

# WOONASQUATUCKET ADVENTURE PARK PHASE II

GLENBRIDGE AVENUE & BARBARA STREET  
PLAT 113 LOTS 261, 305, 419, 429, 440  
PROVIDENCE, RHODE ISLAND

ISSUED FOR PERMITTING

APPLICANT:  
PROVIDENCE PARKS  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02909

LATEST ISSUED: AUGUST 18, 2023

HONORABLE MAYOR BRETT P. SMILEY  
SUPERINTENDENT WENDY NILSSON  
COUNCILWOMAN ANA VARGAS

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**LOCATION MAP**  
SCALE: 1"=500'

**OVERALL SITE PLAN AND LOCATION MAP**  
SCALE: 1"=80'

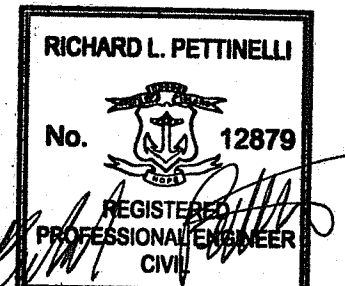
**PROPERTY OWNERS**

PLAT - LOT	PROPERTY ADDRESS	PROPERTY OWNER NAME	MAILING ADDRESS
113 - 305	59 PONAGANSETT AVENUE	CITY OF PROVIDENCE	25 DORRANCE STREET, PROVIDENCE, RI 02903
113 - 429	55 PONAGANSETT AVENUE	CITY OF PROVIDENCE	25 DORRANCE STREET, PROVIDENCE, RI 02903
113 - 419	108 GLENBRIDGE AVENUE	PROVIDENCE TURNERS	116 GLENBRIDGE AVENUE, PROVIDENCE, RI 02909
113 - 261	114 GLENBRIDGE AVENUE	PROVIDENCE TURNERS	116 GLENBRIDGE AVENUE, PROVIDENCE, RI 02909

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

NOT FOR CONSTRUCTION  
SEAL:



REVISION	DATE	DESCRIPTION

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: SEP 15 2023 FILE #: 23-0089  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Wendy Nilsson*

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**PERMITTING PLAN COVER**

ISSUED FOR:	PERMITTING
DATE:	AUGUST 18, 2023
SCALE:	N/A
DRAWN BY:	AJP
CHECKED BY:	RLP
PROJECT NO:	3652220361

Office of Water Resources  
AUG 22 2023

**C-0**

**LEGEND**

	EXIST	PROP		EXIST	PROP
TOP/BOTTOM CURB ELEVATION	27.00 TC 27.00 BC X	27.00 TC 27.00 BC X	SURVEYED PROPERTY LINE (PL)	---	---
SPOT GRADE w/LEADER	21.25 X	21.25 X	ASSESSOR'S MAP PROP. LINE	---	---
SPOT GRADE	21.25 X	21.25 X	RIGHT-OF-WAY/PL EASEMENT	---	---
BORING LOCATION	⊕ B-1	⊕ B-1	BUILDING SETBACK	---	---
TEST PIT LOCATION	⊕ TP-1	⊕ TP-1	50' PERMETER WETLAND	---	---
MONITORING WELL	⊕ MW-1	⊕ MW-1	100' RIVERBANK WETLAND	---	---
BENCH MARK	⊕ BM	⊕ BM	200' RIVERBANK WETLAND	---	---
DRAIN MANHOLE	⊕ DMH	⊕ DMH	ZONING LINE	---	---
CATCH BASIN	⊕ CB	⊕ CB	TOWN LINE	---	---
DOUBLE CATCH BASIN	⊕ DCB	⊕ DCB	STATE LINE	---	---
GUTTER INLET	⊕ GI	⊕ GI	GRAVEL ROAD	---	---
TRENCH DRAIN	⊕ TD	⊕ TD	EDGE OF PAVEMENT	---	---
HEADWALL	⊕ HW	⊕ HW	BITUMINOUS CURB	---	---
FLARED END SECTION	FES	FES	CAPE COD BERM	---	---
DRAINAGE LINE	D	D	PRECAST CONC. CURB	---	---
OVERFLOW DRAIN	OD	OD	VERT. GRAN. CURB	---	---
ROOF DRAIN	RD	RD	SLOPED GRAN. EDGING	---	---
OVERHEAD WIRE	OW	OW	LIMIT OF CURB TYPE	---	---
WATER LINE	W	W	TREE LINE	---	---
FIRE PROTECTION LINE	FP	FP	MEADOW GRASS LINE	---	---
GAS LINE	G	G	MEADOW SHRUB LINE	---	---
UNDERGROUND ELECTRIC	UE	UE	SOIL CAP LIMITS	---	---
UNDERGROUND TELEPHONE	UT	UT	CRUSHED STONE	---	---
FIRE ALARM	FA	FA	EROSION CONTROL FABRIC	---	---
FIRE & POLICE CABLE	FAP	FAP	SAWCUT	---	---
CABLE TV	CAV	CAV	MATCHLINE	---	---
PLUG/STUB	P	P	SOLID WHITE LINE	---	---
GREASE TRAP	GT	GT	SOLID YELLOW LINE	---	---
CONTROL STRUCTURE	CS	CS	BROKEN WHITE LINE	---	---
SEWER MANHOLE	⊕ SMH	⊕ SMH	BROKEN YELLOW LINE	---	---
SEWER LINE	S	S	SOLID WHITE CHANNELIZING LINE	---	---
WATER GATE	WG	WG	SOLID YELLOW CHANNELIZING LINE	---	---
TAPPING SLEEVE, VALVE, & BOX	TSV	TSV	DOUBLE YELLOW LINE	---	---
RISER	R	R	STOP LINE	---	---
PRESSURE REDUCER	PR	PR	STEEL GUARD RAIL	---	---
SIAMASE CONNECTION	SC	SC	WOOD GUARD RAIL	---	---
FIRE HYDRANT	FH	FH	PATH	---	---
WATER METER	WM	WM	TREE LINE	---	---
POST INDICATOR VALVE	PIV	PIV	CHAIN LINK FENCE	---	---
WELL	W	W	STONE WALL	---	---
GAS GATE	GG	GG	RETAINING WALL	---	---
GAS METER	GM	GM	HAY BALES	---	---
ELECTRIC MANHOLE	⊕ EMH	⊕ EMH	SILT FENCE	---	---
ELECTRIC BOX	EB	EB	STRAW WATTLE	---	---
ELECTRIC METER	EM	EM	LIMIT OF DISTURBANCE	---	---
LIGHT POLE	LP	LP	MINOR CONTOUR	---	---
FLOOD LIGHT	FL	FL	MAJOR CONTOUR	---	---
SINGLE LUMINAIRE	SL	SL	TOP OF SLOPE	---	---
DOUBLE LUMINAIRE	DL	DL	TOE OF SLOPE	---	---
TRIPLE LUMINAIRE	TL	TL	BUILDING	---	---
QUAD LUMINAIRE	QL	QL	BUILDING ENTRANCE	---	---
WALL PACK	WP	WP	LOADING DOCK	---	---
TELEPHONE MANHOLE	⊕ TMH	⊕ TMH	BOLLARD	---	---
TRAFFIC SIGNAL	TS	TS	DUMPSTER PAD	---	---
SIGNAL BOX	SB	SB	SIGN	---	---
FIRE ALARM CONTROL PANEL	FACP	FACP	DOUBLE SIGN	---	---
FIRE ALARM BOX	FAB	FAB	PARKING METER	---	---
TRANSFORMER PAD	TP	TP	PARKING COUNT	---	---
MANHOLE	M	M	COMPACT PARKING STALLS	---	---
UTILITY POLE	U	U	CROSSWALK	---	---
GUY POLE	GP	GP	CEMENT CONC. PAVEMENT	---	---
HAND HOLE	HH	HH	RIPRAP STONE	---	---
PULL BOX	PB	PB	TRAIL REINFORCEMENT	---	---
			ADA RAMP	---	---
			ADA PARKING	---	---
			VAN-ACCESSIBLE ADA PARKING	---	---

**ABBREVIATIONS**

ABANDON	ADJUST	AMERICAN SOCIETY FOR TESTING & MATERIALS	AMERICANS WITH DISABILITIES ACT	APPROXIMATE	ASPHALT COATED CORRUGATED METAL PIPE	BITUMINOUS CURB	BOTTOM OF SLOPE	CAPE COD BERM	CAST IRON PIPE	CHANGE IN TYPE	COLUMN	CONDUIT	CORRUGATED ALUMINUM PIPE	CORRUGATED POLYETHYLENE PIPE	DUCTILE IRON PIPE	ELEVATION	EXISTING	FOUNDATION	FRAME AND COVER	FRAME AND GRATE	GALVANIZED	GRANITE CURB	HIGH DENSITY POLYETHYLENE	HYDRANT	INVERT ELEVATION	LANDSCAPE AREA
ABAN	ADJ	ASTM	ADA	APPROX	ACOMP	BC	BOS	BCV	CIP	CIT	COL	COND	CAP	CPP	DIP	ELEV	EXIST	FDN	F&C	F&G	GALV	GC	HDPE	HYD	INV	LA
MAXIMUM	MINIMUM	NOT IN CONTRACT	NOT TO SCALE	ON CENTER	ONSITE WASTEWATER TREATMENT SYSTEM	PAVED WATER WAY	POLYVINYLCHLORIDE PIPE	PRECAST CONCRETE CURB	PROPOSED	RADIUS	REINFORCED CONCRETE PIPE	REMODEL	REMOVE	REMOVE AND DISPOSE	REMOVE AND RESET	REMOVE AND STORE	RETAIN	SLOPED GRANITE EDGING	TAPPING SLEEVE, VALVE AND BOX	TOP OF SLOPE	TRANSITION	TYPICAL	UTILITY POLE	VERTICAL GRANITE CURB	VITRIFIED CLAY PIPE	WATER GATE
MAX	MIN	NIC	NTS	OC	OWTS	PWW	PVC	PVC	PROP	R	RCP	REMOD	REM	R&D	R&R	R&S	RET	SGE	TSV&B	TOS	TRANS	TYP	UP	VGC	WG	

**GENERAL NOTES**

- THE PROJECT SITE CONSISTS OF A PREVIOUSLY CAPPED HAZARDOUS WASTE SITE, AS SHOWN ON THE PROJECT DRAWINGS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING, BUT NOT LIMITED TO, THE ENVIRONMENTAL LAND USE RESTRICTION FOR THE SITE, AND THE RIDEM OFFICE OF WASTE MANAGEMENT.
- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESSED, WRITTEN CONSENT OF WSP USA INC. ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF WSP USA INC.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS OR THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WORK WITHIN LOCAL RIGHTS-OF-WAY SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS; WORK WITHIN STATE RIGHTS-OF-WAY SHALL ADHERE TO STATE HIGHWAY STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "RIDOT STANDARDS" SHALL MEAN AND BE DEFINED AS THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION."
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL "AMERICANS WITH DISABILITIES ACT (ADA)" AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEED.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- HORIZONTAL AND VERTICAL DATUMS ARE PROVIDED ON THE EXISTING CONDITIONS PLANS.
- THE SITE OF THE PROPOSED WOONASQUATUCKET ADVENTURE PARK HAS BEEN FULLY REMEDIATED AS A BROWNFIELDS SITE IN 2010. THE SITE WAS CAPPED IN 2006 AND 2010. THIS CAP INCLUDED 4" OF TOPSOIL, 8" MINIMUM OF CLEAN FILL, AND NON-WOVEN GEOTEXTILE ALL OVER EXISTING GRADE, AS NOTED ON THE APPENDED EA PLANS. ALL SOIL DISTURBANCES WITHIN THE IDENTIFIED CAP AREA SHALL BE RE-CAPPED IN ACCORDANCE WITH DETAILS NOTED IN THIS PLANSET AND/OR REQUIREMENTS SPECIFIED IN EA'S PLANS AS NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE APPROVALS REQUIRED FOR THE PROJECT. REQUIRED PERMITS/APPROVALS FOR THE CONSTRUCTION INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - CITY OF PROVIDENCE DPW APPROVAL
  - RHODE ISLAND DEPARTMENT OF TRANSPORTATION PHYSICAL ALTERATION PERMIT
  - RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
    - FRESHWATER WETLANDS INSIGNIFICANT ALTERATION PERMIT NO. XX-XXXX (TBD).
    - RHODE ISLAND POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT NO. RIR101712.
    - OFFICE OF WASTE MANAGEMENT PERMITTING
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

