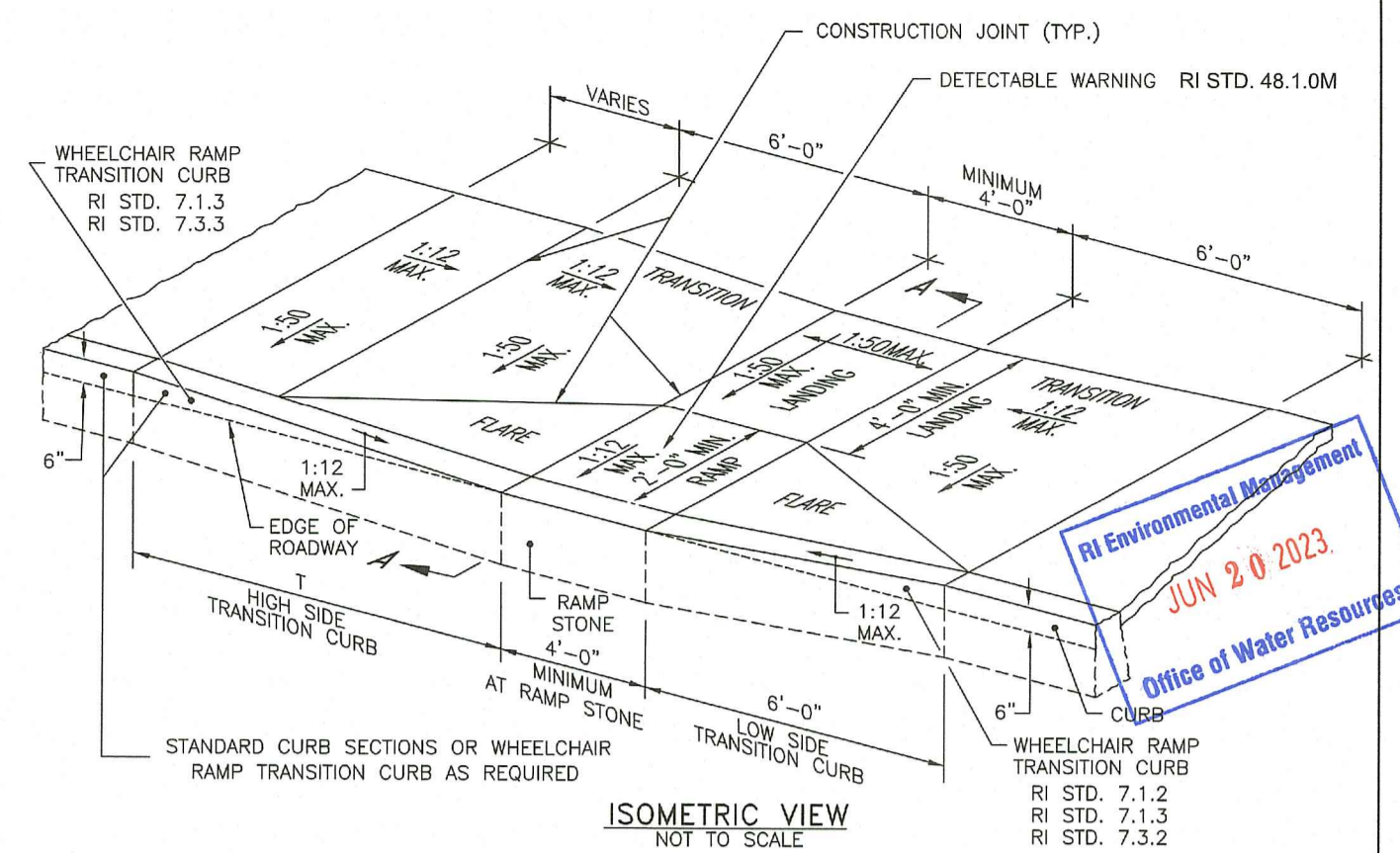
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CEMENT CONCRETE SIDEWALK

R.I. STANDARD 43.1.0M .0

NO.	BY	DATE
1	MLP	3/1/05
2	MLP	06/01/10

June 15, 1998



ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
 8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 15. DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION 942 OF THE R.I. STANDARD SPECIFICATIONS.
 16. 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.

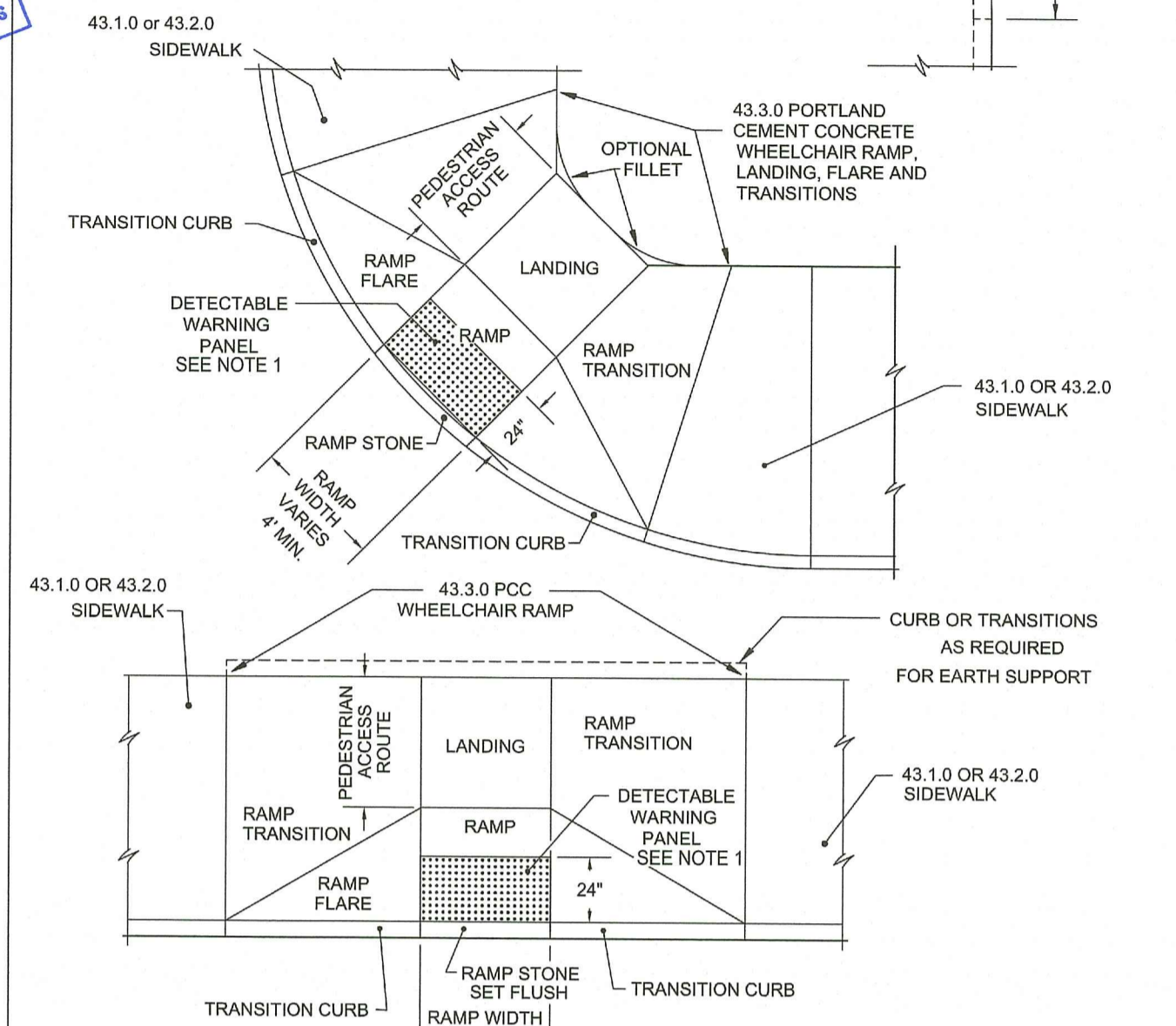
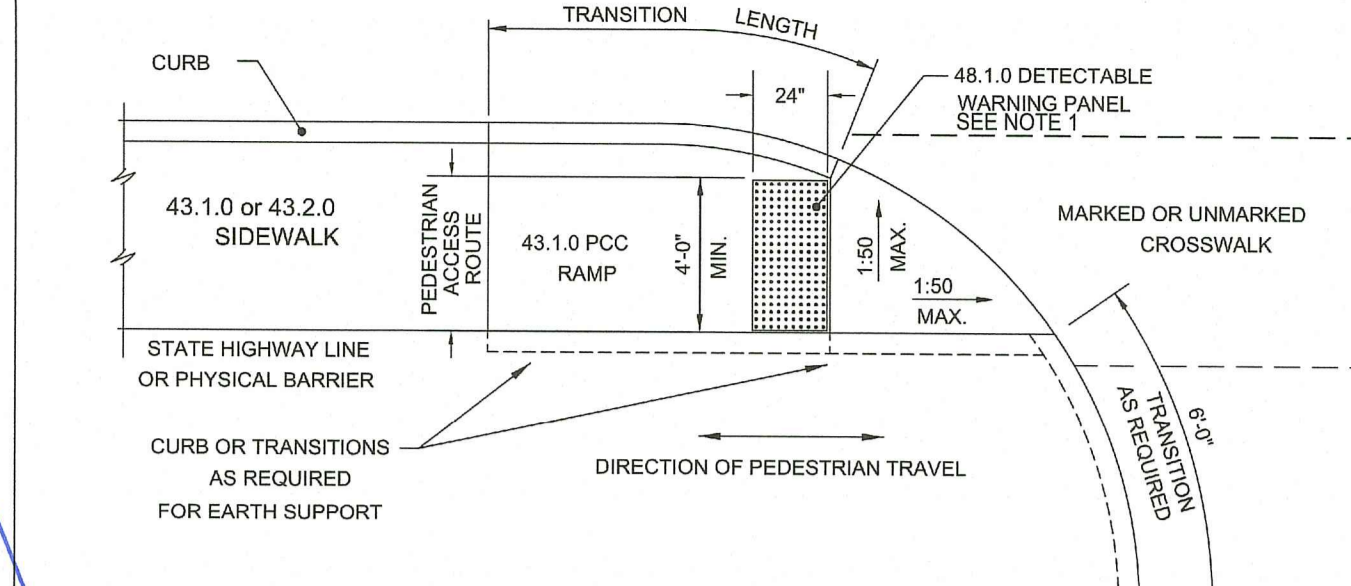
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

WHEELCHAIR RAMP

R.I. STANDARD 43.3.0M

NO.	BY	DATE
1	MLP	Dec 2000
2	MLP	Jun 2008
3	MLP	Sep 2012

June 15, 1998



- NOTES:
1. CONTRACTOR SHALL PROVIDE DETECTABLE WARNING PAVERS. REFER TO DETAIL. PLASTIC PANEL WILL NOT BE ACCEPTED.

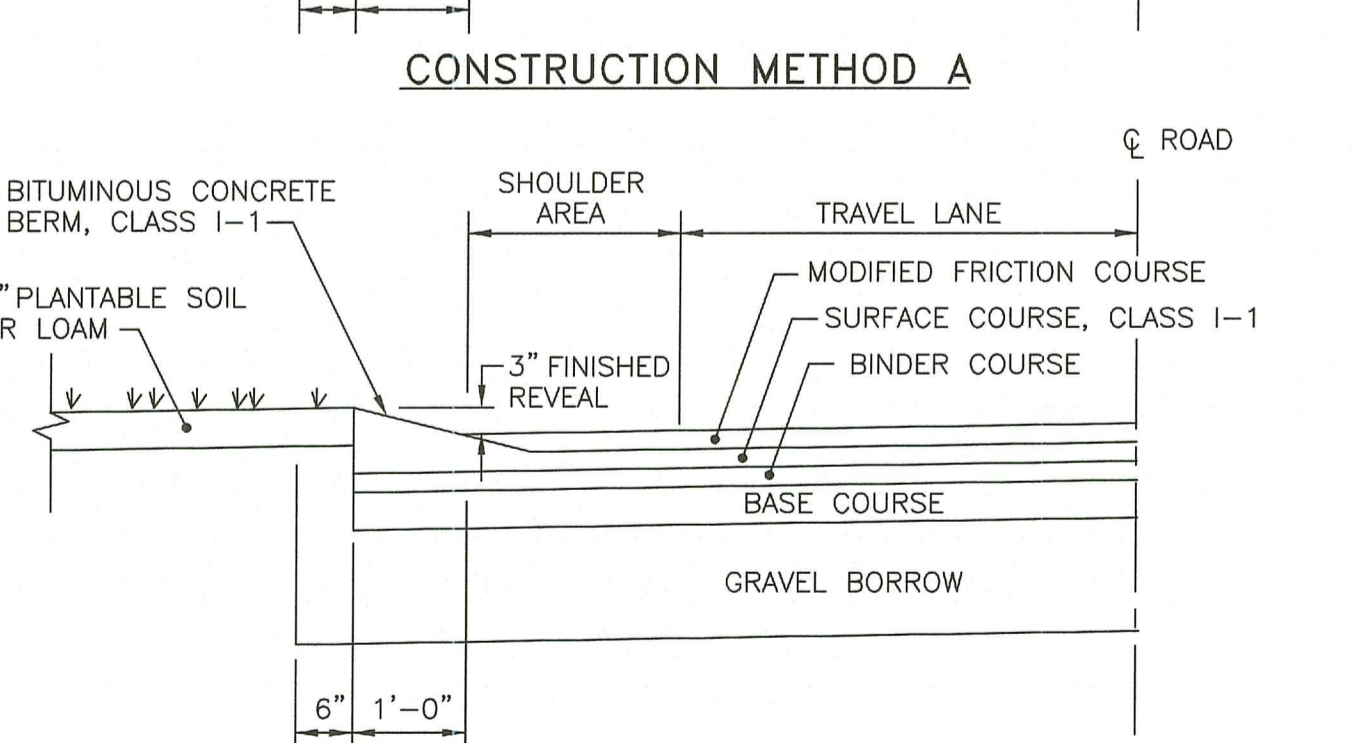
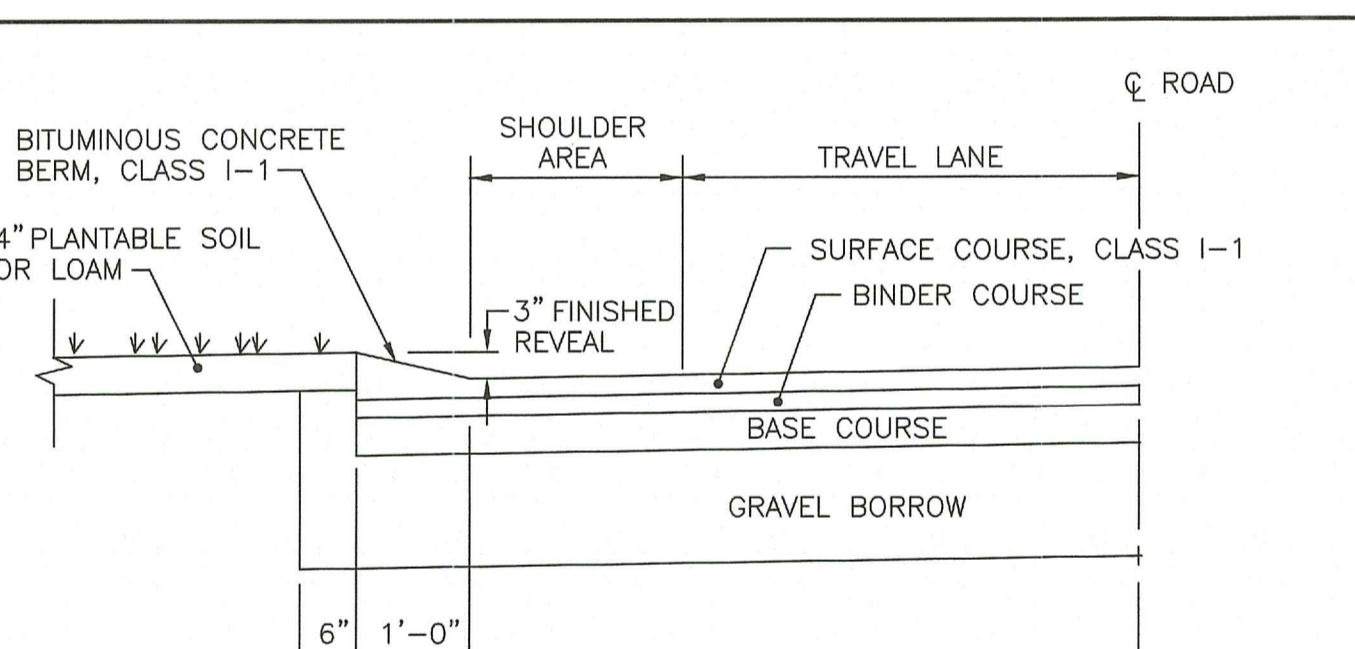
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

DETECTABLE WARNING PANEL PLACEMENT

R.I. STANDARD 48.1.0M

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Sep 2012

June 15, 1998



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

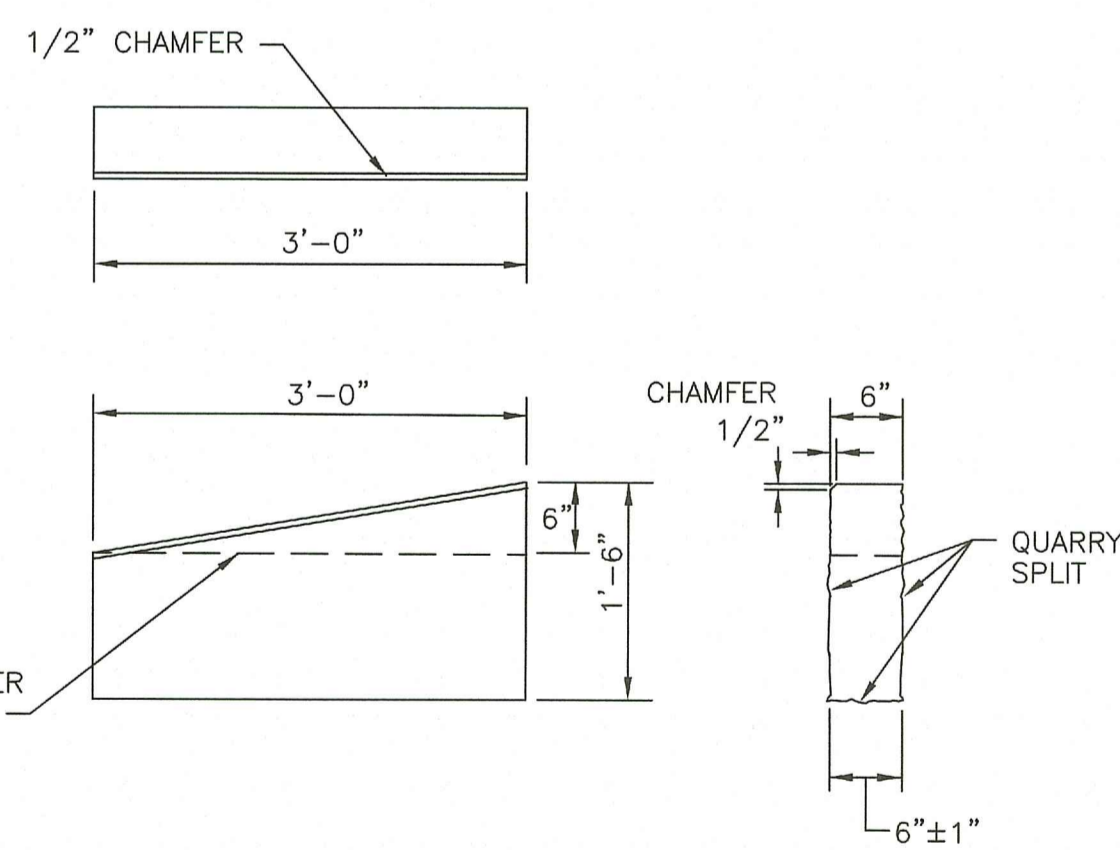
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

BITUMINOUS BERM

R.I. STANDARD 7.5.1

NO.	BY	DATE
1	MLP	Mar 05

June 15, 1998



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

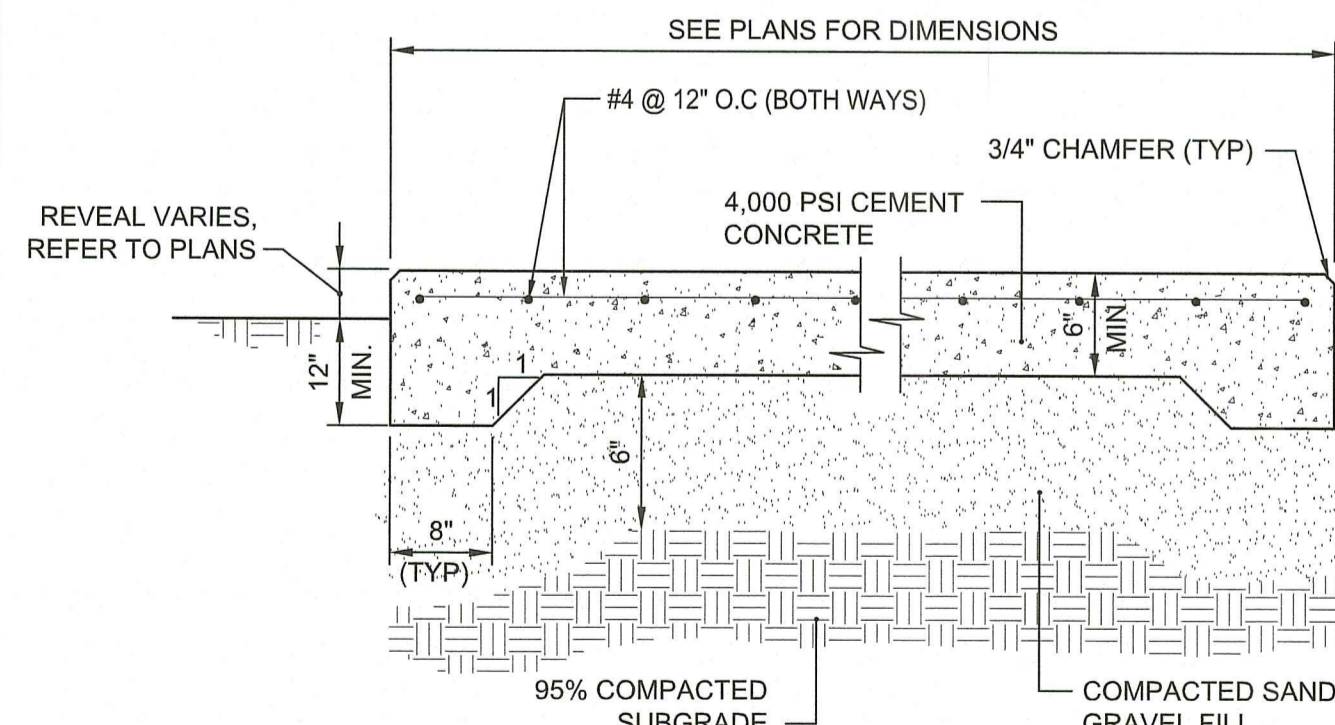
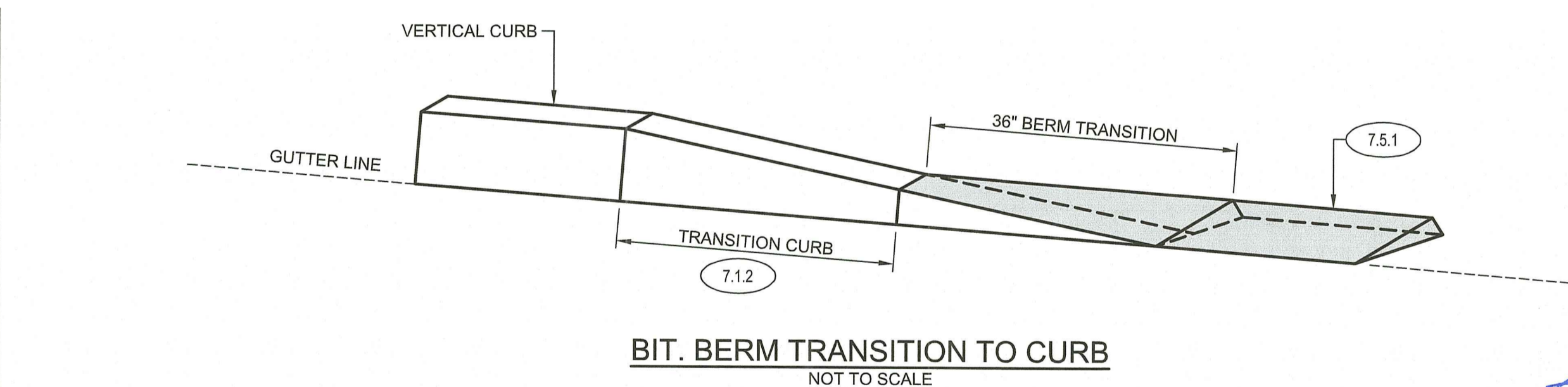
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

3'-0" GRANITE TRANSITION CURB

R.I. STANDARD 7.3.1

NO.	BY	DATE
1	MLP	Mar 2005
2	MLP	Jun 2010
3	MLP	Sep 2012

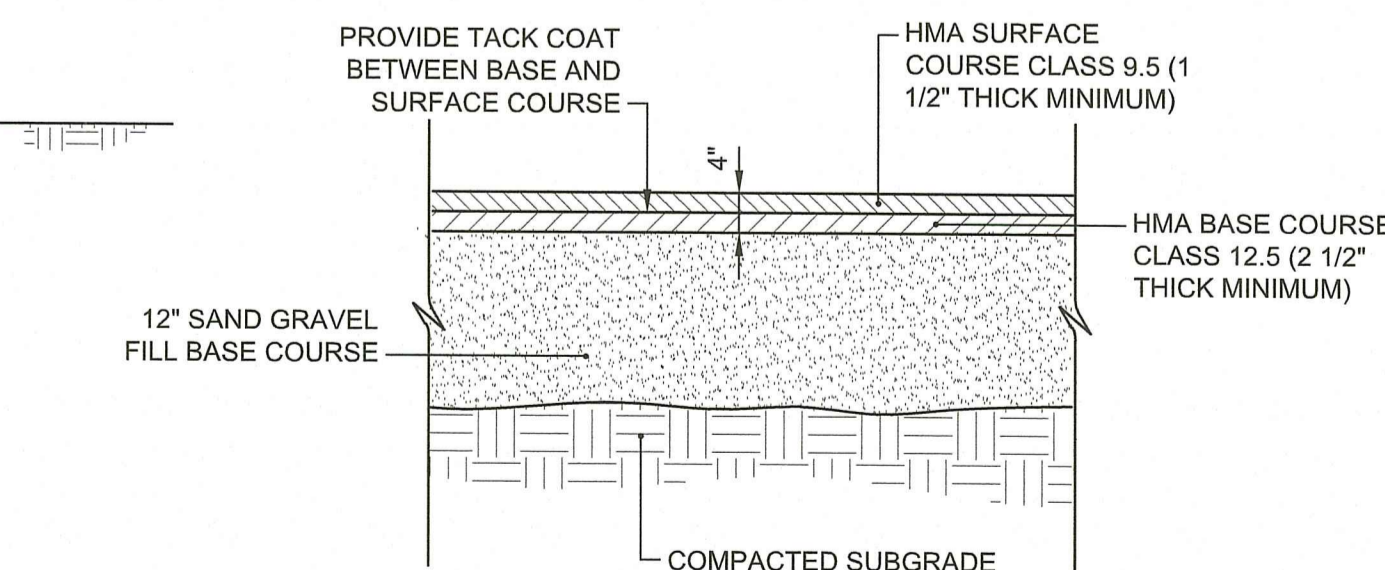
June 15, 1998



- NOTES:
1. REINFORCING TO BE #4 GRADE 60 BARS AND SHALL CONFORM TO ASTM STANDARD A-615 OF THE LATEST DATA. REINFORCING RODS TO BE LOCATED IN THE CENTER OF THE SLAB, WITH A MINIMUM OF 2" CLEARANCE FROM FACE OF CONCRETE.
 2. CONTRACTOR SHALL COORDINATE LOCATIONS OF OPENINGS, FENCE POSTS, OR OTHER FEATURES IN SLAB.

CEMENT CONCRETE PAD

NOT TO SCALE

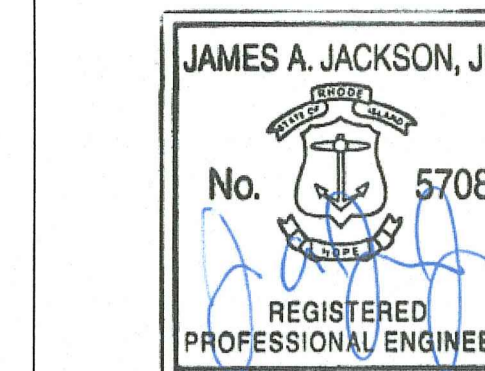


- NOTE:
1. SUBMIT JOB MIX FORMULAS TO ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.

HOT MIX ASPHALT PAVEMENT

NOT TO SCALE

R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 25 2008 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Saccoccio & Associates, Inc.
1085 Park Avenue tel 401.942.9790
Cranston, Rhode Island fax 401.942.9795
02910

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

PERMIT SET
JUNE 2023

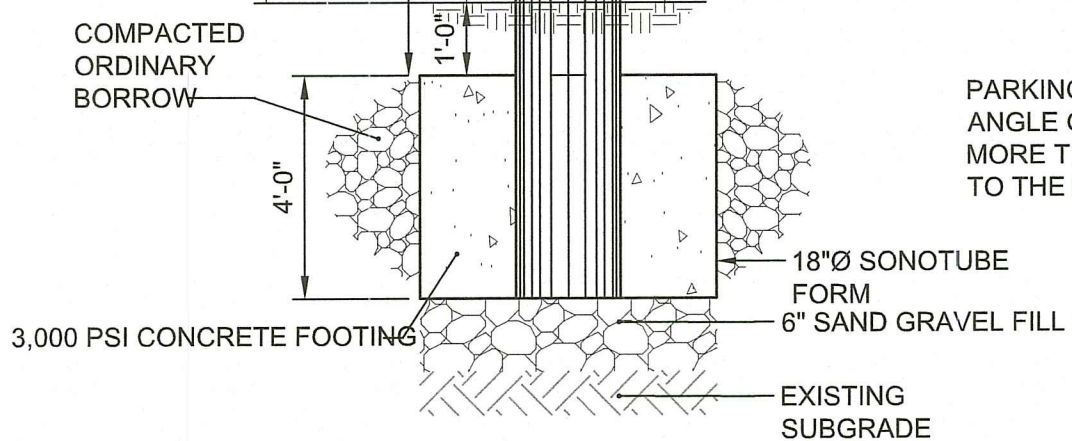
SHEET TITLE
DETAILS 2

COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

C5.2

SHEET: 11 OF: 15



WITH BOLLARD

SIGN MOUNTING NOTES:

1. ALL LAG SCREWS, BOLTS AND WASHERS SHALL BE GALVANIZED 5/16"x2 1/2" LONG UNLESS OTHERWISE NOTED.
2. WASHERS SHALL BE 0.07" THICK.
3. ALL SIGN COLORS, RADII AND BORDERS AS SPECIFIED IN "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
4. SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
5. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOT MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1'-0" MIN.) FROM THE EDGE OF CURB FACE.

HANDICAP SIGN NOTES:

1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS AS SPECIFIED BY THE AMERICAN DISABILITIES ACT (ADA) AND VA SUPPLEMENT PC 18-13.
2. SIGN(S) SHALL BE LOCATED SO THEY CANNOT BE OBTSCURED BY A VEHICLE PARKED IN THE SPACE.
3. FOR HANDICAPPED VAN SPACE USE SIGN AS DETAILED.
4. FOR HANDICAPPED SPACE FOR AUTOMOBILES USE ONLY HANDICAPPED PARKING SIGN.

ACCESSIBLE SIGN MOUNTING
NOT TO SCALE

LEGEND	DESIGNATION	SIZE
	R1-1	(30" x 30")
	R7-8	(12" x 18")
	R7-8P	(12" x 6")
	R5-1	(24" x 24") (30" x 30")
	R6-1	(12" x 36")

NOTE:

1. SIGNS SHALL BE CONSTRUCTED OF TYPE III REFLECTORIZED SHEETING AND IN ACCORDANCE WITH MUTCD REQUIREMENTS, LATEST REVISION.
2. THE CONTRACTOR SHALL SUBMIT SAMPLE SIGNS TO THE OWNER FOR APPROVAL PRIOR TO FURNISHING.
3. LETTERS, COLOR, AND FONT FOR NON-STANDARD SIGNS SHALL BE SELECTED BY THE OWNER.
4. ALL SIGN MOUNTING SHALL CONFORM TO R.I. STD. DETAIL 24.2.0 EXCEPT R7-8 AND R7-8P. R7-8 AND R7-8P SHALL CONFORM TO ACCESSIBLE SIGN MOUNTING DETAIL.
5. "KCWA EMPLOYEE PARKING" AND "AUTHORIZED PERSONNEL ONLY" SHALL BE 24"x18".