**GENERAL UTILITY NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND WORK TRADES ASSOCIATED WITH THE WORK SHOWN ON THESE PLANS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR A STREET OPENING PERMIT FROM THE CITY OF PROVIDENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE STREET OPENING PERMIT AND ALL CITY ORDINANCES.
- THE CONTRACTOR SHALL KEEP ALL LOCAL AGENCIES INFORMED OF SCHEDULE AS NECESSARY.
- PRIVATE UTILITIES
  - SERVICES SHALL BE APPROVED BY AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF PRIVATE UTILITY SERVICE PROVIDERS (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, CABLE, FIOS, ETC.)
  - CONTRACTOR SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ALL ELECTRIC WORK. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL CONCRETE ENCASUREMENT FOR DUCT BANKS, IF REQUIRED BY THE ELECTRIC COMPANY. PULLING OF ELECTRICAL CONDUIT SHALL BE BY THE ELECTRIC COMPANY.
- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S), AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY IDENTIFY AND PROVIDE THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS AGREED UPON BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT.
- STORM DRAIN PIPING SHALL BE CONSTRUCTED OF SDR 35 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED ON THE PLANS:
- ALL STRUCTURES UNDER PAVED AREAS SHALL BE DESIGNED TO MEET HS-20 TRUCK LOAD.

**DEMOLITION**

- WITHIN THE LIMIT OF WORK/DISTURBANCE IN THE UPPER PARK AREA, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. WITHIN THE LIMIT OF WORK/DISTURBANCE IN THE LOWER PARK AREA, THE CONTRACTOR SHALL REMOVE AND RELOCATE PLANTINGS ONLY AS SHOWN ON LANDSCAPE PLANS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC. WITHIN PROPOSED WORK AREAS, ONLY AS DIRECTED ON PLANS. THE EXISTING SOIL CAP SHALL ONLY BE DISTURBED AS DIRECTED WITHIN SOIL MANAGEMENT PLAN.
- ALL WETLAND DISTURBANCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL BE RESTORED.
- THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.

**100-YEAR FLOOD PLAIN IMPACT AVOIDANCE**

- THERE IS NO ANTICIPATED INCREASE IN THE 100-YEAR FLOOD ELEVATIONS RESULTANT FROM THE PROPOSED PROJECT, AS DESIGNED.

**EXISTING CONDITIONS**

- EXISTING CONDITIONS ARE COMPILED FROM THE FOLLOWING SOURCES:
- FIELD SURVEY AND WETLANDS FLAGGING BY DIPRETE ENGINEERING, SUPPLEMENTED BY RIGIS LIDAR ELEVATION DATA.
  - FEMA FLOOD MAP 44007C0304J, EFFECTIVE 10/02/2015.
  - CITY OF PROVIDENCE ASSESSORS MAP 113.
  - HANDHELD GPS MAPPING OF EXISTING TRAILS COMPLETED BY CITY OF PROVIDENCE PARKS DEPARTMENT.
  - SITE CAP LIMITS TAKEN FROM RECORD PLANS BY EA, INC.
  - SUPPLEMENTAL INFORMATION PROVIDED THROUGH FIELD VISITS BY WSP.

**SITE SPECIFIC DATA**

- TOTAL SITE AREA = 11.74± ACRES
- TOTAL AREA OF DISTURBANCE = 0.61± ACRES
- NATURAL HERITAGE AREA (NHA) IMPACT = N/A
- THREATENED SPECIES OR HABITAT IMPACT = N/A
- WATERSHED = TRIBUTARY TO WOONASQUATUCKET RIVER: I.D. R10002007R-10D

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE SESC AND THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
  - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES ARE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
  - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - TEMPORARY SEDIMENT BASINS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK." THE DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
  - STRAW WATTLE AND SILT SACKS SHALL BE INSTALLED AT ALL DOWN-GRADE CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE E&S CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
  - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY SEED ACCORDING TO NOTE 11 BELOW. IF TEMPORARY SEED IS NOT FEASIBLE OR NOT PRACTICAL, STOCKPILES SHALL BE COVERED WITH POLYETHYLENE SHEETING OR SIMILAR PRODUCT AT THE END OF EACH DAY TO MINIMIZE DUST.
  - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK."
  - THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
  - THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, AND SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, AND TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
  - THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE RIDES PERMIT, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
  - THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
  - THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
  - THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
  - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
  - NO SNOW SHALL BE PLOWED INTO WETLAND FEATURES OR STORMWATER MANAGEMENT AREAS. ALL EXCESS SNOW MUST BE STOCKPILED IN THE EMPLOYEE PARKING LOT OR REMOVED FROM THE SITE AS NECESSARY.

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**

OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS

SPECIFIED IN THE LETTER OF APPROVAL

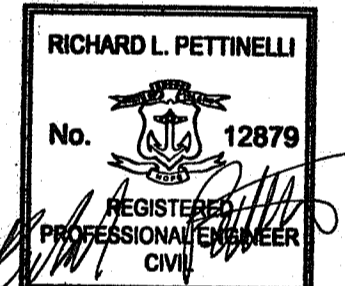
DATED: SEP 15 2023 FILE #: 23-0089

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Sybil D. Weneck*

**NOT FOR CONSTRUCTION**

SEAL:



REVISION	DATE	DESCRIPTION

CLIENT:

**PROVIDENCE PARKS DEPARTMENT**  
 1000 ELMWOOD AVENUE  
 PROVIDENCE, RI 02907

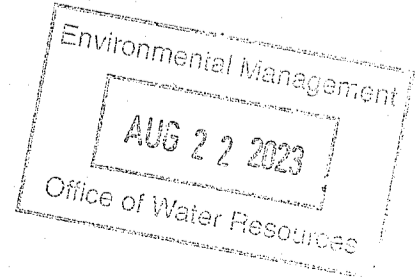
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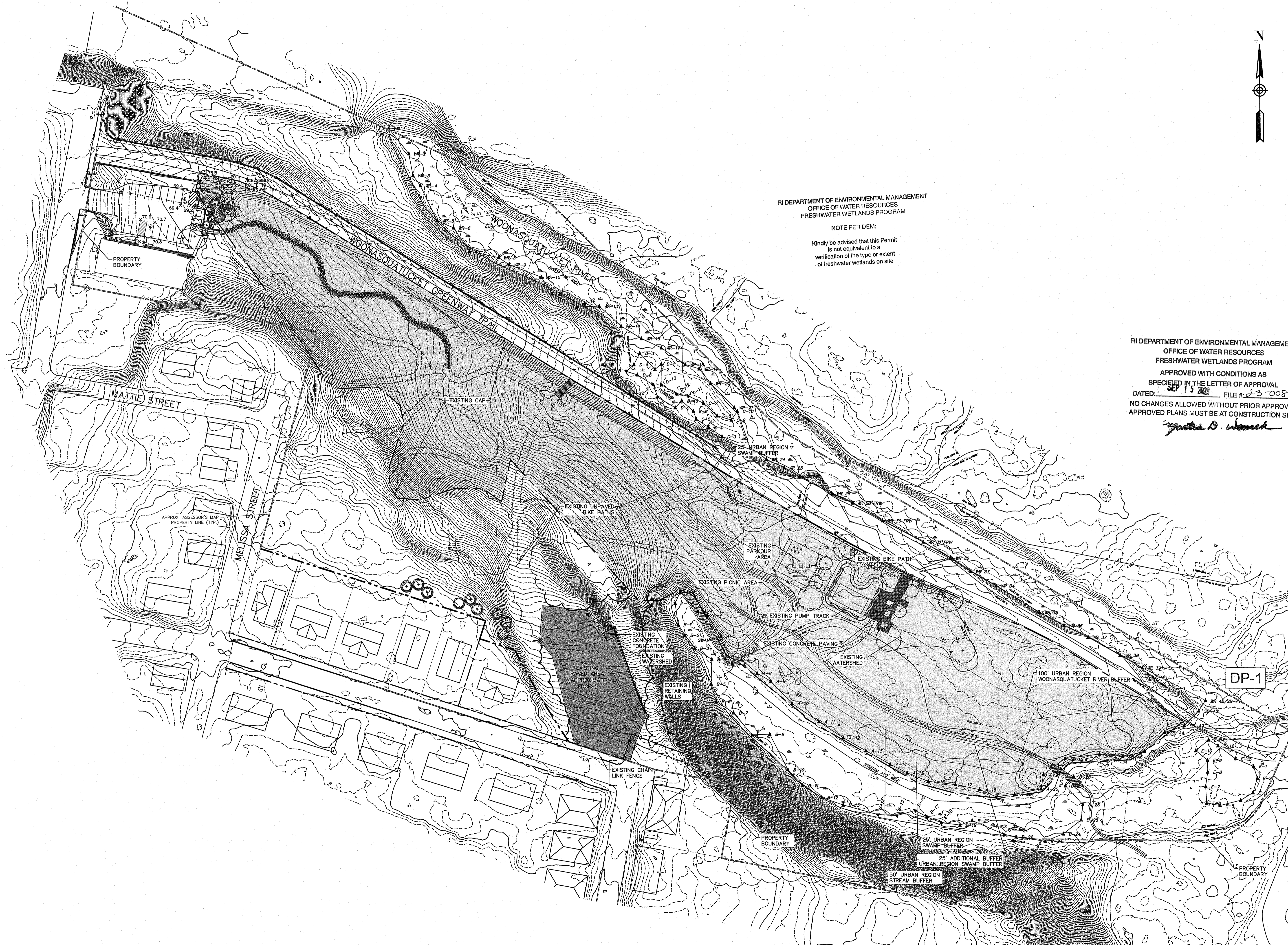
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
 GLENBRIDGE AVENUE  
 PROVIDENCE, RHODE ISLAND

TITLE:

**LEGEND & NOTES**

ISSUED FOR:	PERMITTING
DATE:	AUGUST 18, 2023
SCALE:	N/A
DRAWN BY:	AJP
CHECKED BY:	RLP
PROJECT NO.:	9652220361





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
Kindly be advised that this Permit  
is not equivalent to a  
verification of the type or extent  
of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
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DATED: SEP 15 2023 FILE # 23-0089  
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Yvette D. Womack*