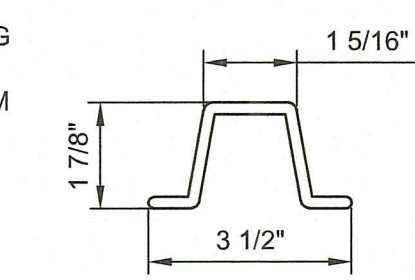
SIGN SCHEDULE

NOTE:

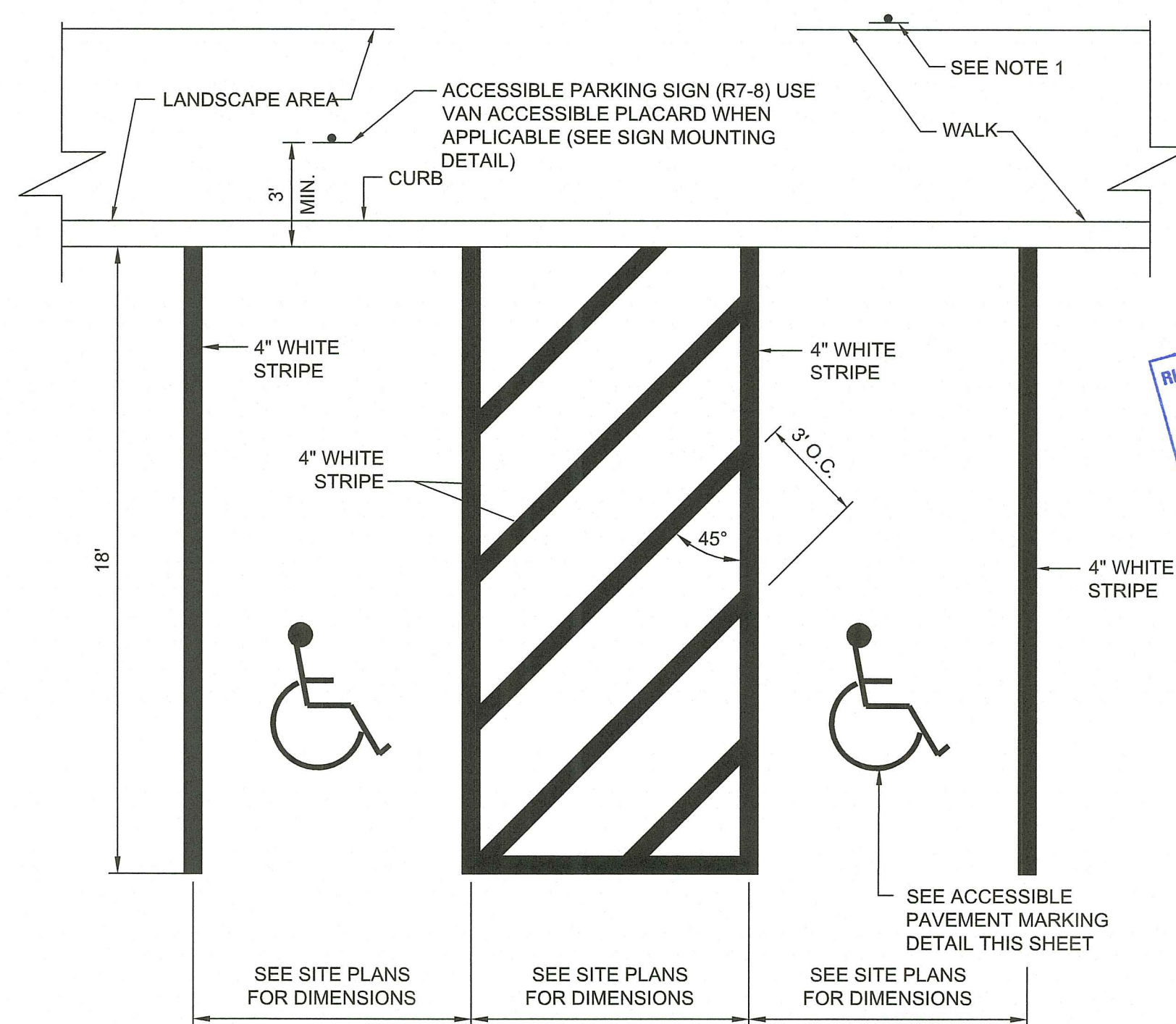
5/16" x 2-1/2" GALVANIZED BOLTS & WASHERS

STEEL SPECIFICATION - A.S.T.M. DESIGNATION A499-64 ZINC (HOT GALVANIZED) SPECIFIED BY A.S.T.M. A 123.

WT./FT.	3.00 #	4
Mom. Ix-x	0.484in	3
Sec Mod x-x	0.589in	4
Mon Iy-y	0.866in	4
Sec Mod y-y	0.506in	3

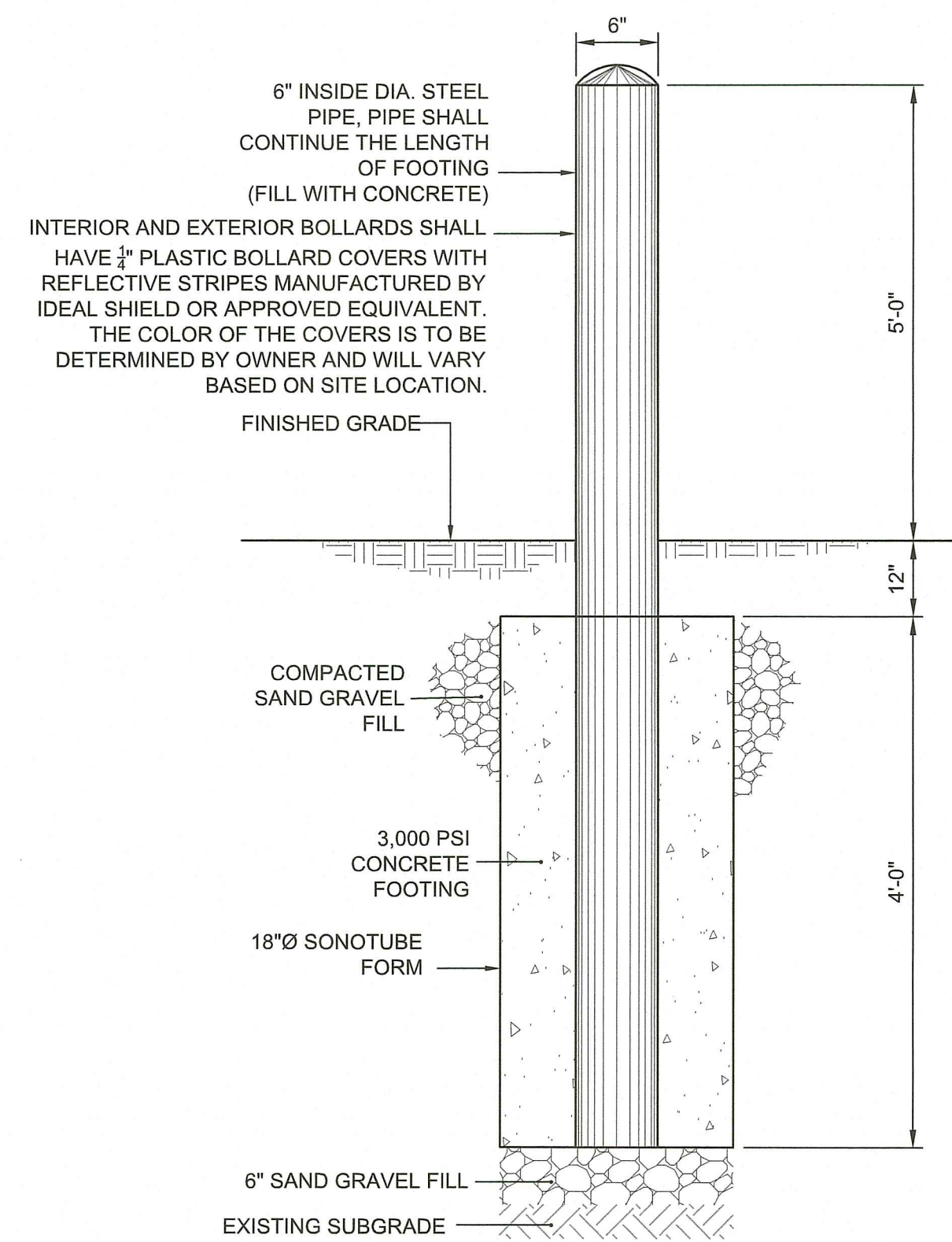


WITHOUT BOLLARD

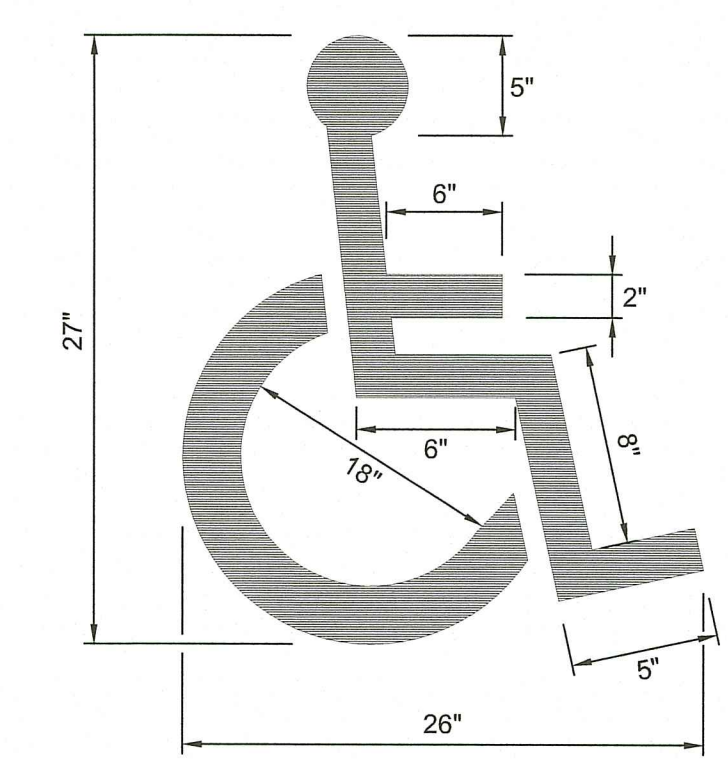


- NOTES:**
1. WHERE STALLS ABUT SIDEWALK, PARKING SIGNS SHOULD BE PLACED AT BACK EDGE OF SIDEWALK.
 2. ALL PAVEMENT MARKINGS TO BE EPOXY RESIN.

ACCESSIBLE PARKING STALLS @ 90°
NOT TO SCALE

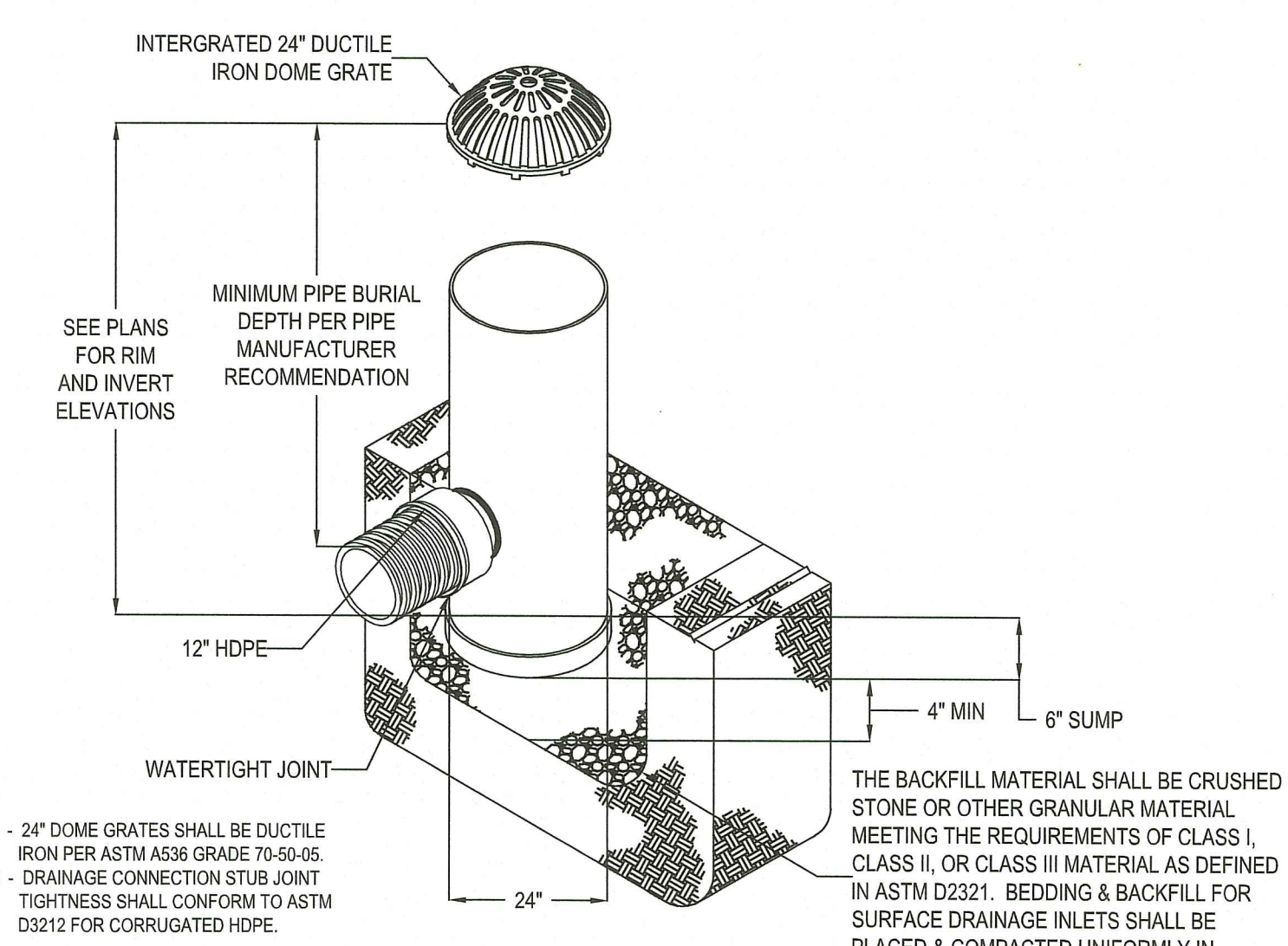


BOLLARD DETAIL
NOT TO SCALE

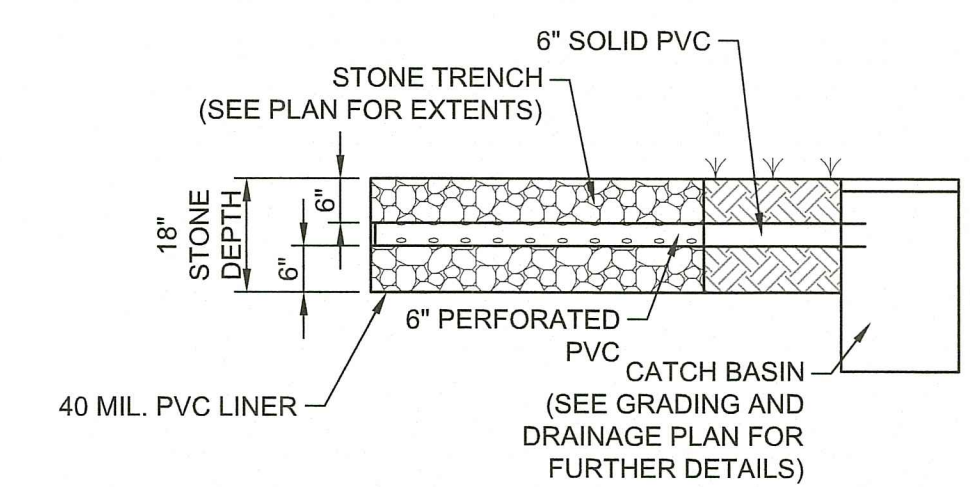


NOTE:
ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.

ACCESSIBLE PAVEMENT MARKING
NOT TO SCALE

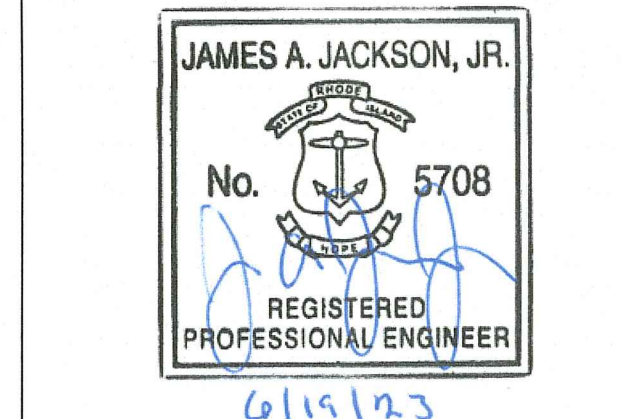


NYLOPLAST DRAIN BASIN WITH DOME GRATE
NOT TO SCALE



STONE TRENCH DETAIL
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Saccoccio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.7970
fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

PERMIT SET
JUNE 2023

**SHEET TITLE
DETAILS 3**

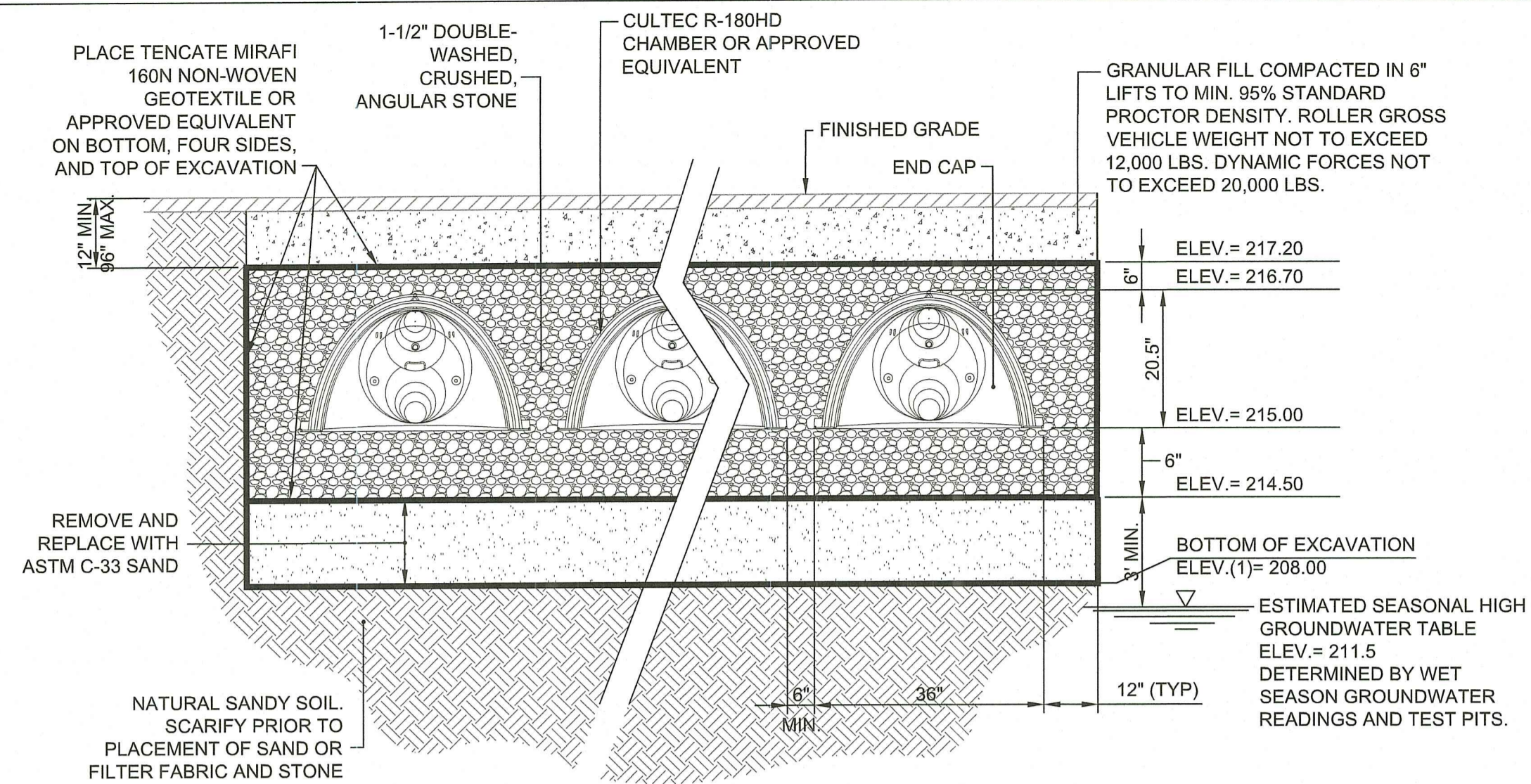
COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00

CHECKED BY: CW DATE: JUNE 2023

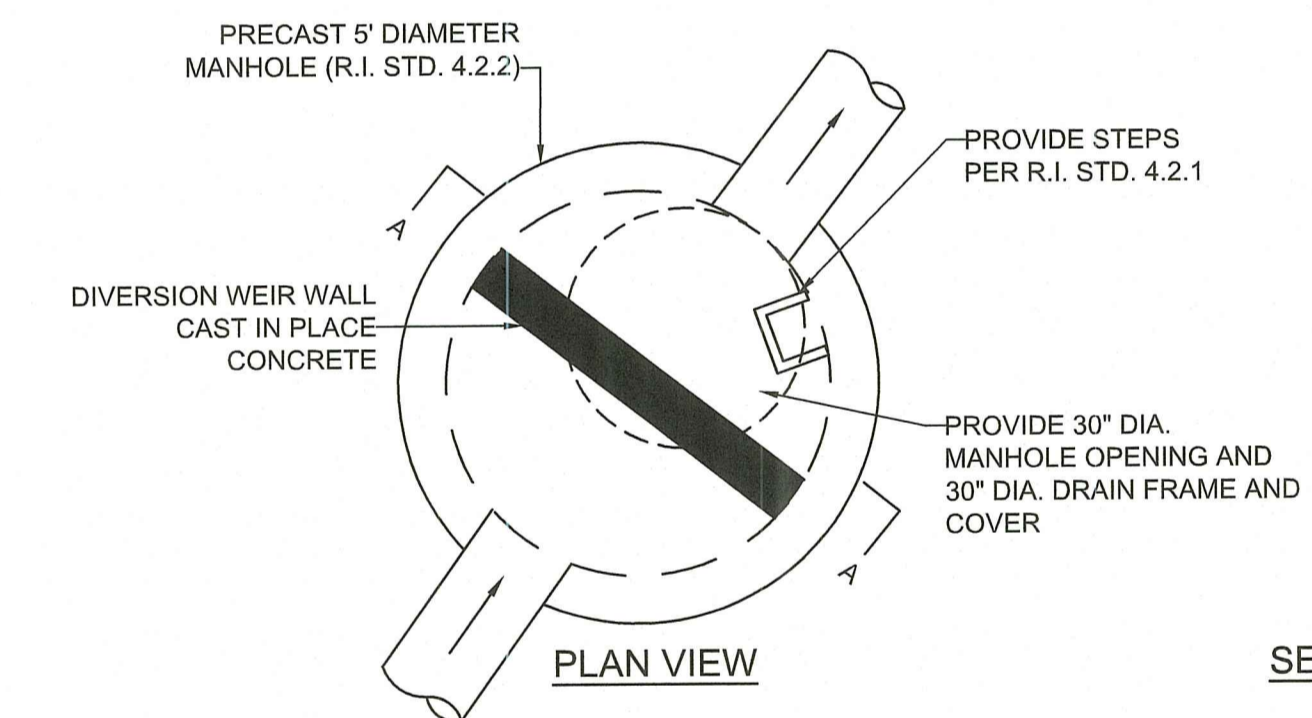
C5.3

SHEET: 12 OF: 15

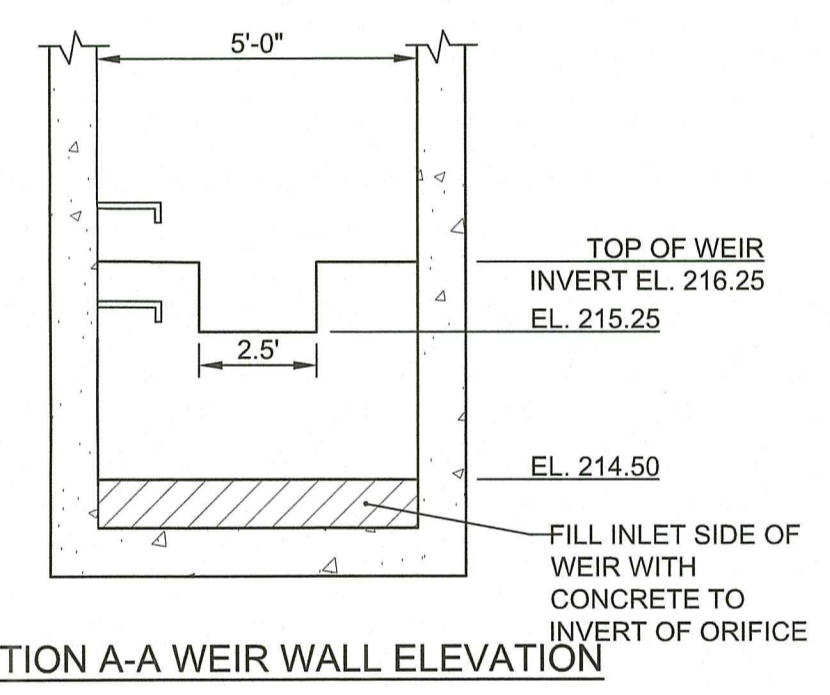


- NOTES:**
- REMOVE AND REPLACE TO NATURAL SOIL (ASSUMED 120").
 - CONTRACTOR SHALL TAKE PRECAUTION NOT TO COMPACT SUBGRADE.
 - CONTRACTOR SHALL NOT PLACE OR OPERATE MACHINERY ON SUBGRADE.
 - CONTRACTOR SHALL NOTIFY ENGINEER (48 HRS MIN) PRIOR TO EXPOSING SUBGRADE TO SCHEDULE INSPECTION.
 - ONCE CONTRACTOR HAS SUBGRADE EXPOSED, THE ENGINEER SHALL BE CONTACTED FOR INSPECTION.
 - CONSTRUCTION OF THE SYSTEM SHALL NOT COMMENCE UNTIL ENGINEER INSPECTS SUBGRADE AND CRUSHED STONE AND GRANTS PERMISSION TO PROCEED.
 - CONTRACTOR SHALL INSTALL UNDERGROUND INFILTRATION SYSTEM PER MANUFACTURERS RECOMMENDATIONS.
 - SYSTEM TO BE 17 CHAMBERS WIDE BY 17 CHAMBERS LONG (289 CHAMBERS TOTAL).
 - CULTEC CHAMBERS PROPOSED FOR STORMWATER DESIGN, OR APPROVED EQUIVALENT. IF AN ALTERNATIVE CHAMBER SPECIFICATIONS IS BEING PROPOSED THAT DEVIATES FROM THE 17 X 17 (289 TOTAL) R-180HD INFILTRATION FIELD, A PERMIT MODIFICATION MUST BE FILED WITH RIDEM.

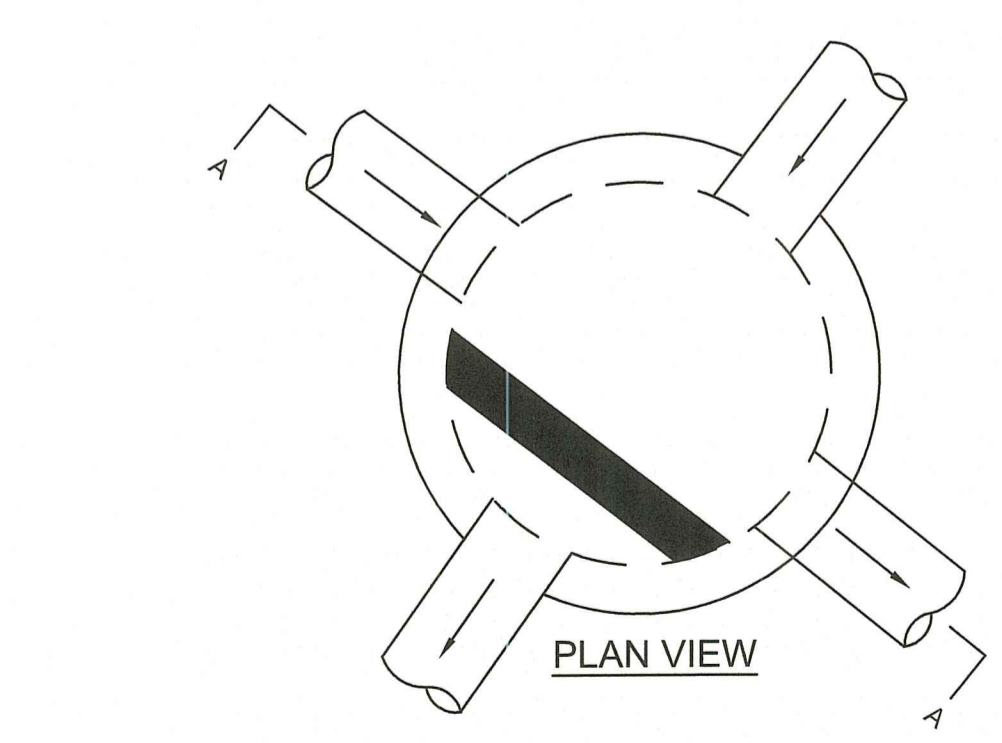
CULTEC R180HD INFILTRATION SYSTEM DETAIL
NOT TO SCALE



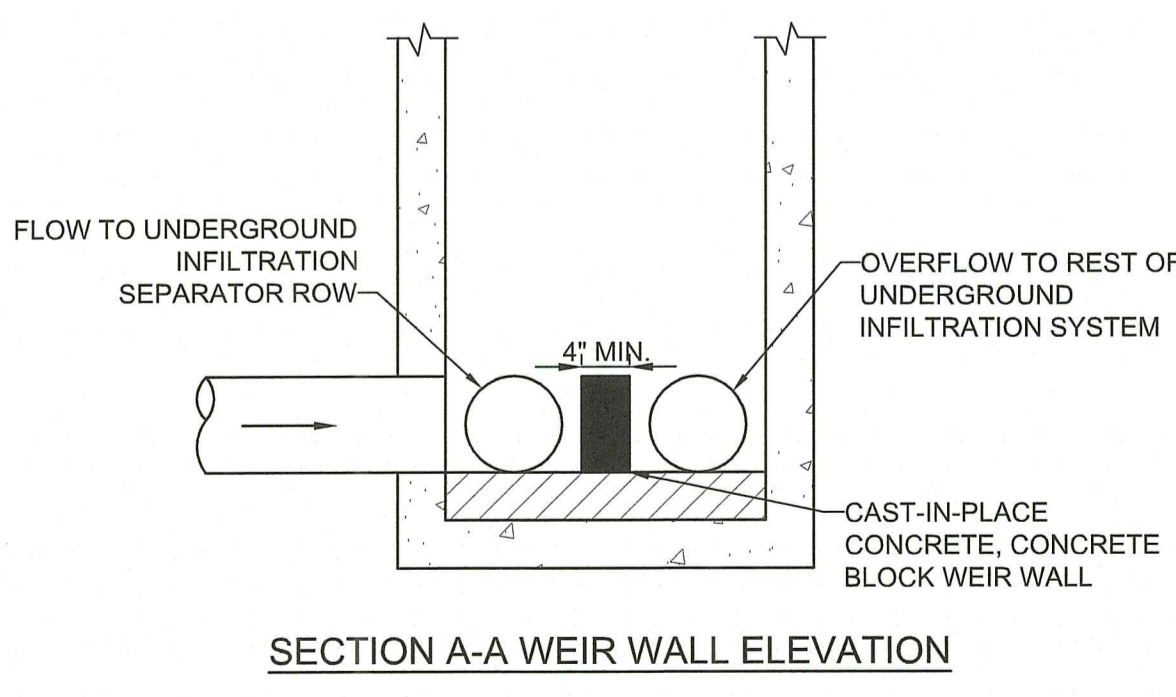
OUTLET CONTROL STRUCTURE (OCS-01)
NOT TO SCALE



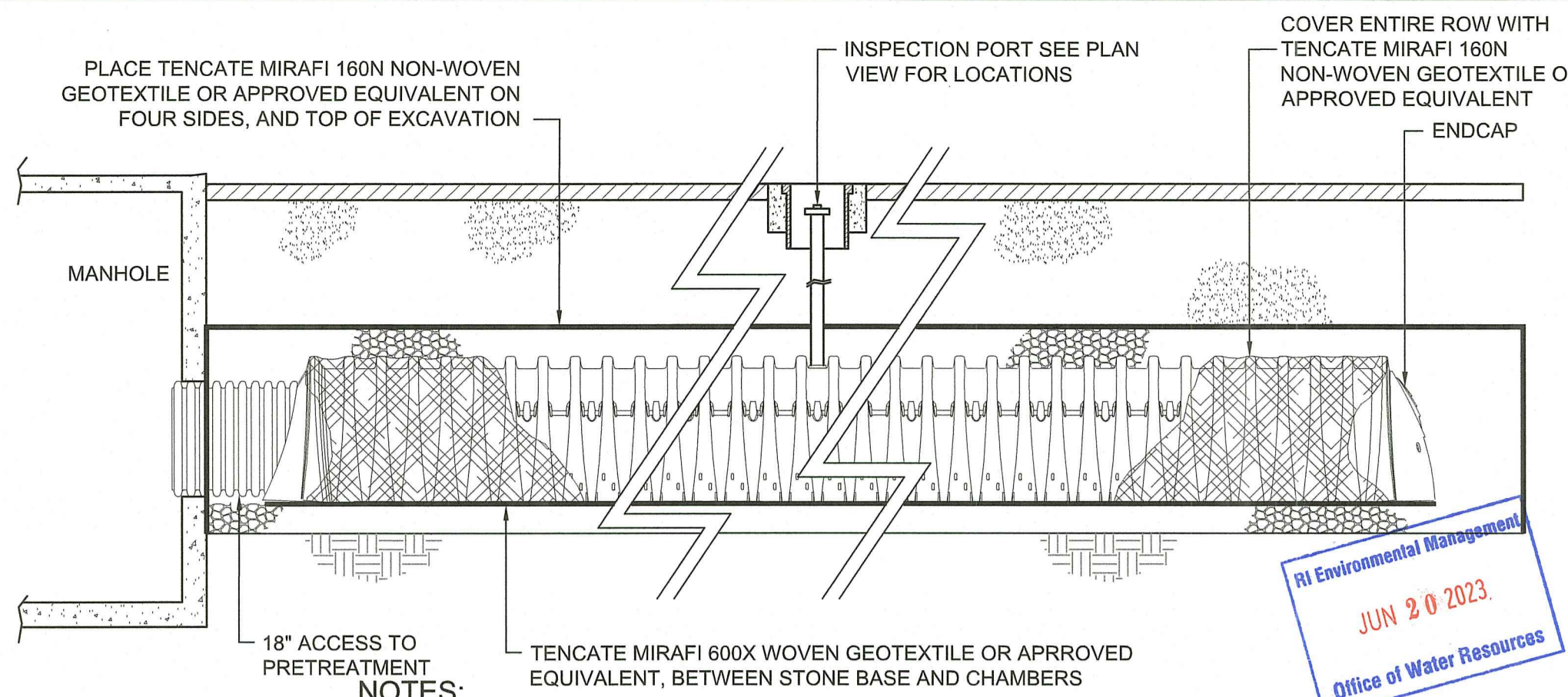
SECTION A-A WEIR WALL ELEVATION



TYPICAL DIVERSION MANHOLE DETAIL (DIV-01)
NOT TO SCALE

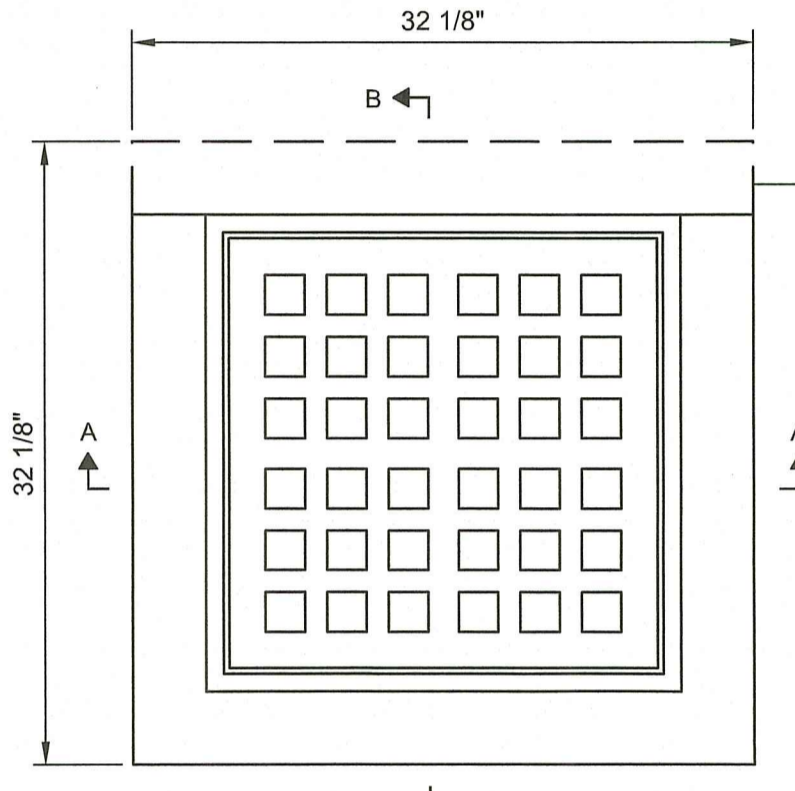


SECTION A-A WEIR WALL ELEVATION

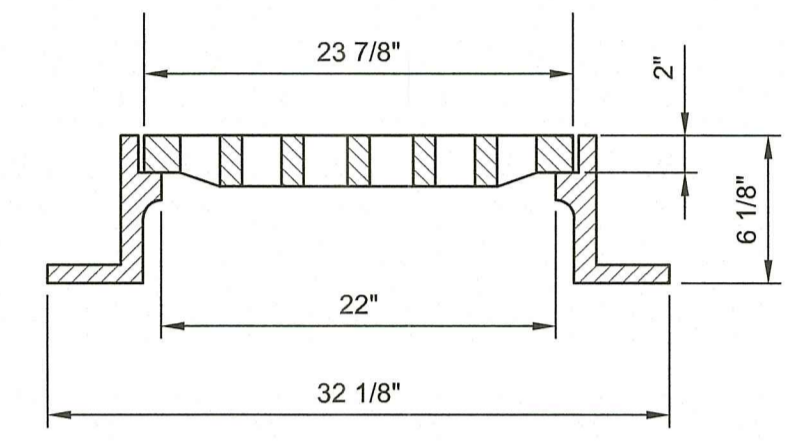


NOTES:
PRETREATMENT ROW CONSTRUCTION IS THE SAME AS OTHER ROWS WITH THE EXCEPTION OF THE WOVEN AND NON-WOVEN GEOTEXTILES BEING PLACED BENEATH AND AROUND THE ROW RESPECTIVELY.