Environmental Approval  
AUG 22 2023  
Office of Water Resources

NOT FOR CONSTRUCTION  
SEAL:

RICHARD L. PETTINELLI  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

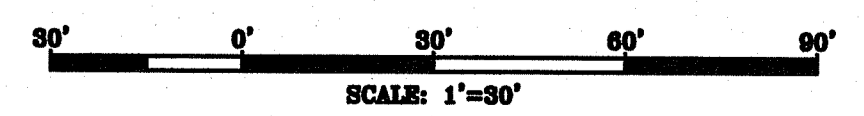
CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

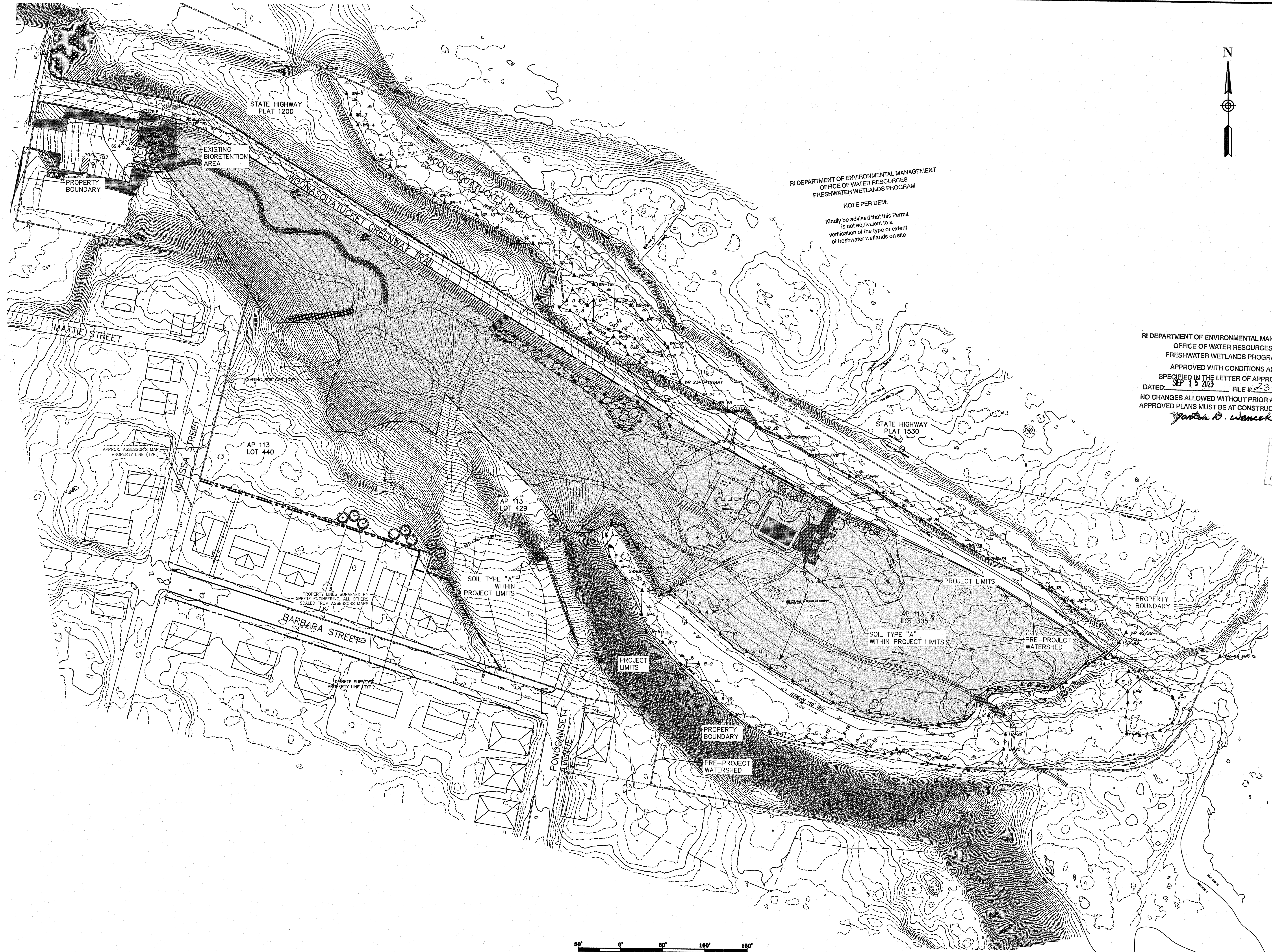
PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**EXISTING CONDITIONS PLAN**

ISSUED FOR: PERMITTING  
DATE: AUGUST 18, 2023  
SCALE: 1" = 30'  
DRAWN BY: AJP  
CHECKED BY: RLP  
PROJECT NO: 365220361

**C-2**





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: SEP 15 2023 FILE #: 23-0089  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Justin D. Wenczek*

Environmental Management  
AUG 22 2023  
Office of Water Resources

NOT FOR CONSTRUCTION  
SEAL:

RICHARD L. PETTINELLI  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

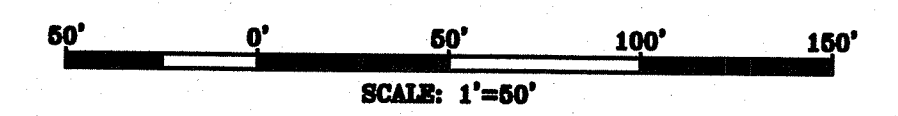
CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**PRE-PROJECT WATERSHED MAP**

ISSUED FOR: PERMITTING  
DATE: AUGUST 18, 2023  
SCALE: 1" = 50'  
DRAWN BY: AJP  
CHECKED BY: RLP  
PROJECT NO: 3652220361

**C-3**





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: **8/15/2023** FILE # **23-0089**  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Yvonne D. Wemch*

Environmental Management  
**AUG 22 2023**  
Office of Water Resources

NOT FOR CONSTRUCTION  
SEAL:

**RICHARD L. PETTINELLI**  
No. **12879**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

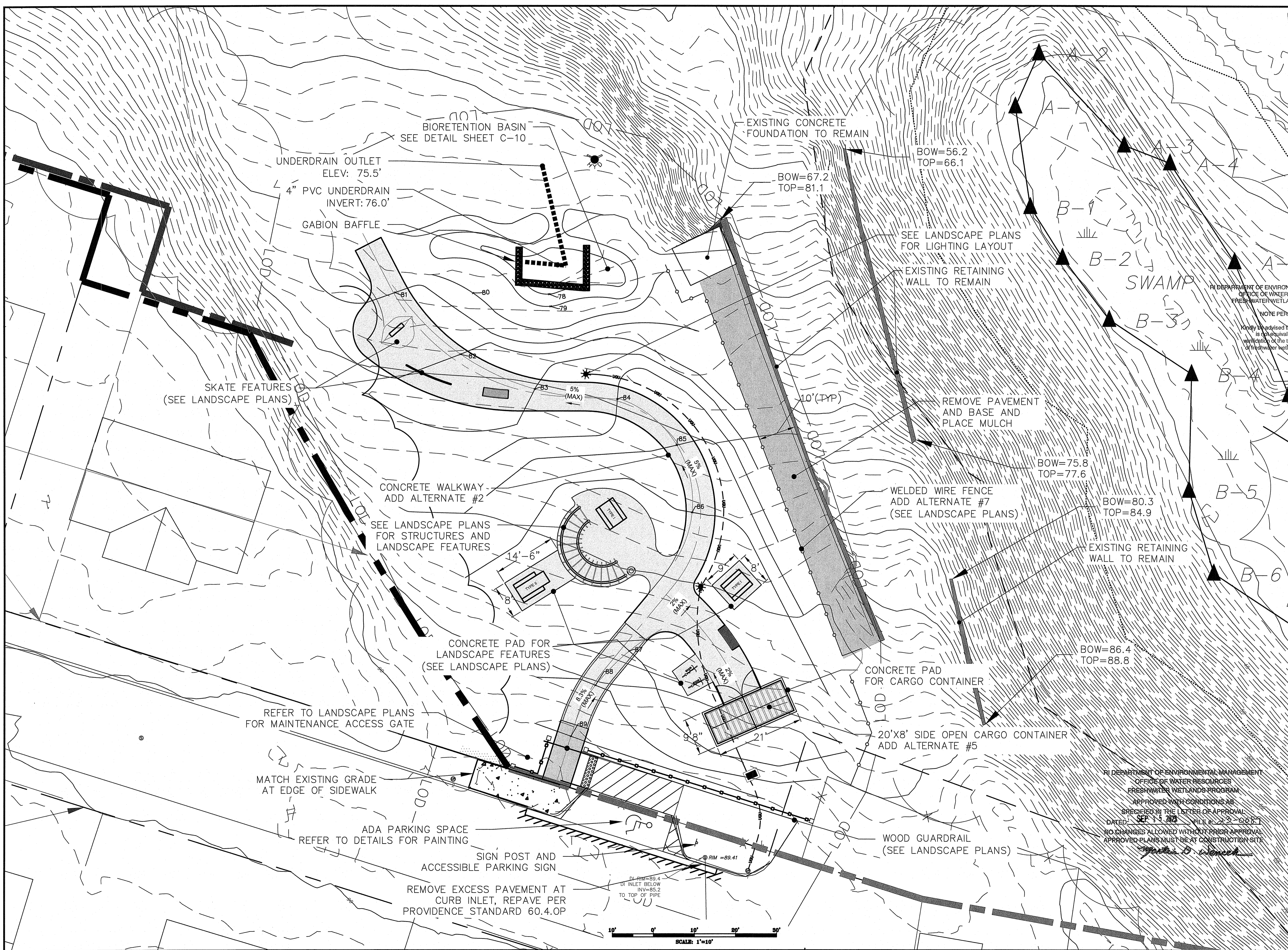
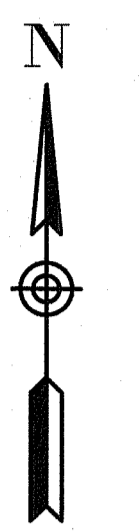
PROJECT:  
**WOONASQUACKETT ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**POST-DEVELOPMENT WATERSHED MAP**

ISSUED FOR: PERMITTING  
DATE: AUGUST 18, 2023  
SCALE: 1" = 50'  
DRAWN BY: AJP  
CHECKED BY: RLP  
PROJECT NO: 3652220361

**C-4**

SCALE: 1"=50'



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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Environmental Management  
AUG 22 2023  
Office of Water Resources

NOT FOR CONSTRUCTION  
SEAL:

RICHARD L. PETTINELLI  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

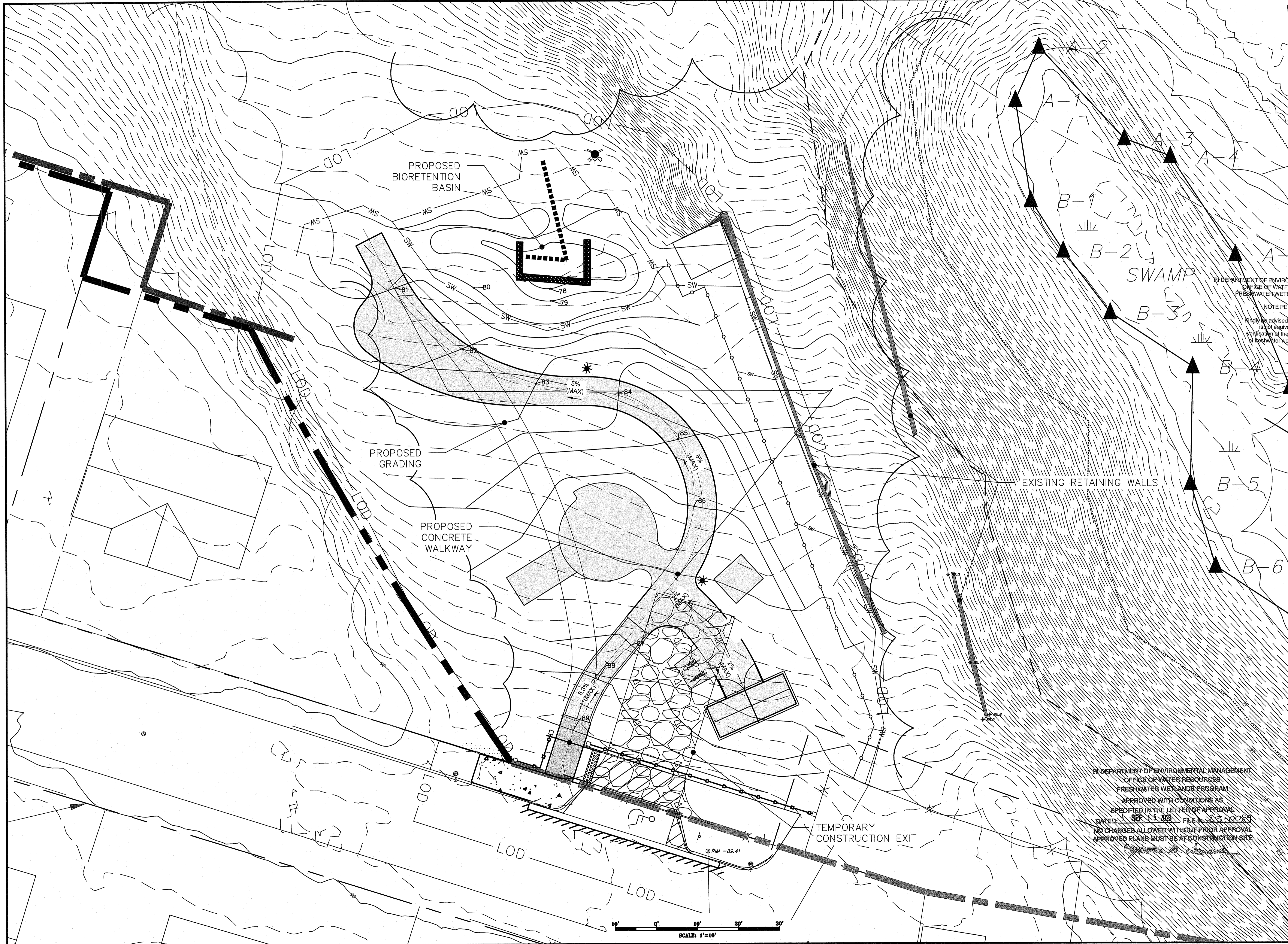
CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATTUCK ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**UPPER AREA GRADING & DRAINAGE PLAN**

ISSUED FOR: PERMITTING  
DATE: AUGUST 18, 2023  
SCALE: 1" = 10'  
DRAWN BY: AJP  
CHECKED BY: RLP  
PROJECT NO: 3652220361

**C-5**



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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Environmental Record  
**AUG 27 2023**  
Office of Water Resources

**NOT FOR CONSTRUCTION**  
SEAL:

**RICHARD L. PETTINELLI**  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

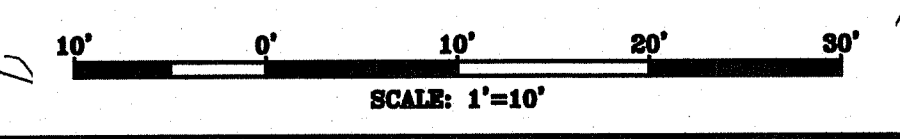
PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**EROSION & SEDIMENTATION CONTROL PLAN 1**

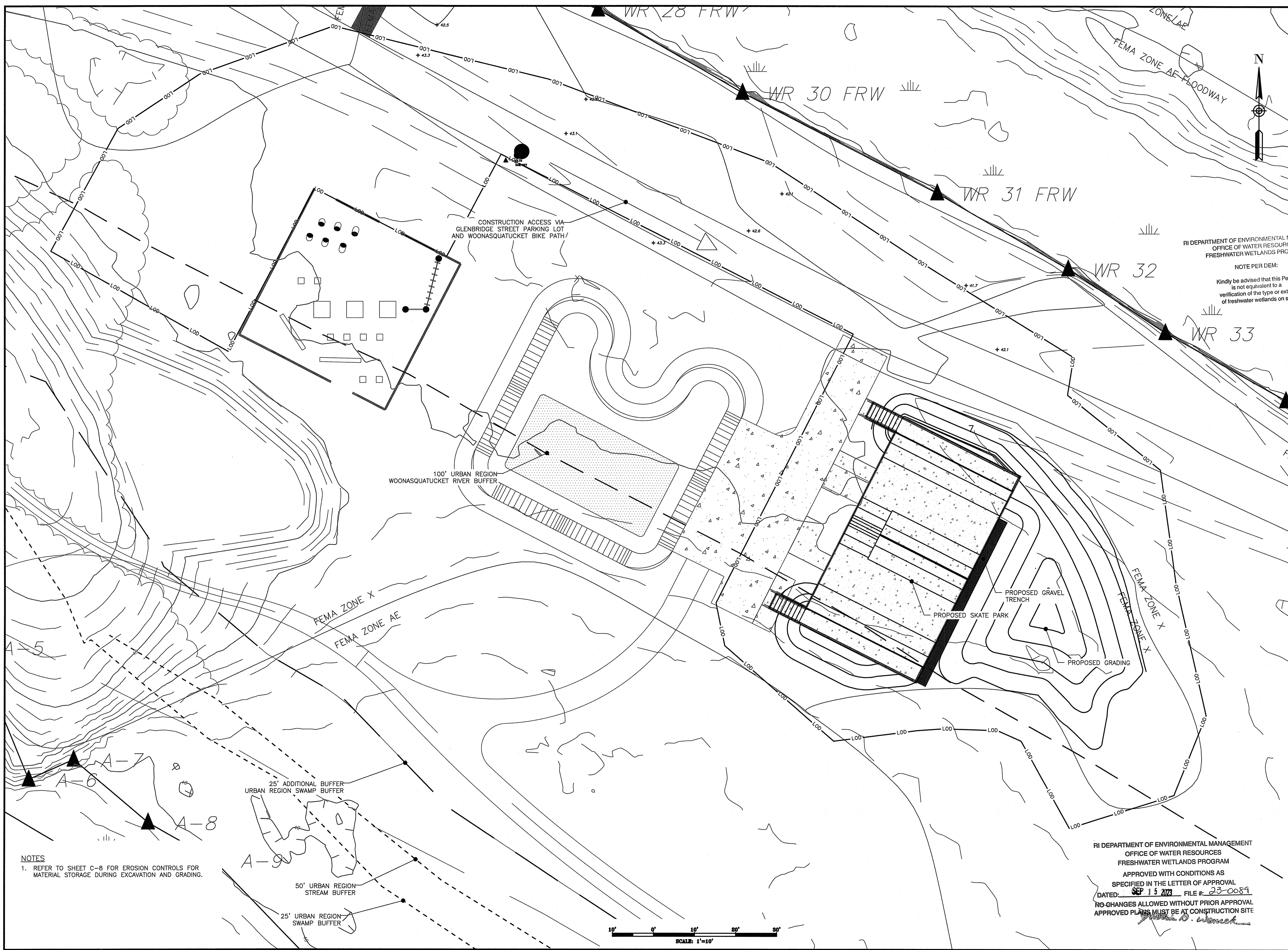
ISSUED FOR: PERMITTING  
DATE: AUGUST 18, 2023  
SCALE: 1" = 10'  
DRAWN BY: AJP  
CHECKED BY: RLP  
PROJECT NO: 3852220381

**C-6**

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 15 2023 FILE # 23-0081  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE







RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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Environmental Management  
AUG 27 2023  
Office of Water Resources

NOT FOR CONSTRUCTION  
SEAL:

RICHARD L. PETTINELLI  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**EROSION & SEDIMENTATION CONTROL PLAN 2**

ISSUED FOR:	PERMITTING
DATE:	AUGUST 18, 2023
SCALE:	1" = 10'
DRAWN BY:	AJP
CHECKED BY:	RLP
PROJECT NO.:	3652220361

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: SEP 15 2023 FILE #: 23-0089  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
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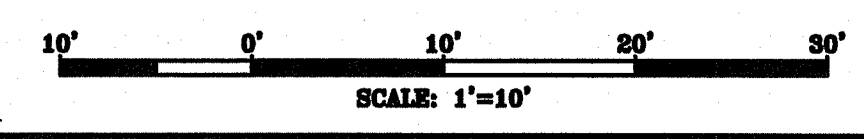
*Richard L. Pettinelli*