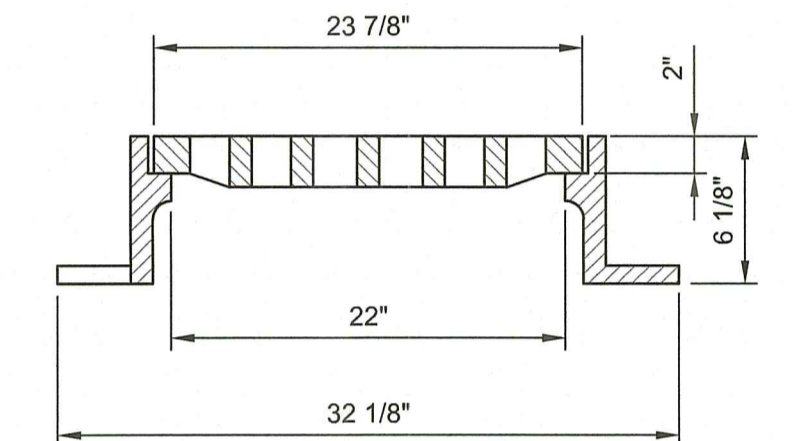
PRETREATMENT ROW DETAIL
NOT TO SCALE



PLAN



SECTION A-A

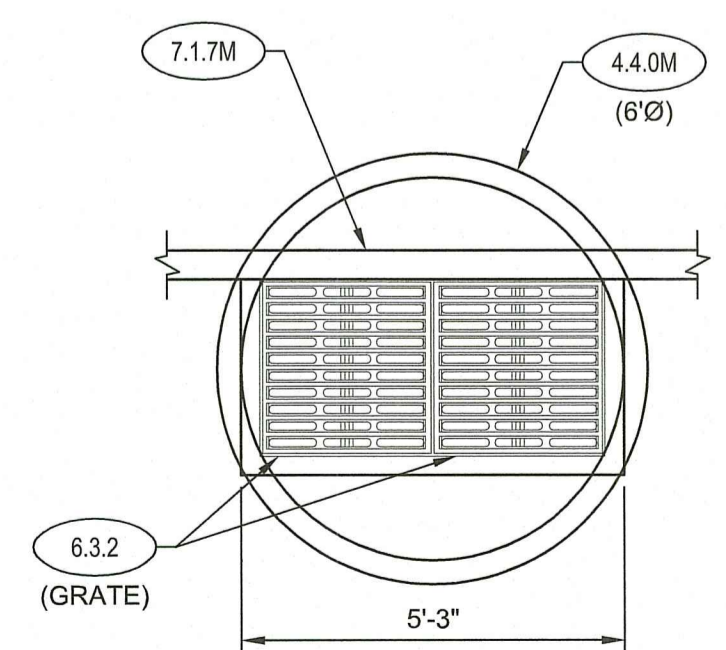


SECTION B-B

- NOTES:**
- NEENAH FOUNDRY R-3405-A OR APPROVED EQUIVALENT.
 - FRAME AND GRATE SHALL MEET H-20 LOADING CRITERIA.

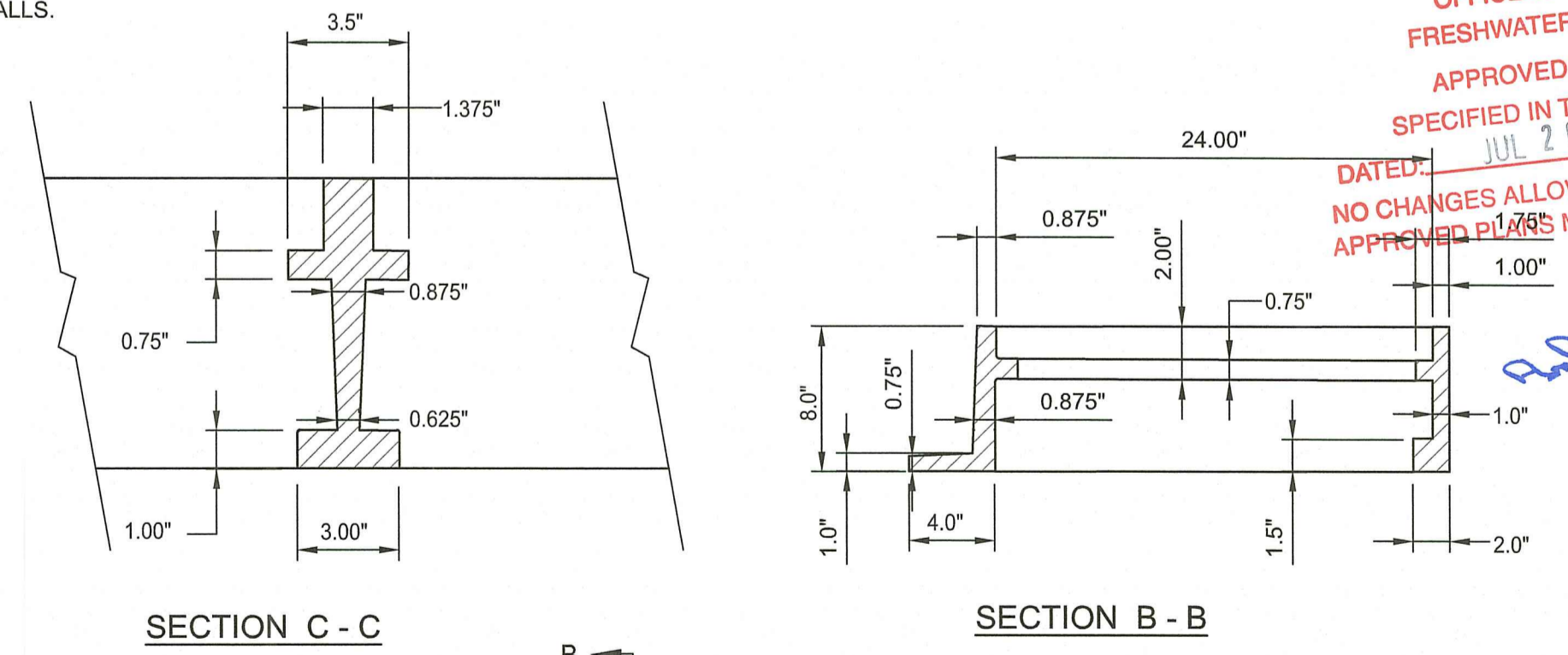
- GENERAL NOTES:**
- REINFORCING STEEL CONFORMS TO LATEST A.S.T.M. A 185 SPEC. 0.12 SQ. IN LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM
 - CONC. MINIMUM COMPRESSIVE STRENGTH = 4000 PSI TYPE III CEMENT.
 - MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST A.S.T.M. C 478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 - PROVIDE ONE FOUR 6" THICK REINFORCED MONOLITHIC BASE SECTION.
 - MANHOLE SHALL MEET H-20 LOADING CRITERIA.
 - ALL LIFTING HOLES TO BE PLUGGED IN AND OUT WITH HYDRAULIC CEMENT
 - MANHOLES SHALL HAVE 6" THICK WALLS.

SQUARE CATCH BASIN FRAME & GRATE
NOT TO SCALE



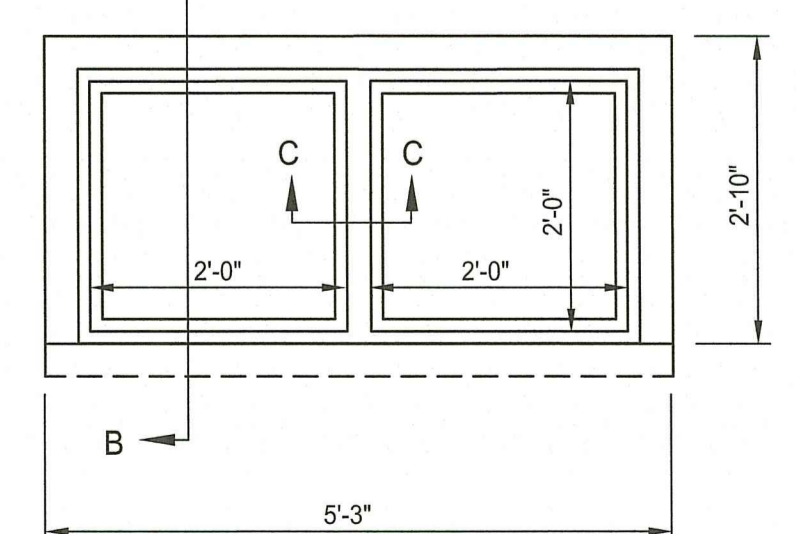
PLAN

NOTE:
PROVIDE TYPE "F" CATCH BASIN ALONG ENTIRE LENGTH OF GRATE FOR CATCH BASINS PROPOSED ALONG CURB.



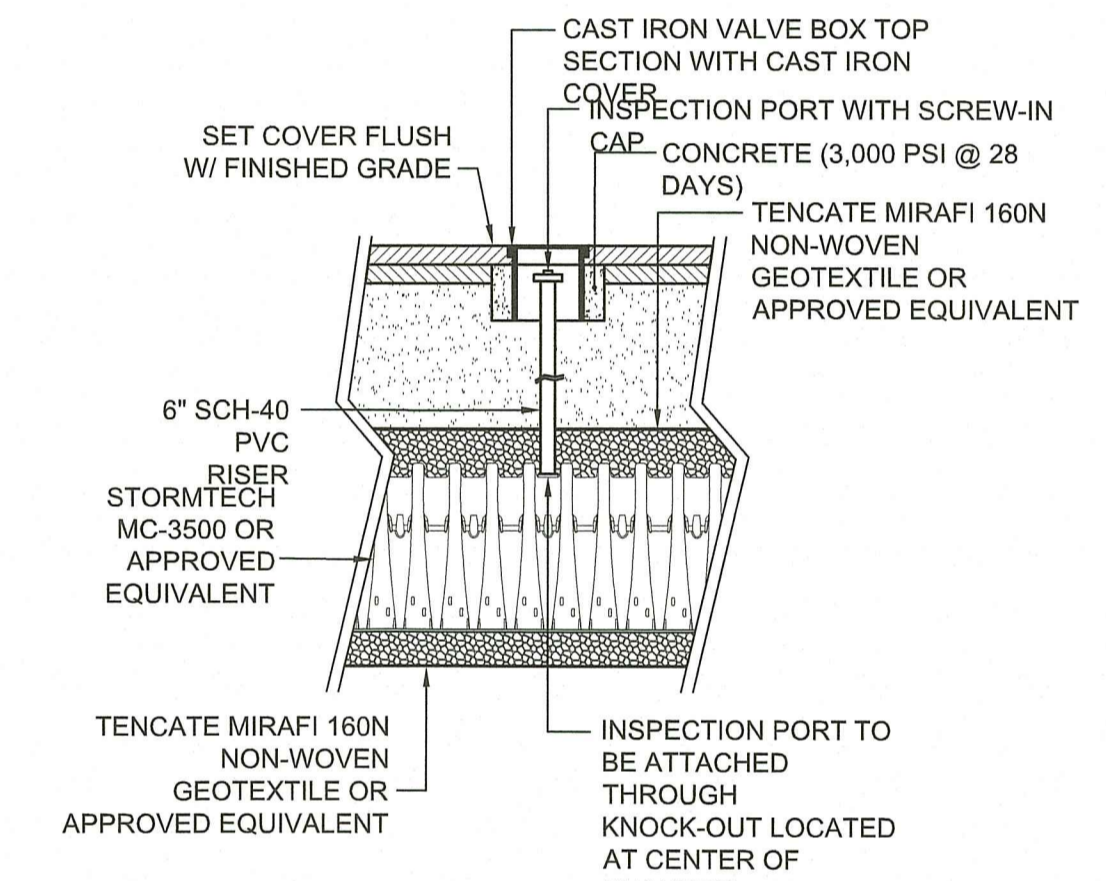
SECTION C - C

SECTION B - B

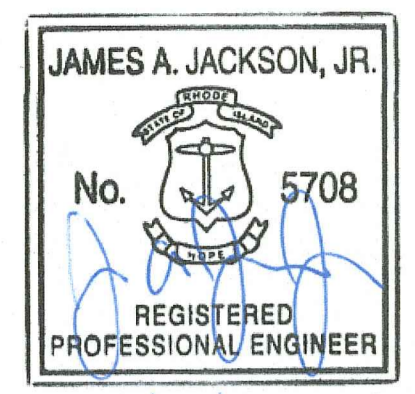


FRAME FOR DOUBLE GRATE CATCH BASIN
NOT TO SCALE

UNDERGROUND INFILTRATION SYSTEM PLAN VIEW
NOT TO SCALE



INSPECTION PORT DETAIL
NOT TO SCALE



Saccoccio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.7970
fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD.
CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date
1	6/19/23 - RTC

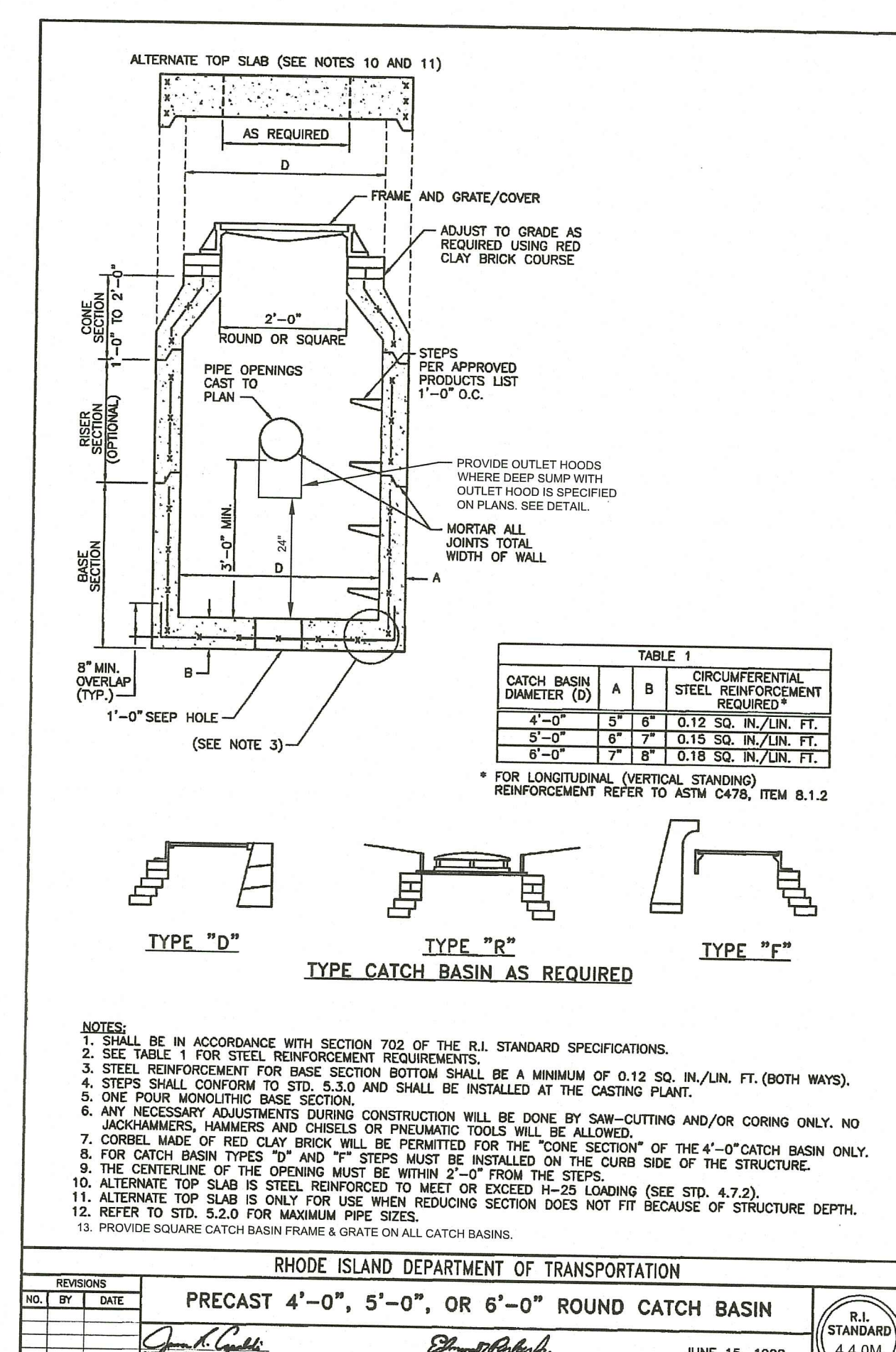
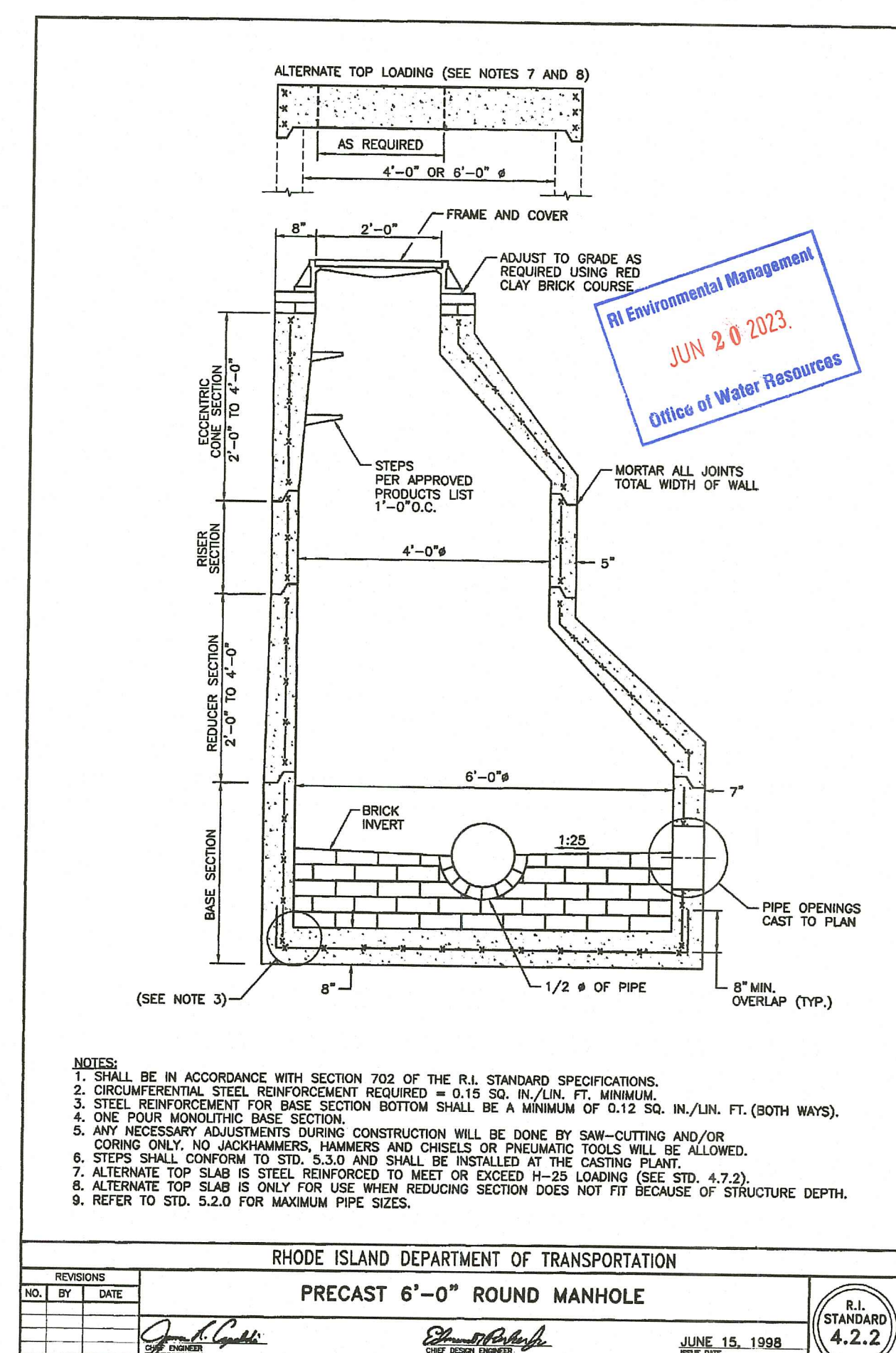
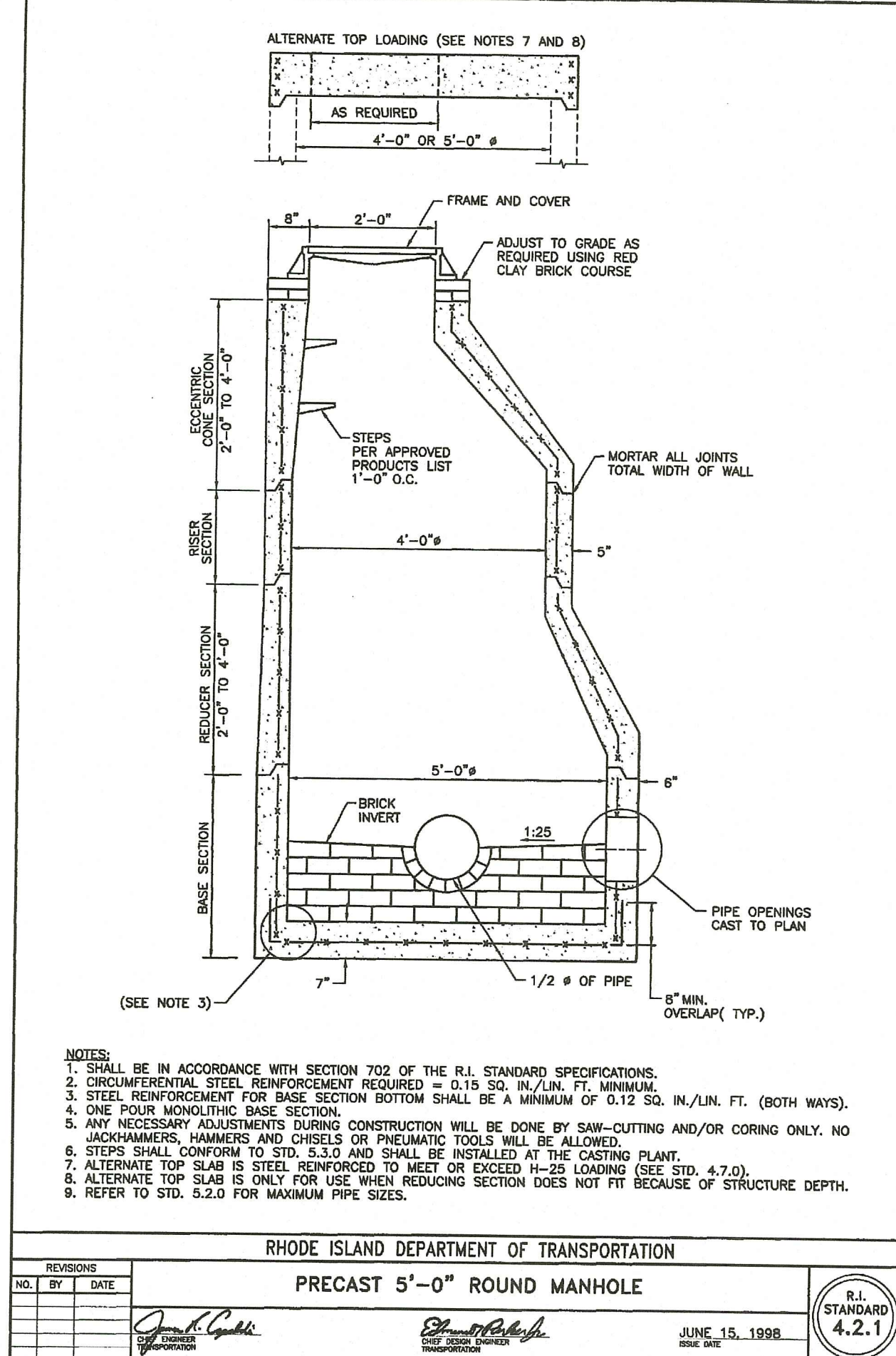
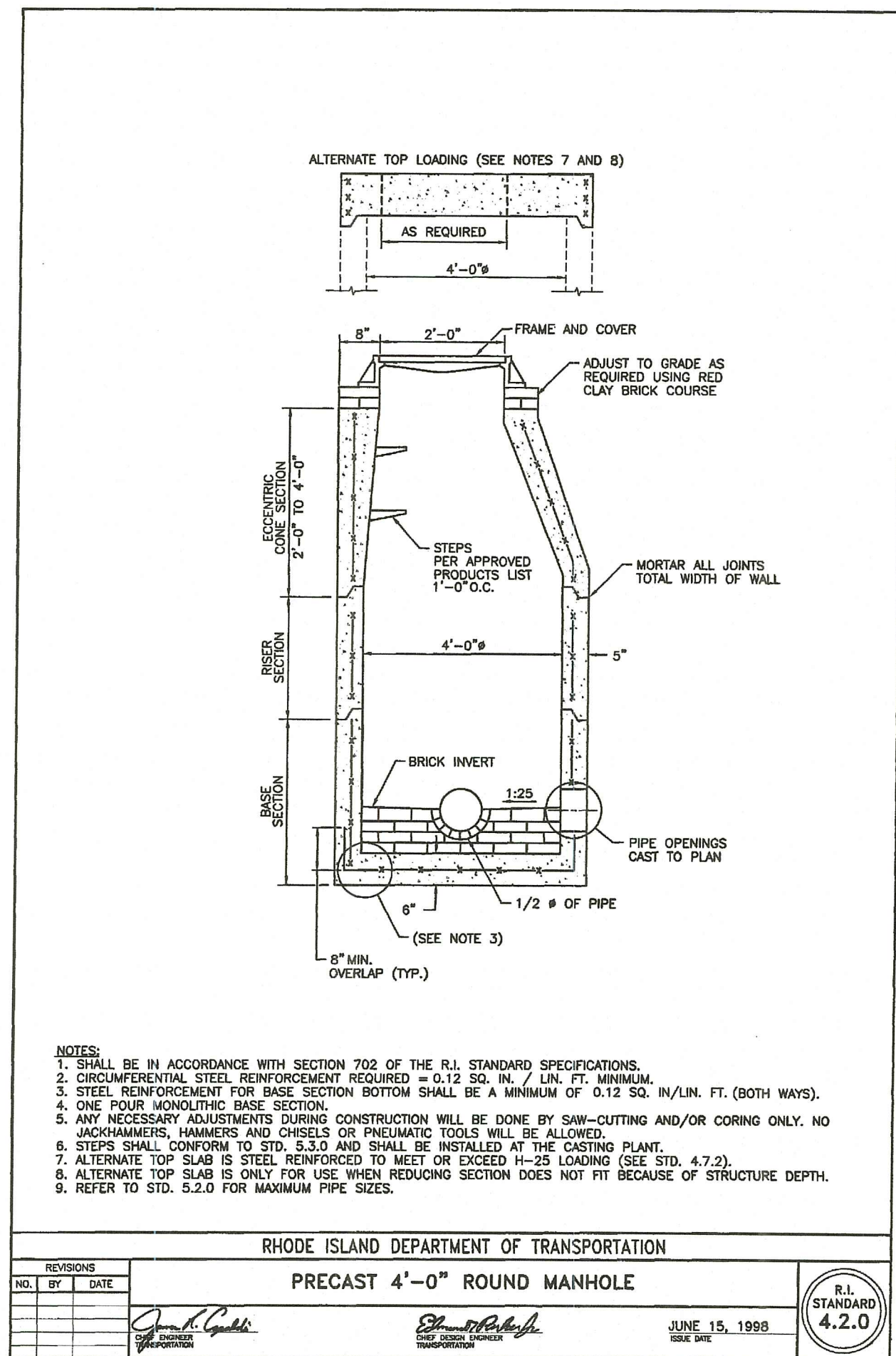
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: [Signature]

PERMIT SET
JUNE 2023

SHEET TITLE
DETAILS 4

COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.
DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

C5.4



JAMES A. JACKSON, JR.
No. 5708
REGISTERED PROFESSIONAL ENGINEER
6/19/23

ARCHITECTS

Saccoccio & Associates, Inc.
1085 Park Avenue
Cranston, Rhode Island 02910
tel 401.942.7970
fax 401.942.7975

Consultant

PARE

COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD. CUMBERLAND, RI

Revision Schedule

Revision Number	Revision Date
1	6/19/23 - RTC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 26 2023 FILE # 25-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