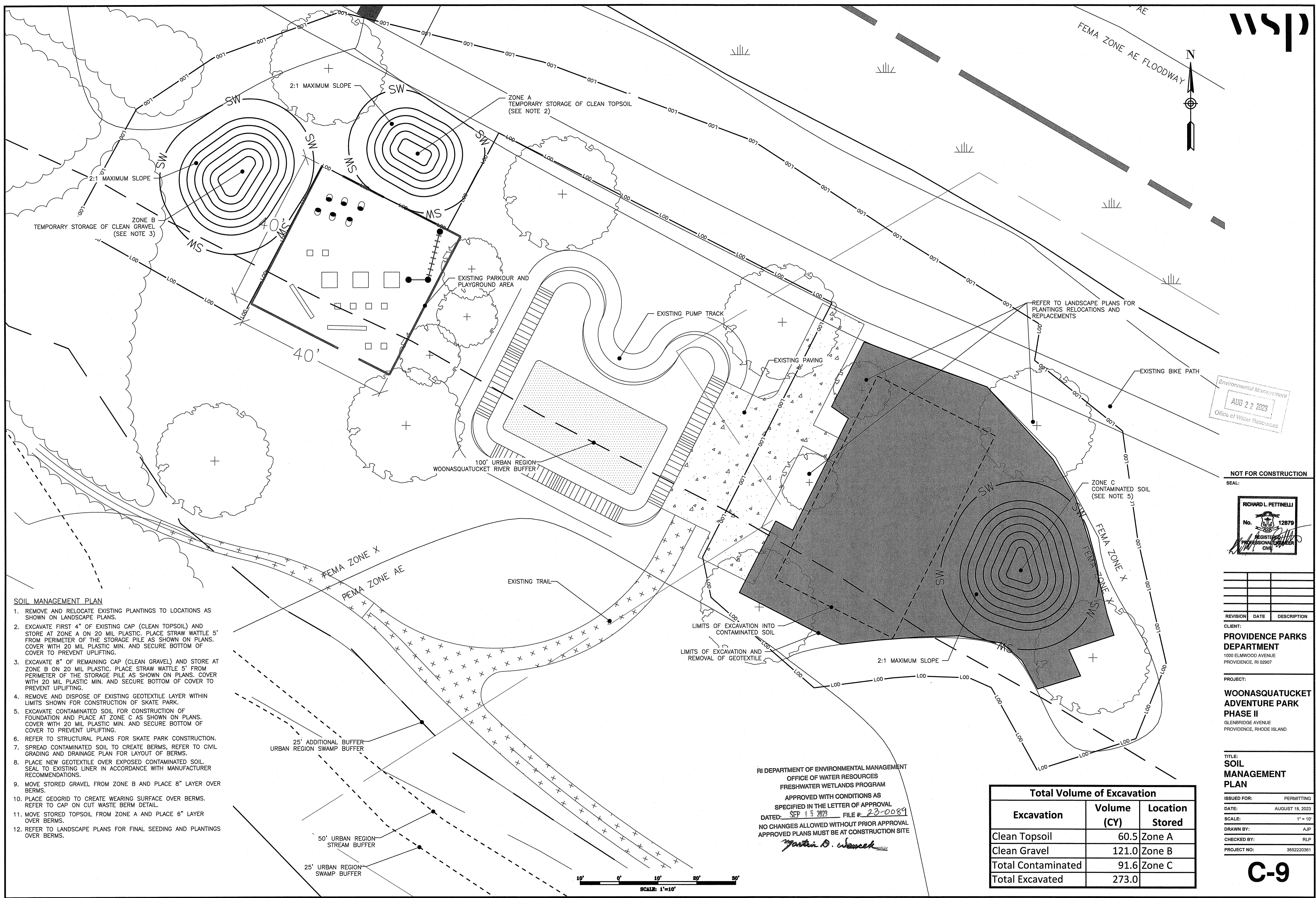
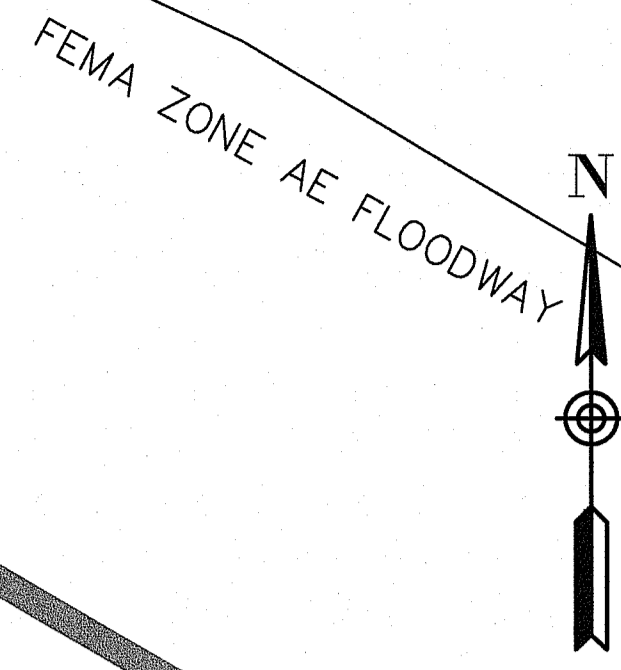
NOTES  
1. REFER TO SHEET C-8 FOR EROSION CONTROLS FOR MATERIAL STORAGE DURING EXCAVATION AND GRADING.

25' ADDITIONAL BUFFER  
URBAN REGION SWAMP BUFFER

50' URBAN REGION  
STREAM BUFFER

25' URBAN REGION  
SWAMP BUFFER





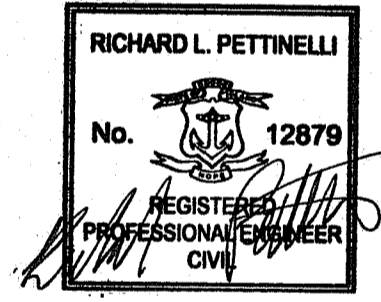
- SOIL MANAGEMENT PLAN**
1. REMOVE AND RELOCATE EXISTING PLANTINGS TO LOCATIONS AS SHOWN ON LANDSCAPE PLANS.
  2. EXCAVATE FIRST 4" OF EXISTING CAP (CLEAN TOPSOIL) AND STORE AT ZONE A ON 20 MIL PLASTIC. PLACE STRAW WATTLE 5' FROM PERIMETER OF THE STORAGE PILE AS SHOWN ON PLANS. COVER WITH 20 MIL PLASTIC MIN. AND SECURE BOTTOM OF COVER TO PREVENT UPLIFTING.
  3. EXCAVATE 8" OF REMAINING CAP (CLEAN GRAVEL) AND STORE AT ZONE B ON 20 MIL PLASTIC. PLACE STRAW WATTLE 5' FROM PERIMETER OF THE STORAGE PILE AS SHOWN ON PLANS. COVER WITH 20 MIL PLASTIC MIN. AND SECURE BOTTOM OF COVER TO PREVENT UPLIFTING.
  4. REMOVE AND DISPOSE OF EXISTING GEOTEXTILE LAYER WITHIN LIMITS SHOWN FOR CONSTRUCTION OF SKATE PARK.
  5. EXCAVATE CONTAMINATED SOIL FOR CONSTRUCTION OF FOUNDATION AND PLACE AT ZONE C AS SHOWN ON PLANS. COVER WITH 20 MIL PLASTIC MIN. AND SECURE BOTTOM OF COVER TO PREVENT UPLIFTING.
  6. REFER TO STRUCTURAL PLANS FOR SKATE PARK CONSTRUCTION.
  7. SPREAD CONTAMINATED SOIL TO CREATE BERMS. REFER TO CIVIL GRADING AND DRAINAGE PLAN FOR LAYOUT OF BERMS.
  8. PLACE NEW GEOTEXTILE OVER EXPOSED CONTAMINATED SOIL. SEAL TO EXISTING LINER IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
  9. MOVE STORED GRAVEL FROM ZONE B AND PLACE 8" LAYER OVER BERMS.
  10. PLACE GEOGRID TO CREATE WEARING SURFACE OVER BERMS. REFER TO CAP ON CUT WASTE BERM DETAIL.
  11. MOVE STORED TOPSOIL FROM ZONE A AND PLACE 6" LAYER OVER BERMS.
  12. REFER TO LANDSCAPE PLANS FOR FINAL SEEDING AND PLANTINGS OVER BERMS.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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*Walter D. Wenczek*

Total Volume of Excavation		
Excavation	Volume (CY)	Location Stored
Clean Topsoil	60.5	Zone A
Clean Gravel	121.0	Zone B
Total Contaminated	91.6	Zone C
<b>Total Excavated</b>	<b>273.0</b>	

Environmental Management  
 AUG 22 2023  
 Office of Water Resources

NOT FOR CONSTRUCTION  
 SEAL:



REVISION	DATE	DESCRIPTION

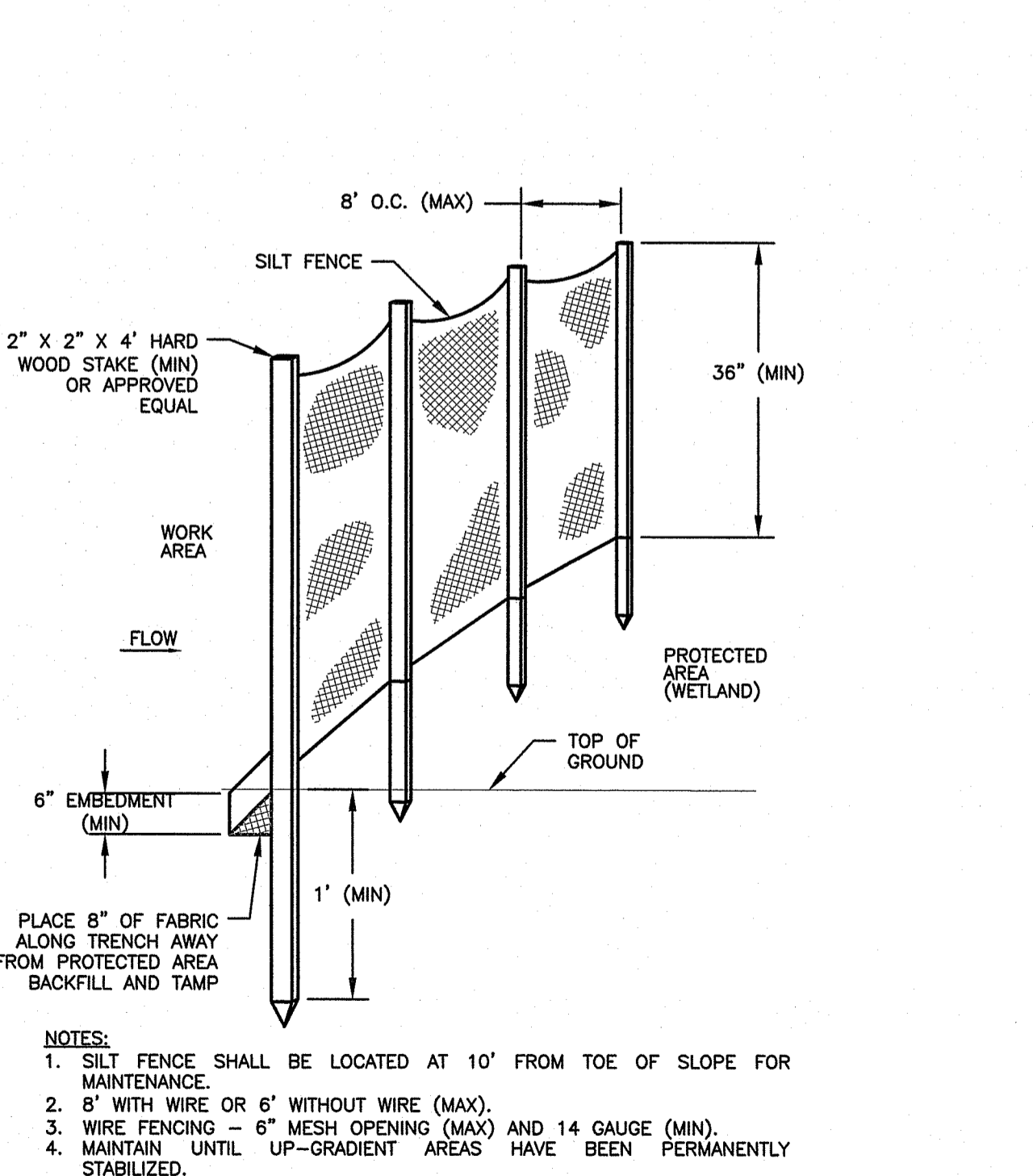
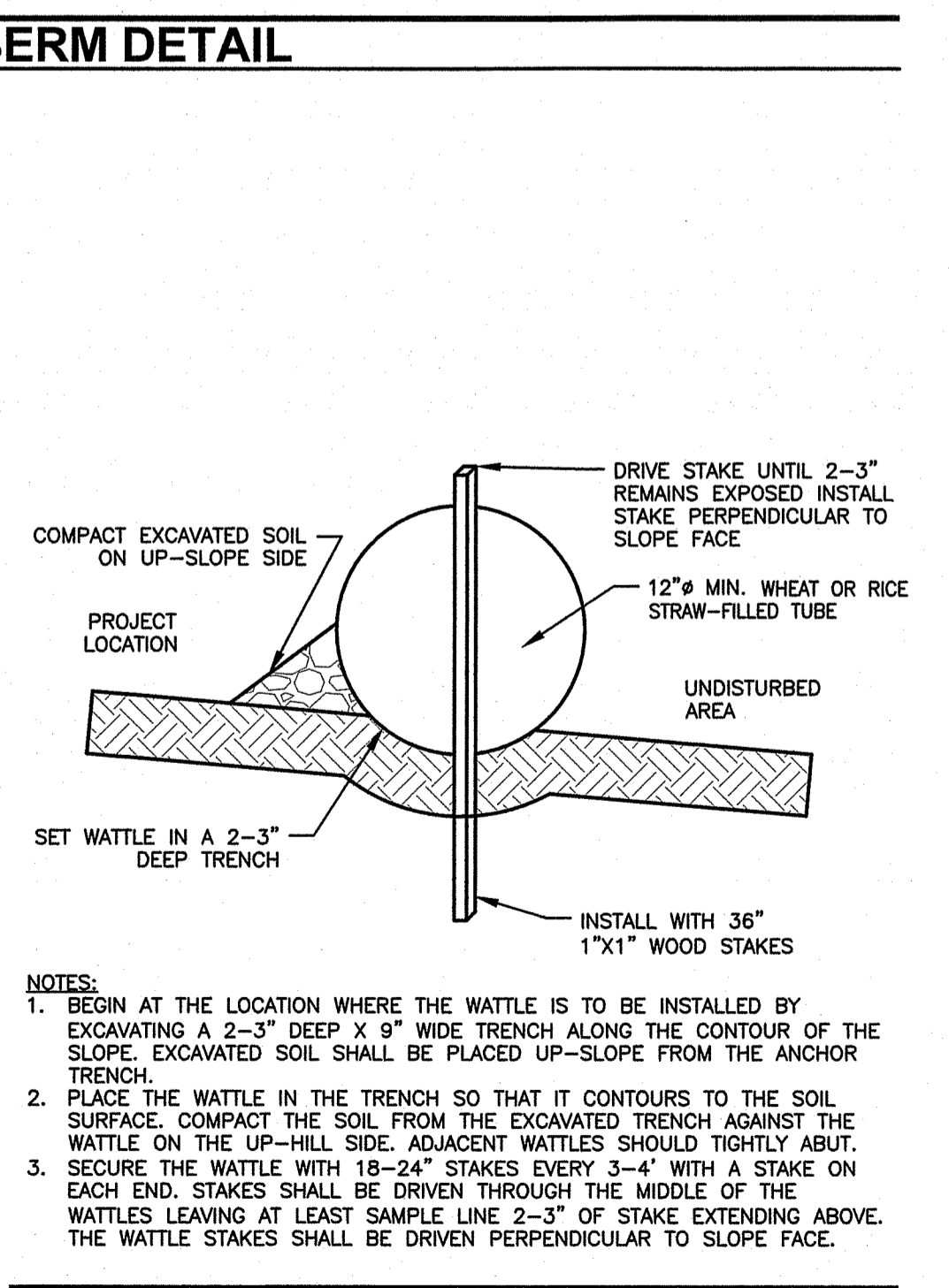
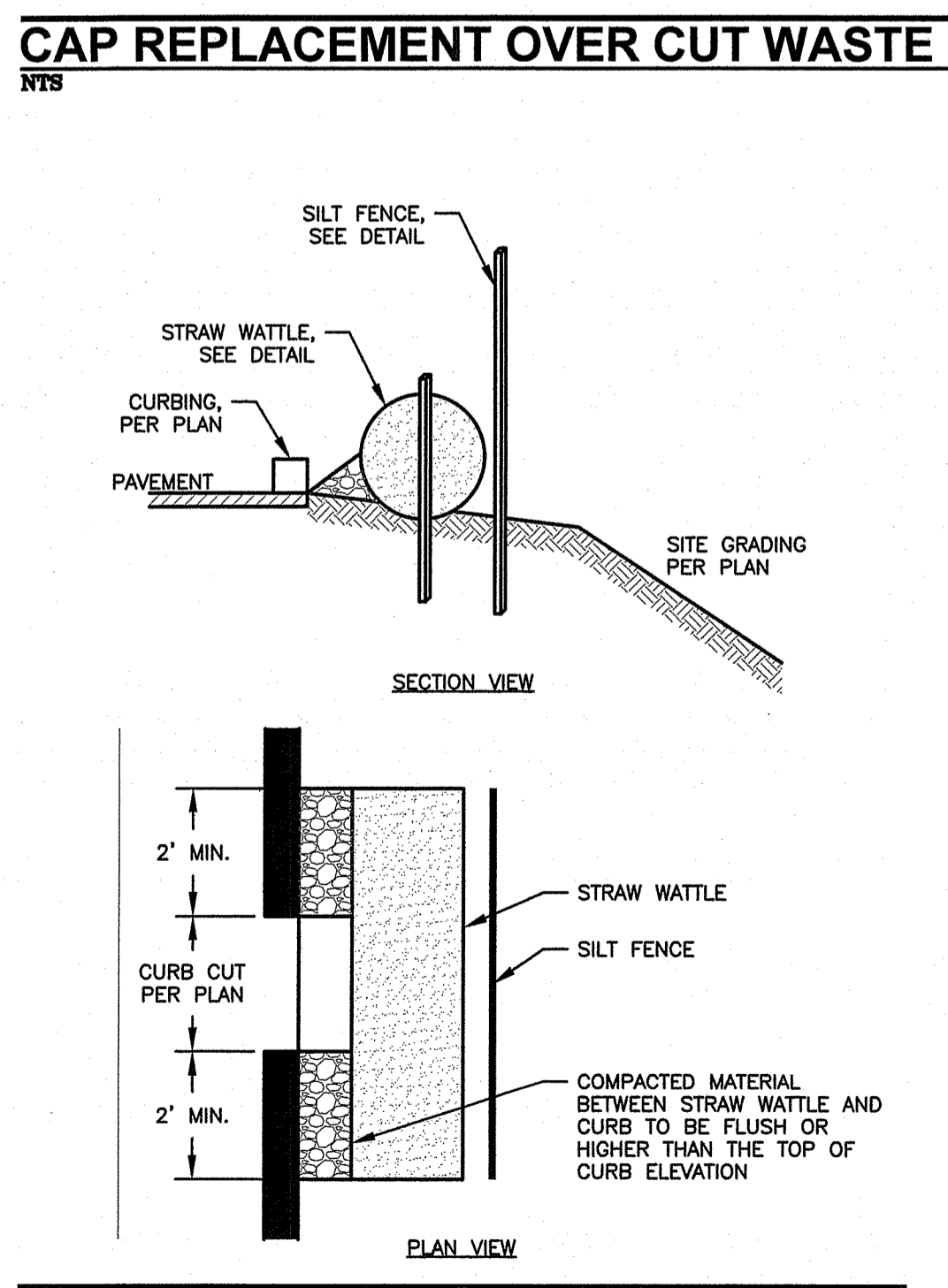
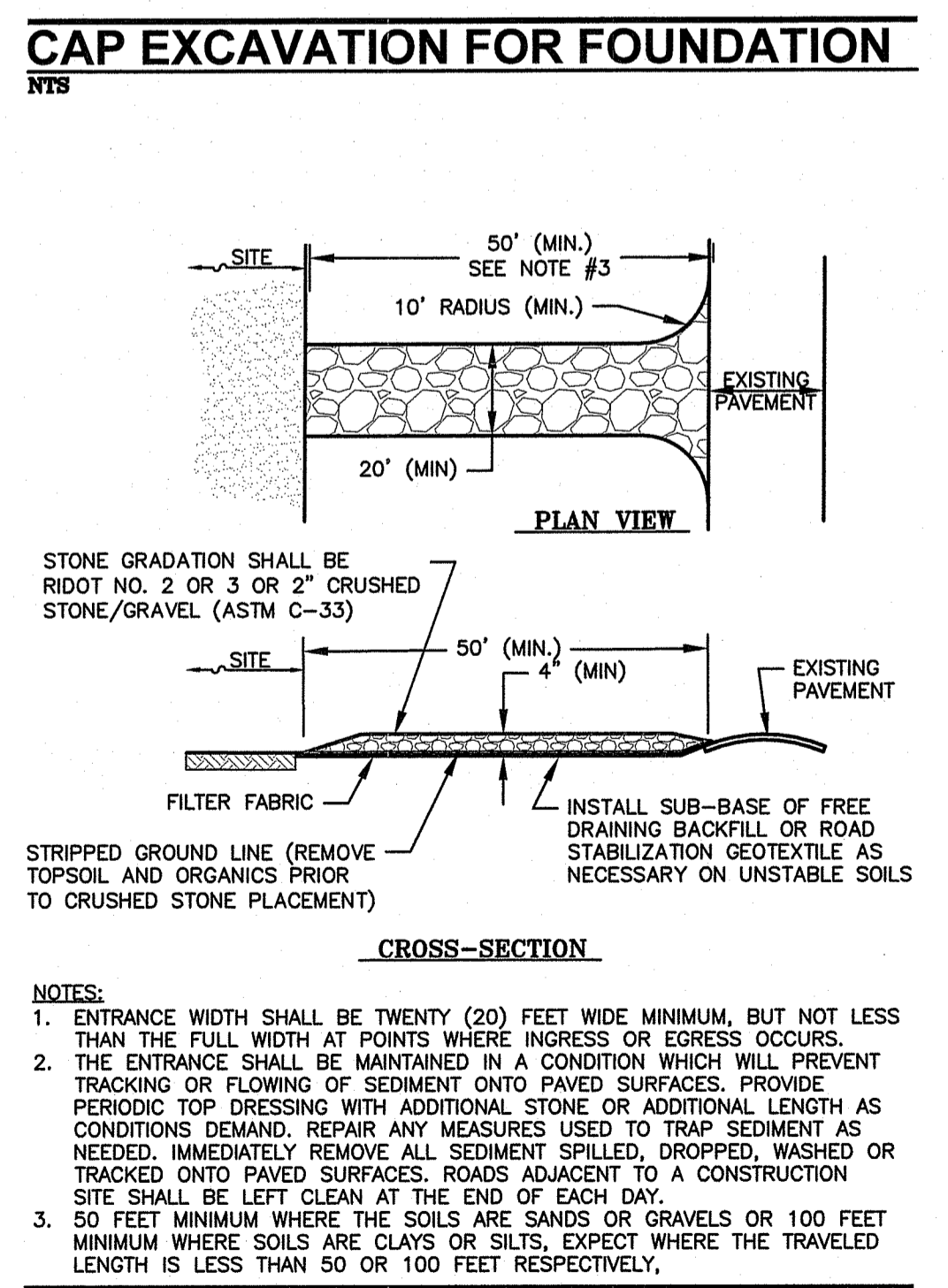
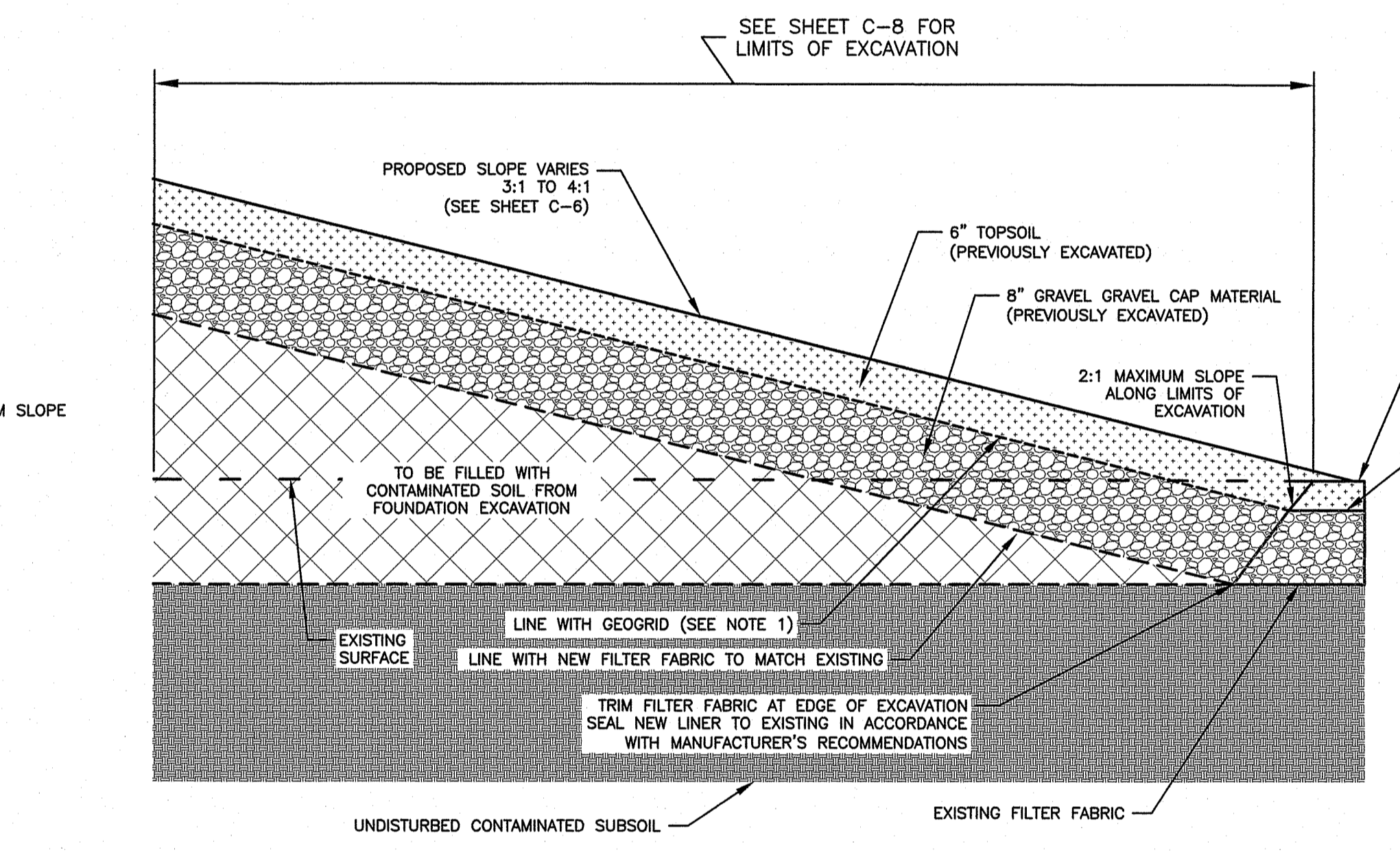
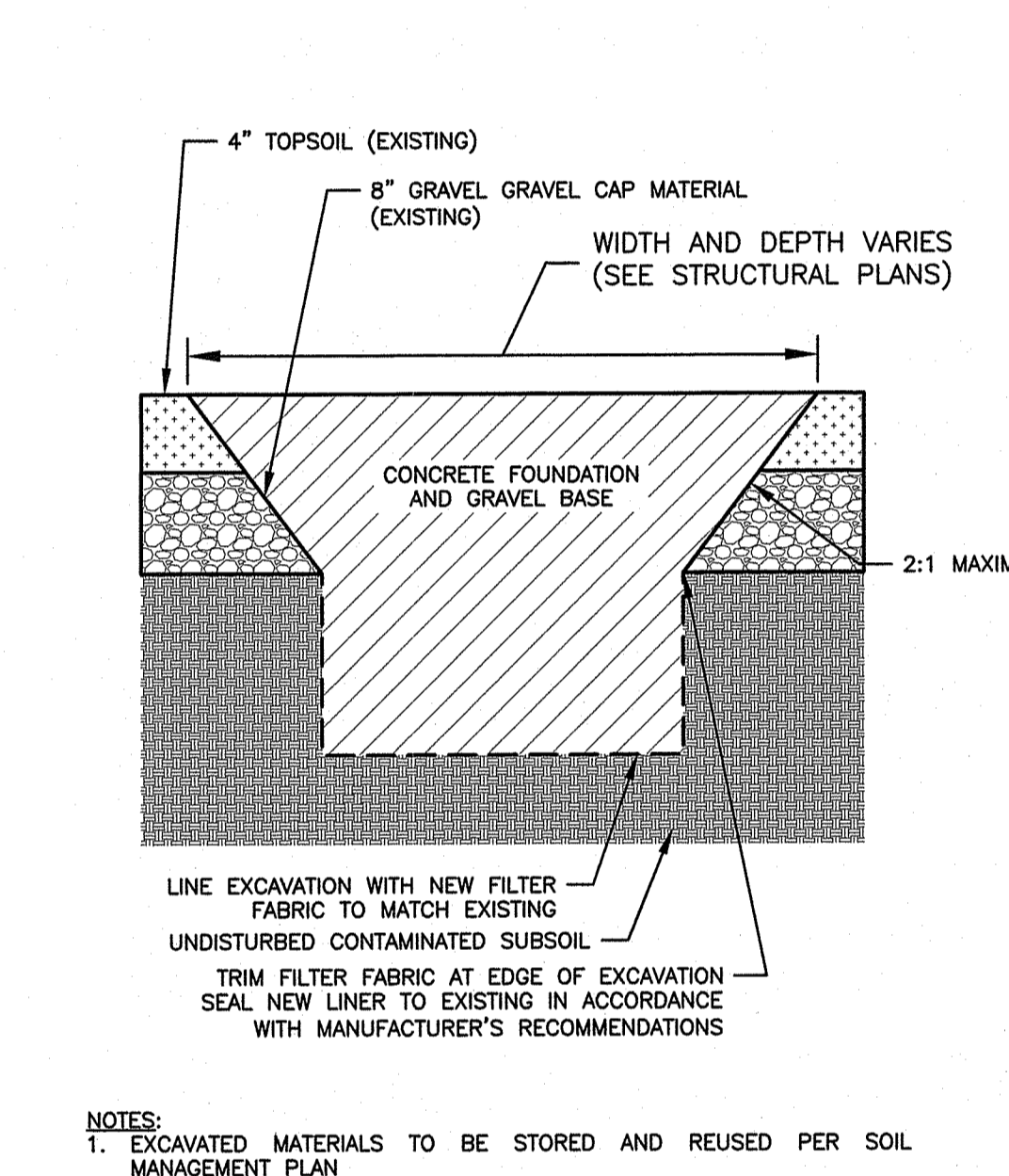
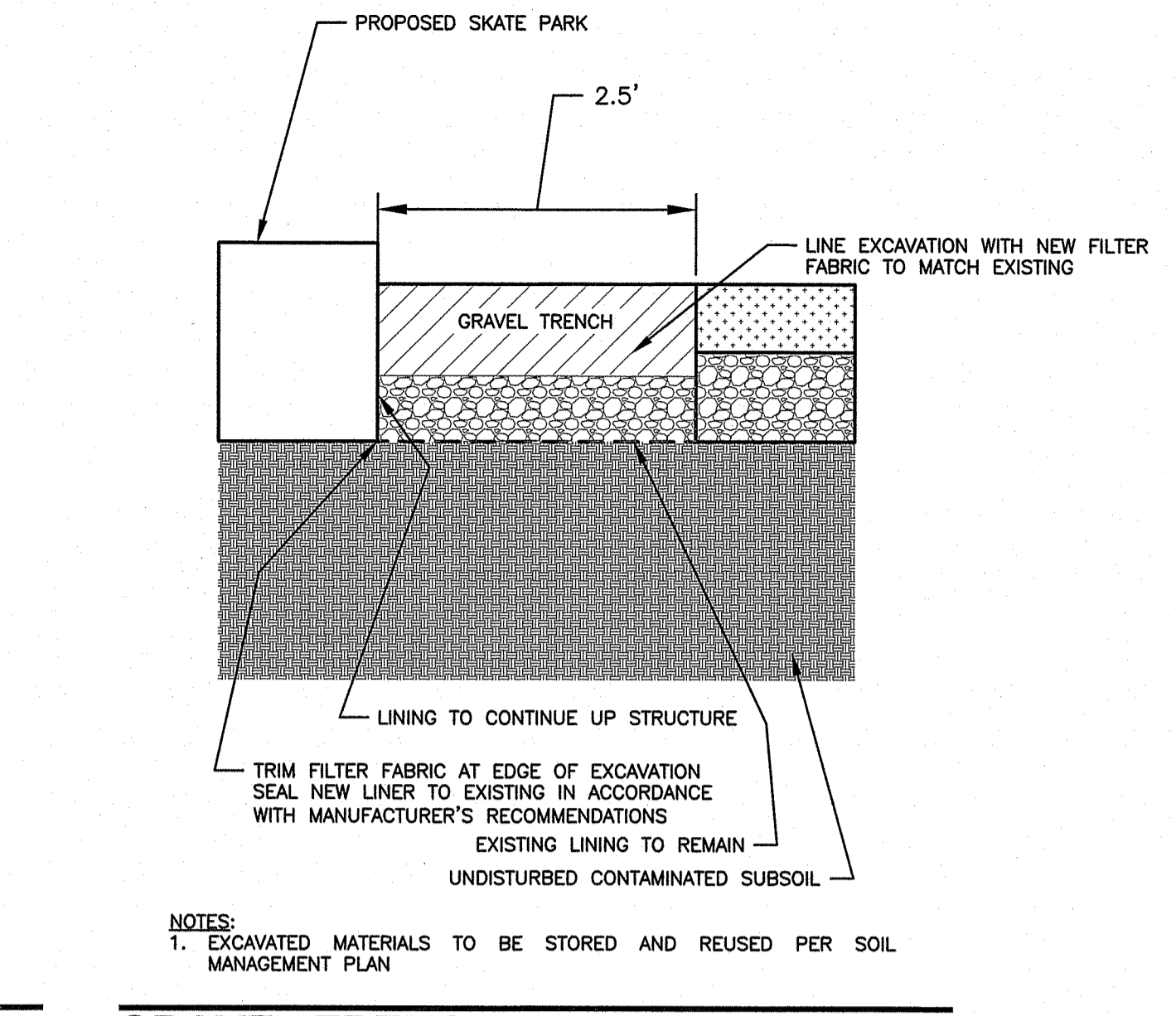
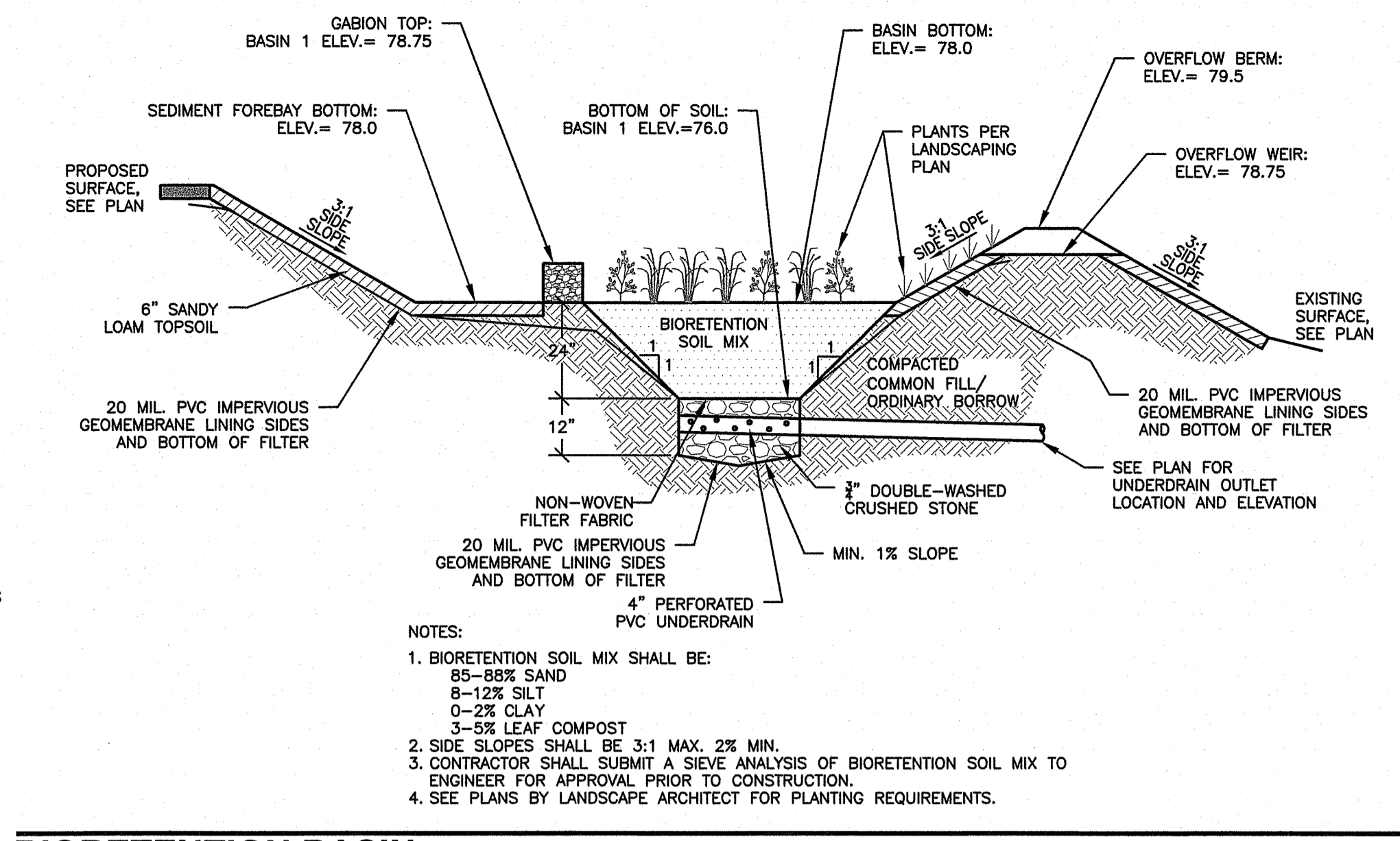
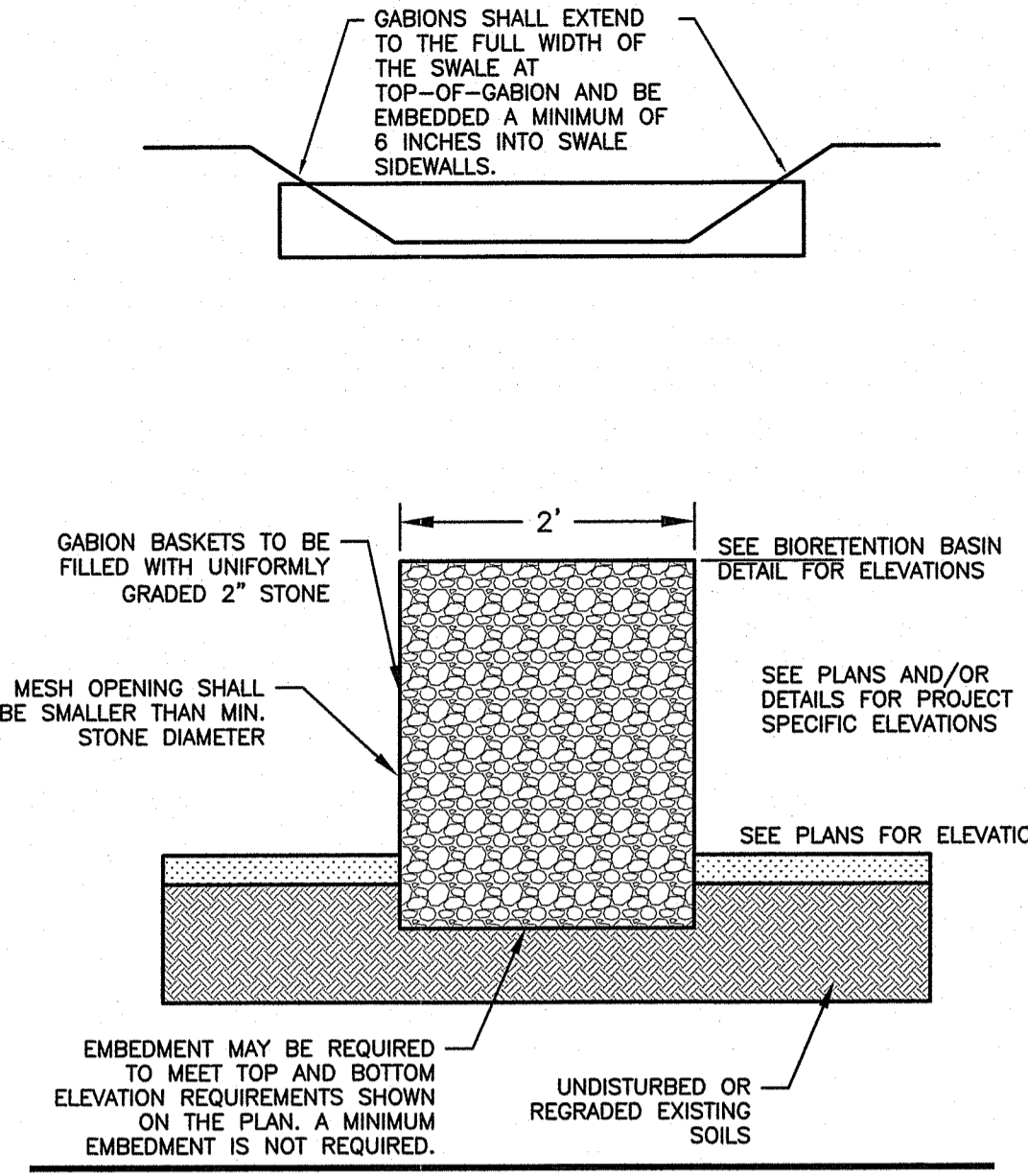
CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
 1000 ELMWOOD AVENUE  
 PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
 GLENBRIDGE AVENUE  
 PROVIDENCE, RHODE ISLAND