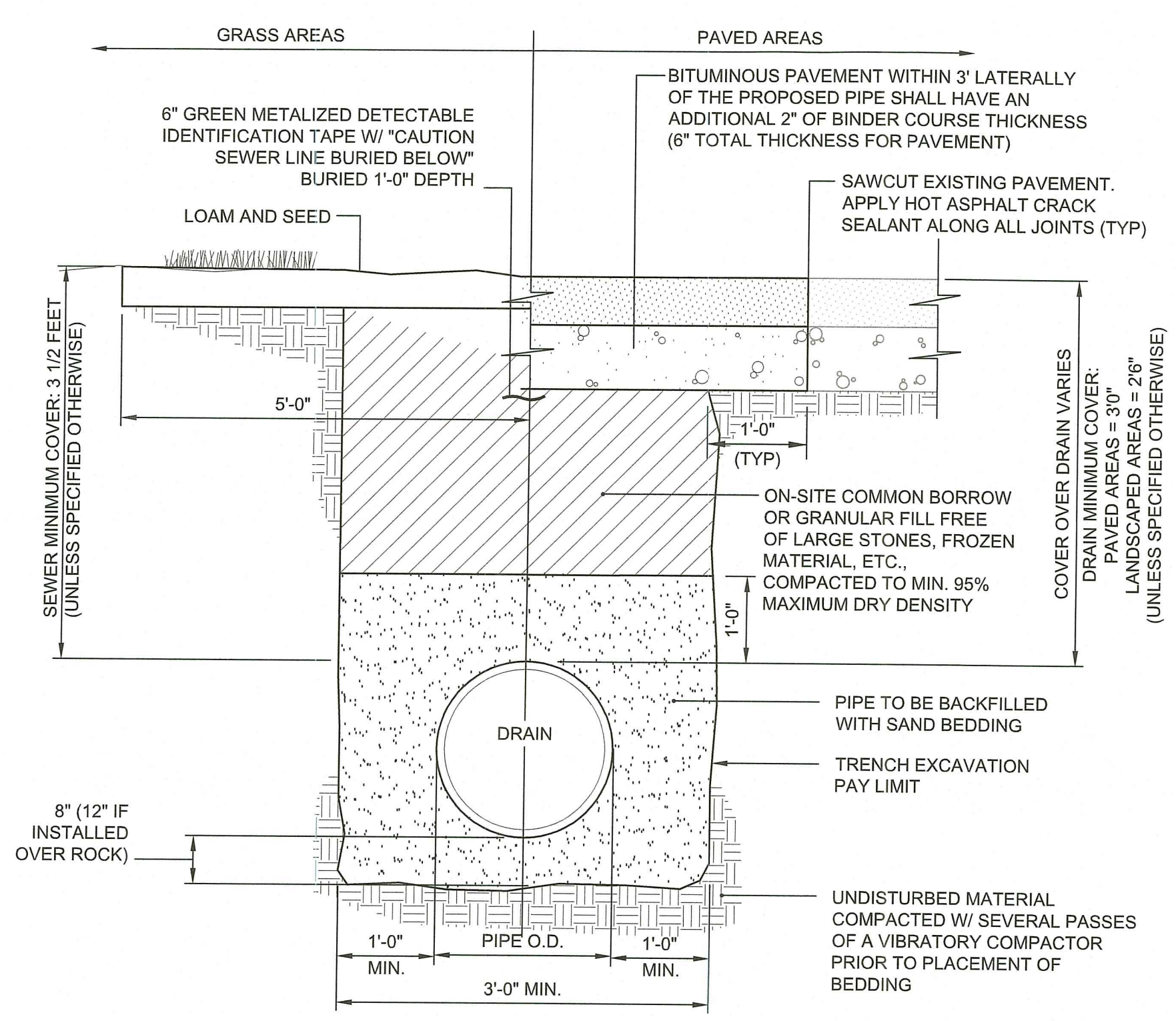
PERMIT SET
JUNE 2023

SHEET TITLE
DETAILS 5

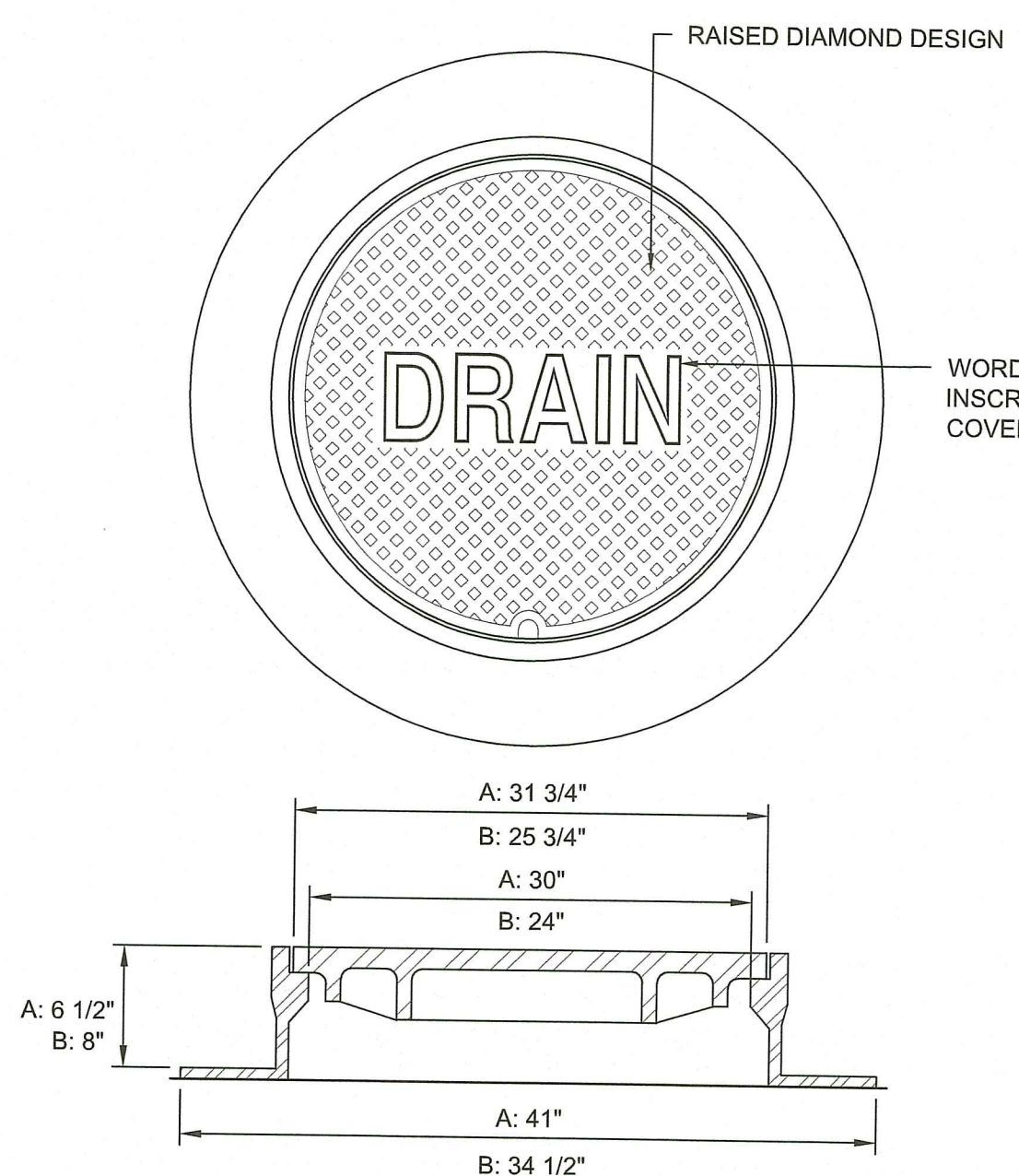
COPYRIGHT 2021
THIS DRAWING IS THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: AKL JOB NUMBER: 22155.00
CHECKED BY: CW DATE: JUNE 2023

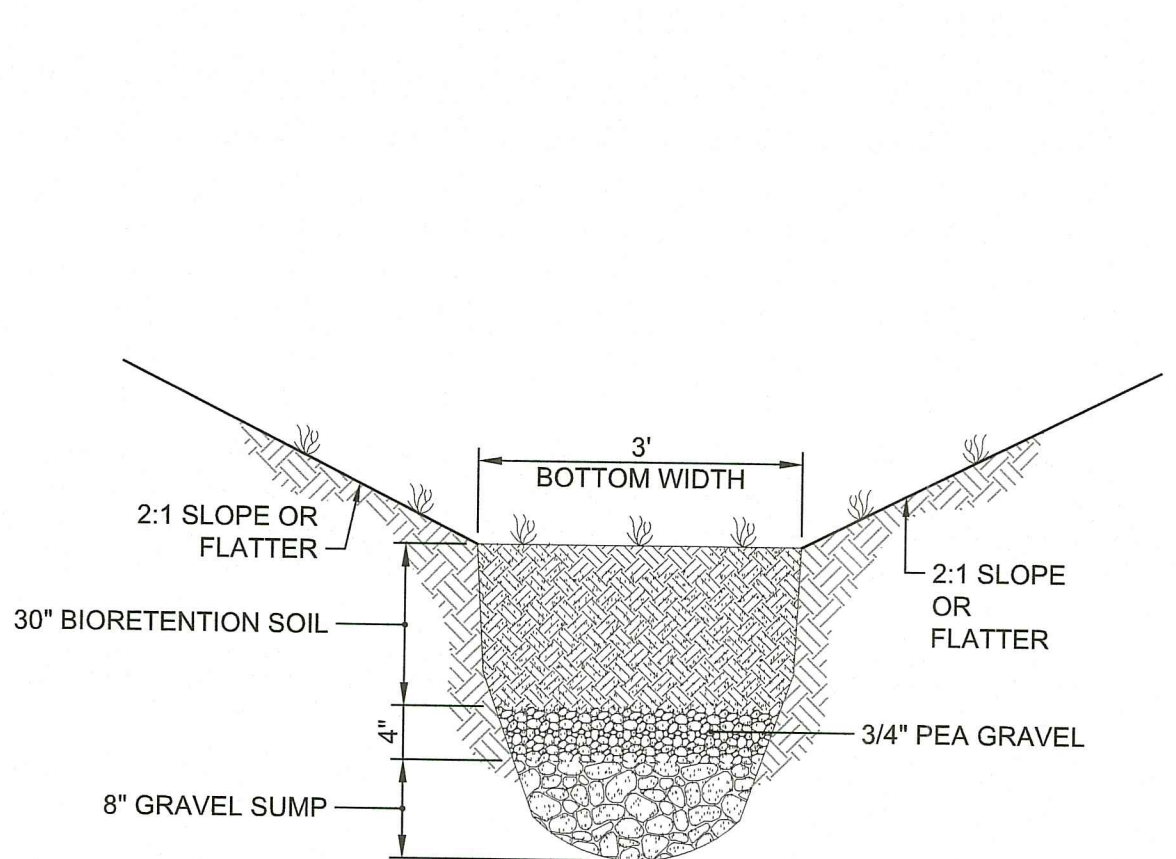
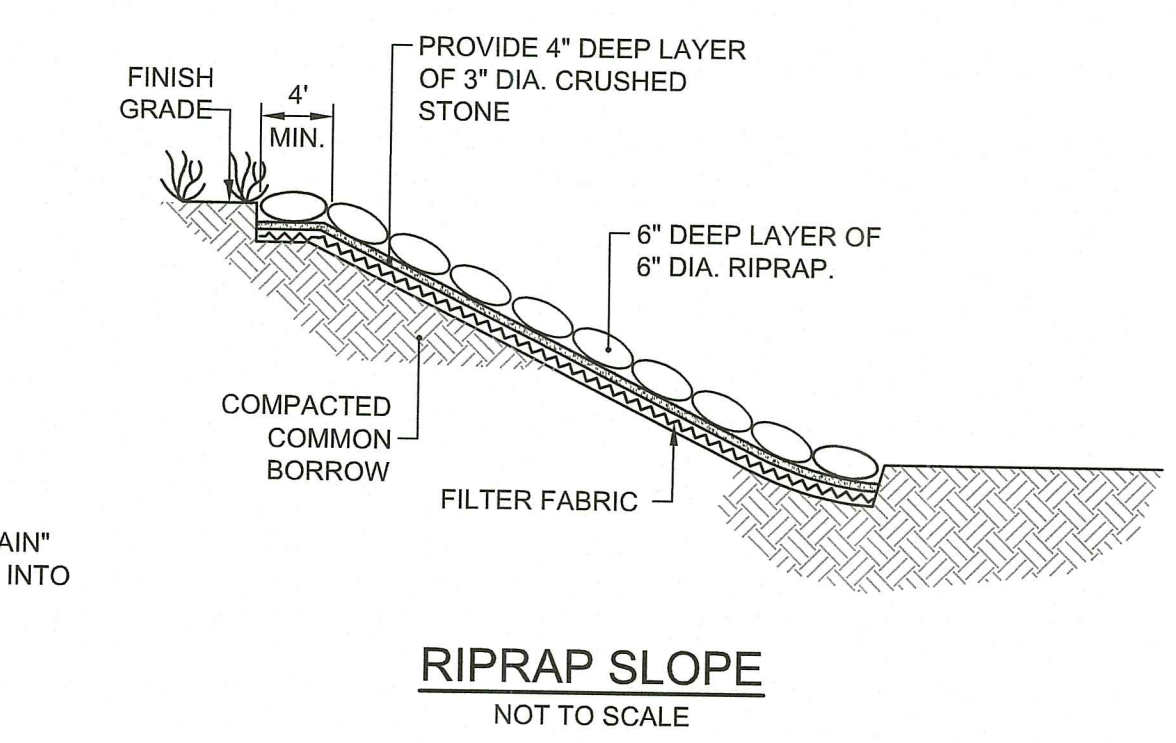
C5.5



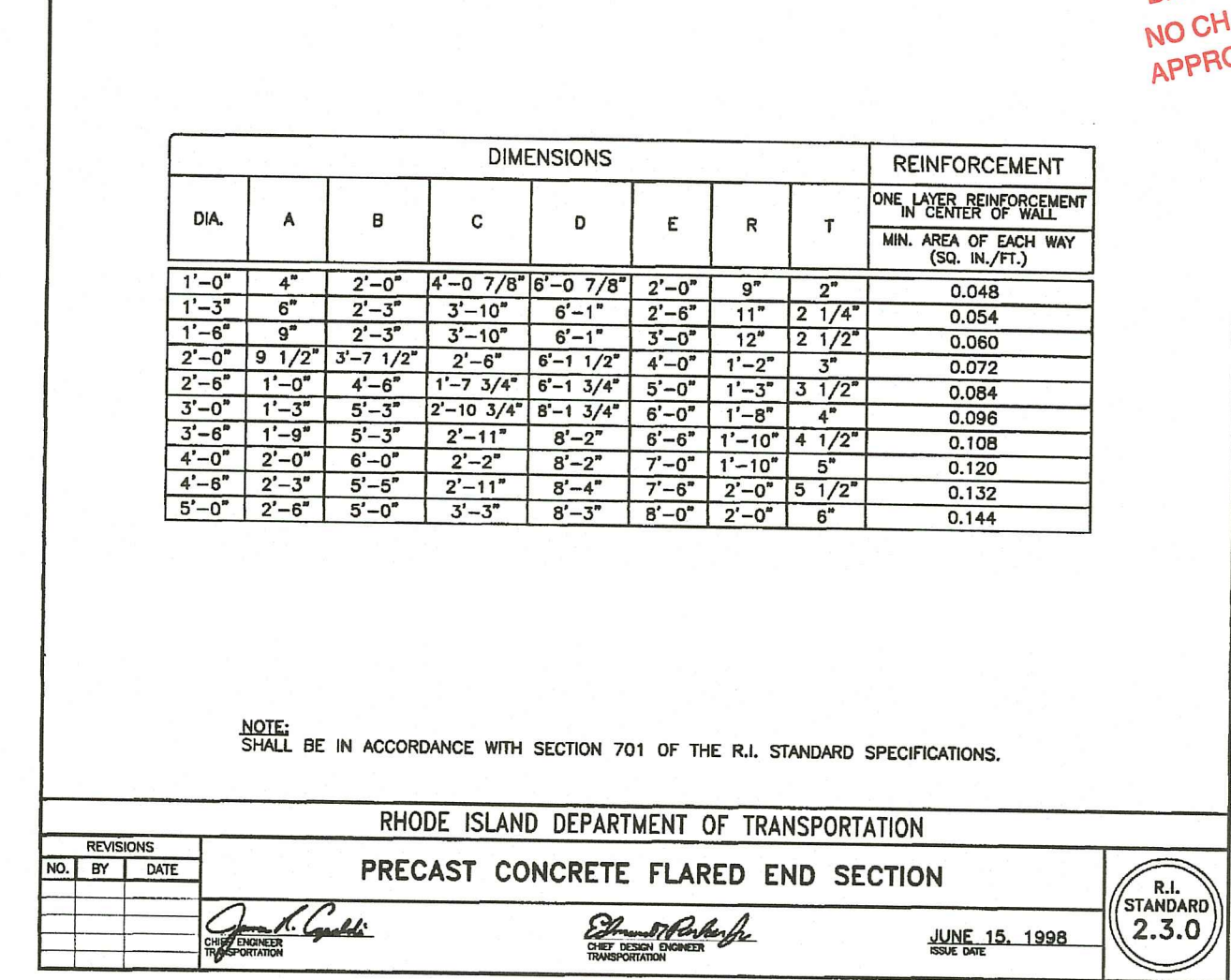
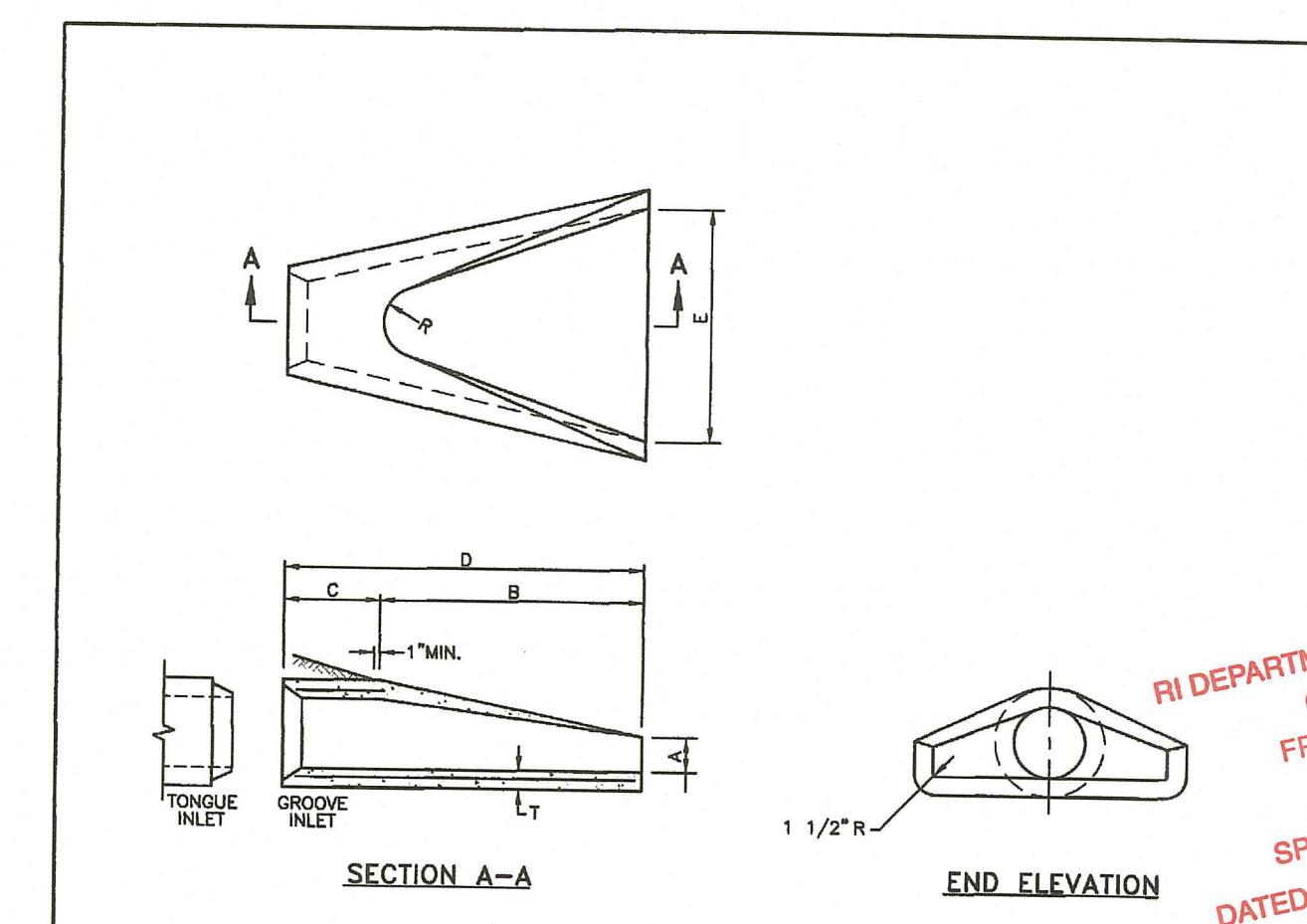
DRAIN/SEWER TRENCH DETAIL
NOT TO SCALE

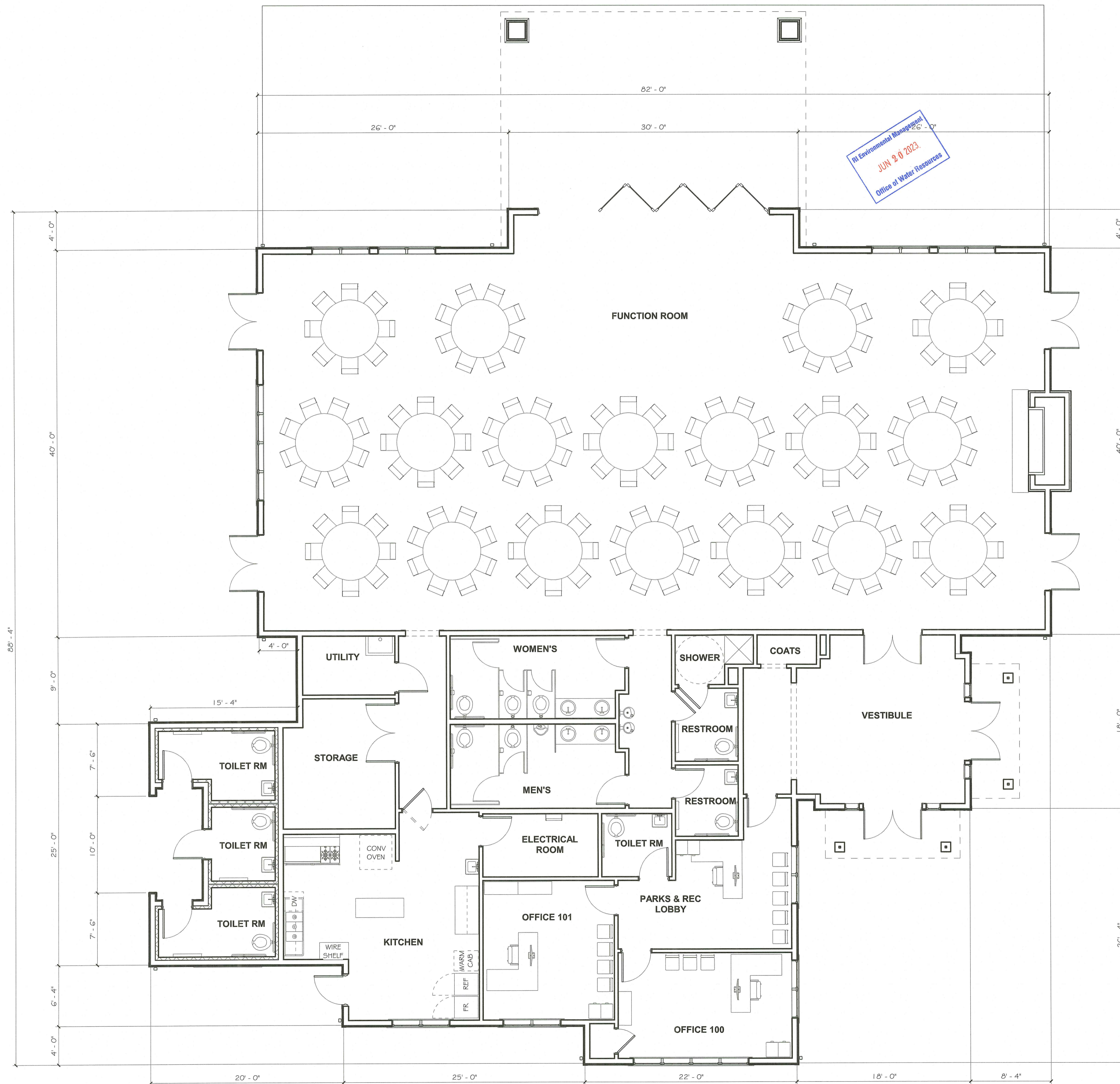


DRAIN MANHOLE FRAME & COVER
NOT TO SCALE



TYPICAL DRY SWALE SECTION
NOT TO SCALE





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: JUN 25 2023 FILE # 23-0086
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Andy Johnston

COMMUNITY CENTER @ DIAMOND HILL PARK

4125 DIAMOND HILL RD.
 CUMBERLAND, RI

MARCH 2023



SACCOCCIO
 & ASSOCIATES, INC.
 architects

1 FLOOR PLAN
 P1.0 3/16" = 1'-0"



RI Environmental Management
JUN 20 2023
Office of Water Resources

T.O. WALL @
FUNCTION ROOM
11'-0"

B.O. TRUSS
9'-6"

T.O. SLAB
0'-0"



1 SOUTH ELEVATION
P2.1 1/4" = 1'-0"

T.O. WALL @
FUNCTION ROOM
11'-0"

B.O. TRUSS
9'-6"

T.O. SLAB
0'-0"



2 WEST ELEVATION
P2.1 1/4" = 1'-0"

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Andy Clayton

COMMUNITY CENTER @ DIAMOND HILL PARK

4125 DIAMOND HILL RD.
CUMBERLAND, RI

MARCH 2023



SACCOCCIO
& ASSOCIATES, INC.
architects

RI Department of Environmental Management
Office of Water Resources
JUN 20 2023

T.O. WALL @
FUNCTION ROOM
11'-0"
T.O. FLAT ROOF
11'-1"
B.O. TRUSS
9'-6"

T.O. SLAB
0'-0"

2 NORTH ELEVATION
P2.2 1/4" = 1'-0"



T.O. WALL @
FUNCTION ROOM
11'-0"

T.O. SLAB
0'-0"

1 EAST ELEVATION
P2.2 1/4" = 1'-0"

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-0086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Andy Cloutier

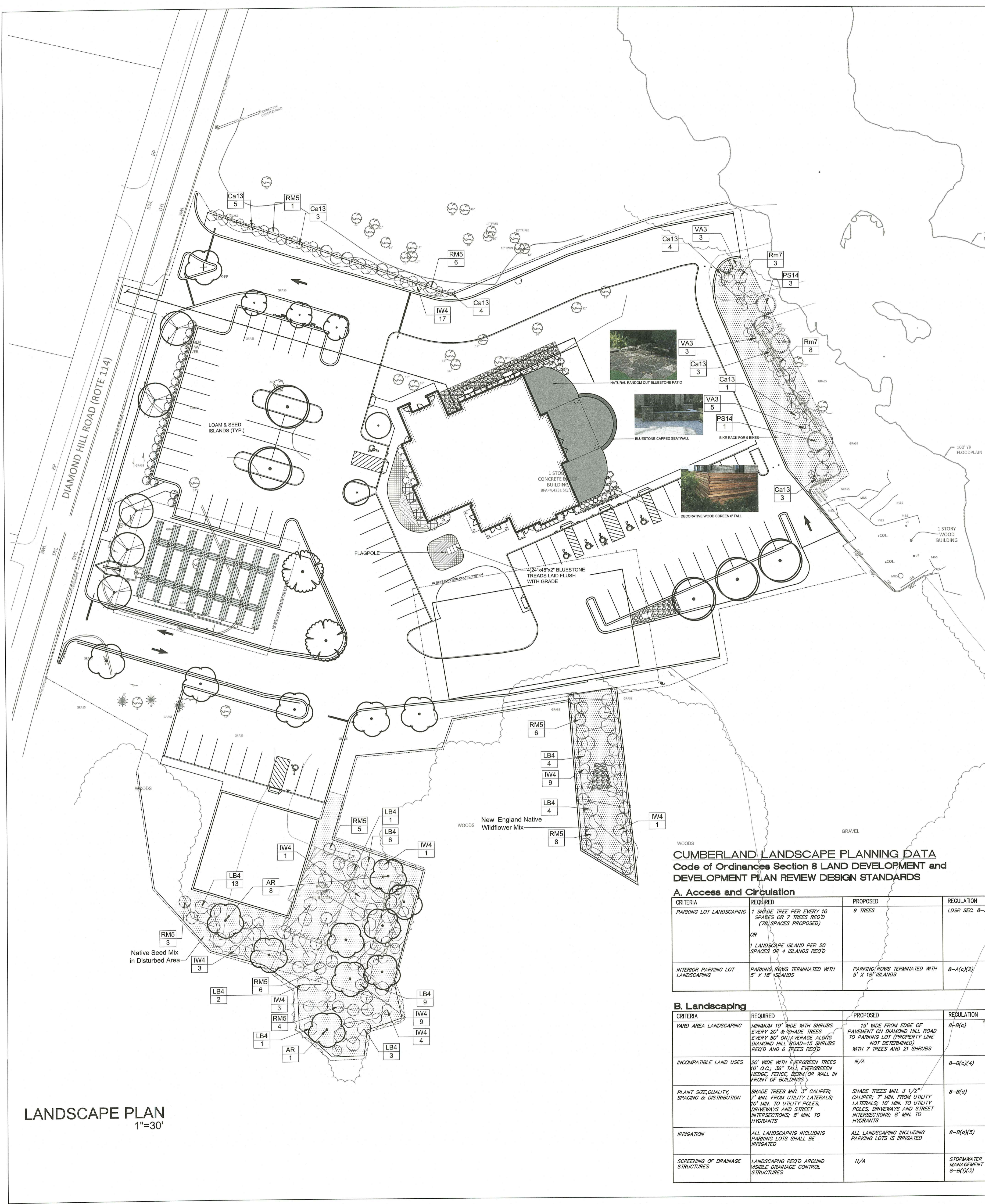
COMMUNITY CENTER @ DIAMOND HILL PARK

4125 DIAMOND HILL RD.
CUMBERLAND, RI

MARCH 2023



SACCOCCIO
& ASSOCIATES, INC.
architects



LANDSCAPE PLAN
1"=30'

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	AG5	5	Acer rubrum 'October Glory' TM / October Glory Maple	B & B;	3"Cal	
	GS5	5	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	3"Cal	
	TG2	3	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B & B;	2"Cal	
	UA2	2	Ulmus parvifolia 'Allee' / Upright Chinese Elm	B & B	3"Cal	
FLOWERING TREES	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	MLM	2	Magnolia loebneri 'Merrill' / Dr. Merrill Magnolia	B & B	1.25" - 1.5"	
	SP6	1	Stewartia pseudocamellia / Japanese Stewartia	B & B	3"Cal	
	SI4	5	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B;	3"Cal	
WETLAND MITIGATION	CODE	QTY	BOTANICAL / COMMON NAME	B&B	CALIPER	
	AR	9	Acer rubrum / Red Maple	CONT.	5 - 6' HT.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	CA11	18	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra Mature Height: 4'-6"	CONT	5 gal	
	EFG	12	Euonymus fortunei 'Emerald Gaiety' TM / Emerald Gaiety Euonymus	CONT	3 gal	
	HMES	14	Hydrangea macrophylla 'Endless Summer' TM / Bailmer Hydrangea	CONT	5 gal	
	IGS2	23	Ilex glabra 'Shamrock' / Inkberry	5 gal		
	IR	4	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	CONT	3 gal	
	RM9	6	Rhododendron x 'Minnetonka' / Minnetonka Rhododendron	5 gal		
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	EP2	8	Echinacea purpurea / Purple Coneflower	1 gal		
WETLAND MITIGATION	CODE	QTY	BOTANICAL / COMMON NAME	CONT/B&B	SIZE	
	Ca13	23	Clethra alnifolia / Summersweet	CONT	2 gal	
	IW4	48	Ilex verticillata / Winterberry	CONT	2 gal	
	LB4	43	Lindera benzoin / Spicebush	CONT	2 gal	
	PS14	4	Pinus strobus / White Pine	3" - 4"; B&B		
	Rm7	11	Rhododendron maximum / Rosebay Rhododendron	30"-36"; B&B		
	RM5	39	Rhododendron maximum / Rose Bay	CONT	2 gal	
	VA3	11	Viburnum dentatum / Viburnum	CONT	3 gal	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/FLAT	SIZE	SPACING
	RF5	14	Rosa x 'Flower Carpet White' / Rose	1 gal		36" o.c.
	VC2	217	Vinca minor / Common Periwinkle	1 gal		18" o.c.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT/FLAT	SIZE	SPACING
	HEM4	18	Hemerocallis hybrid 'Stella de Oro' / Stella de Oro Daylily	1 gal		30" o.c.

NOTE: LOAM AND SEED DISTURBED AREAS UNLESS OTHERWISE NOTED

CUMBERLAND LANDSCAPE PLANNING DATA
Code of Ordinances Section 8 LAND DEVELOPMENT and
DEVELOPMENT PLAN REVIEW DESIGN STANDARDS

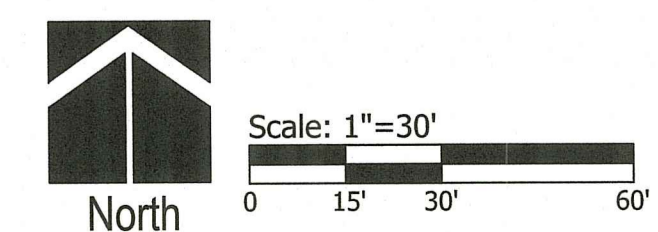
A. Access and Circulation			
CRITERIA	REQUIRED	PROPOSED	REGULATION
PARKING LOT LANDSCAPING	1 SHADE TREE PER EVERY 10 SPACES OR 7 TREES REQ'D (78 SPACES PROPOSED) OR 1 LANDSCAPE ISLAND PER 20 SPACES OR 4 ISLANDS REQ'D	9 TREES	LDRP SEC. 8-A(1)
INTERIOR PARKING LOT LANDSCAPING	PARKING ROWS TERMINATED WITH 5' x 18" ISLANDS	PARKING ROWS TERMINATED WITH 2' x 18" ISLANDS	8-A(2)
B. Landscaping			
CRITERIA	REQUIRED	PROPOSED	REGULATION
YARD AREA LANDSCAPING	MINIMUM 10' WIDE WITH SHRUBS EVERY 20' & SHADE TREES EVERY 50' ON AVERAGE ALONG DIAMOND HILL ROAD+15 SHRUBS REQ'D AND 6 TREES REQ'D	15' WIDE FROM EDGE OF PAVEMENT ON DIAMOND HILL ROAD TO PARKING LOT (PROPERTY LINE NOT DETERMINED) WITH 7 TREES AND 21 SHRUBS	8-B(1) WOOD
INCOMPATIBLE LAND USES	20' WIDE WITH EVERGREEN TREES 10' O.C.; 38" TALL EVERGREEN HEDGES, FENCE, BORN OR WALL IN FRONT OF BUILDINGS	N/A	8-B(2)(4)
PLANT SIZE/QUALITY, SPACING & DISTRIBUTION	SHADE TREES MIN. 3" CALIPER; 7" MIN. FROM UTILITY LATERALS; 10' MIN. TO UTILITY POLES, DRIVEWAYS AND STREET INTERSECTIONS; 8' MIN. TO HYDRANTS	SHADE TREES MIN. 3 1/2" CALIPER; 7" MIN. FROM UTILITY LATERALS; 10' MIN. TO UTILITY POLES, DRIVEWAYS AND STREET INTERSECTIONS; 8' MIN. TO HYDRANTS	8-B(4)
IRRIGATION	ALL LANDSCAPING INCLUDING PARKING LOTS SHALL BE IRRIGATED	ALL LANDSCAPING INCLUDING PARKING LOTS IS IRRIGATED	8-B(5)
SCREENING OF DRAINAGE STRUCTURES	LANDSCAPING REQ'D AROUND VISIBLE DRAINAGE CONTROL STRUCTURES	N/A	STORMWATER MANAGEMENT 8-B(1)(3)

NEW ENGLAND WETLAND PLANTS, INC.
820 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000 FAX 413-549-4000
EMAIL: INFO@NEWP.COM WEB ADDRESS: WWW.NEWP.COM
New England Wildflower Mix

Botanical Name	Common Name	Indicator
Schizanthus scarpium	Little Bluestem	FACU
Sorghastrum nutans	Indian Grass	ULP
Chamaecrista fasciculata	Partridge Pea	FACU
Elymus virginicus	Canada Wild Rye	FACU
Elymus canadensis	Canada Wild Rye	FACU
Festuca rubra	Red Fescue	FACU
Asclepias tuberosa	Butterfly Milkweed	NI
Yarrowia nasvoharacensis	New York Ironweed	FACU+
Oenothera biennis	Evening Primrose	FACU
Aster novae-angliae (Symphyotrichum novae-angliae)	New England Aster	FACU
Rudbeckia hirta	Black Eyed Susan	FACU
Solidago juncea	Early Goldenrod	FACU
Eupatorium fistulosum (Eutrochium fistulosum)	Hollow-Stem Joe Pye Weed	FACU
Aster lateriflorus (Symphyotrichum lateriflorum)	Starved/Calico Aster	FACU

PRICE PER LB. \$75.00 MIN. QUANTITY 1 LB. TOTAL: \$75.00 APPLY: 23 LBS/ACRE: 1900 sq ft/b
New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is FOB pound, FOB warehouse, Plus 5% and applicable taxes.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUL 26 2023 FILE # 23-1086
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



Saccoccio & Associates, Inc.

1085 Park Avenue Cranston, Rhode Island 02910
tel 401.942.7970 fax 401.942.7975

Consultant



COMMUNITY CENTER @ DIAMOND HILL PARK

4097 DIAMOND HILL RD. CUMBERLAND, RI

Revision Schedule	
Revision Number	Revision Date



PERMIT SET
04-12-2023

SHEET TITLE
LANDSCAPE PLAN

COPYRIGHT 2021 THE PROPERTY OF SACCOCCIO AND ASSOCIATES ARCHITECTS. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT FROM THE ARCHITECT IS PROHIBITED.

DRAWN BY: DCS JOB NUMBER: 22155.00

CHECKED BY: DCS DATE: 04-12-2023

Diane C. Soule & Associates, ASLA
Landscape Architecture
422 Farnum Pike
Smithfield, Rhode Island 02917
www.dianesouleandassociates.com
401.231.0736
email: diane@dcsa.ws

L1.0

SHEET: 15 OF: 15