TITLE:  
**SOIL MANAGEMENT PLAN**

ISSUED FOR: PERMITTING  
 DATE: AUGUST 18, 2023  
 SCALE: 1" = 10'  
 DRAWN BY: AJP  
 CHECKED BY: RLP  
 PROJECT NO: 365220361

**C-9**



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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*Justin D. Wencel*

Environmental Management  
AUG 22 2023  
Office of Water Resources

NOT FOR CONSTRUCTION

RICHARD L. PETTINELLI  
No. 12879  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
1000 ELMWOOD AVENUE  
PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
GLENBRIDGE AVENUE  
PROVIDENCE, RHODE ISLAND

TITLE:  
**DETAILS**

ISSUED FOR: PERMITTING

DATE: AUGUST 18, 2023

SCALE: N/A

DRAWN BY: AJP

CHECKED BY: RLP

PROJECT NO: 365220361

**GENERAL NOTES:**

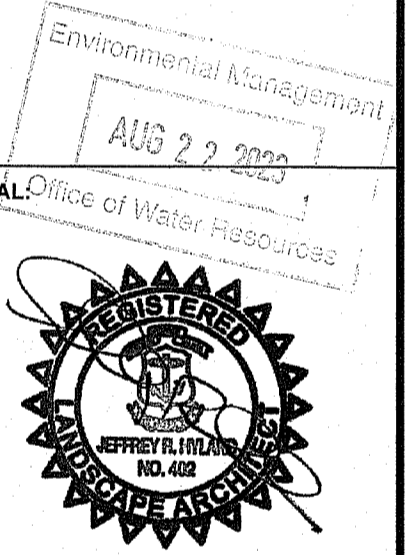
- SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS, INCLUDING EXTENT OF DISTURBANCE / LIMIT OF WORK.
- SEE L2.0 AND L2.1 FOR THE PLANT SCHEDULES.
- SEE L3.0-L3.4 FOR LANDSCAPE CONSTRUCTION DETAILS AND NOTES.
- CONSTRUCTION ACTIVITIES SHALL NOT UNNECESSARILY IMPACT PARK OPERATIONS.
- WITHIN THE LIMIT OF WORK, ANY INVASIVE PLANT SPECIES ENCOUNTERED SHALL BE REMOVED FOLLOWING RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT BEST MANAGEMENT PRACTICES.
- ALL DISTURBED AREAS NOT IDENTIFIED FOR A SPECIFIC SURFACE TREATMENT SHALL BE LOAMED AND SEEDED, SEE 8/L3.2.
- CONTACT DIGSAFE PRIOR TO BEGINNING WORK.
- AN ELECTRONIC FILE OF THIS DRAWING WILL BE PROVIDED FOR CONTRACTOR LAYOUT PURPOSES.

**ADD ALTERNATES LIST**

- ADD ALTERNATE #1 - RAIN GARDEN ENHANCED PLANTING (BASE BID, AREA TO BE SEEDED WITH SEED SUPPLIED BY THE PARKS DEPARTMENT)
- ADD ALTERNATE #2 - CONCRETE SIDEWALK (BASE BID 3" BITUMINOUS PAVEMENT SIDEWALKS, RAMP NOT INCLUDED)
- ADD ALTERNATE #3 - FREE STANDING MINI RAMP (SEE CIVIL DRAWINGS)
- ADD ALTERNATE #4 - TYPE I PICNIC TABLE, ONE UNIT WITH CONCRETE PAD AS IDENTIFIED ON THE DRAWINGS
- ADD ALTERNATE #5 - FURNISH AND INSTALL CONEX CONTAINER (SEE CIVIL DRAWINGS)
- ADD ALTERNATE #6 - FURNISH AND INSTALL THE RECTANGULAR STEEL TRELLIS INCLUDING FOOTINGS.
- ADD ALTERNATE #7 - WELDED WIRE FENCE AND GATE (BASE BID - 4' HT. BLACK VINYL COATED CHAIN LINK FENCE AND GATE).

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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 DATED: SEP 13 2023 FILE # 23-0089  
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*Yvonne B. Wernick*



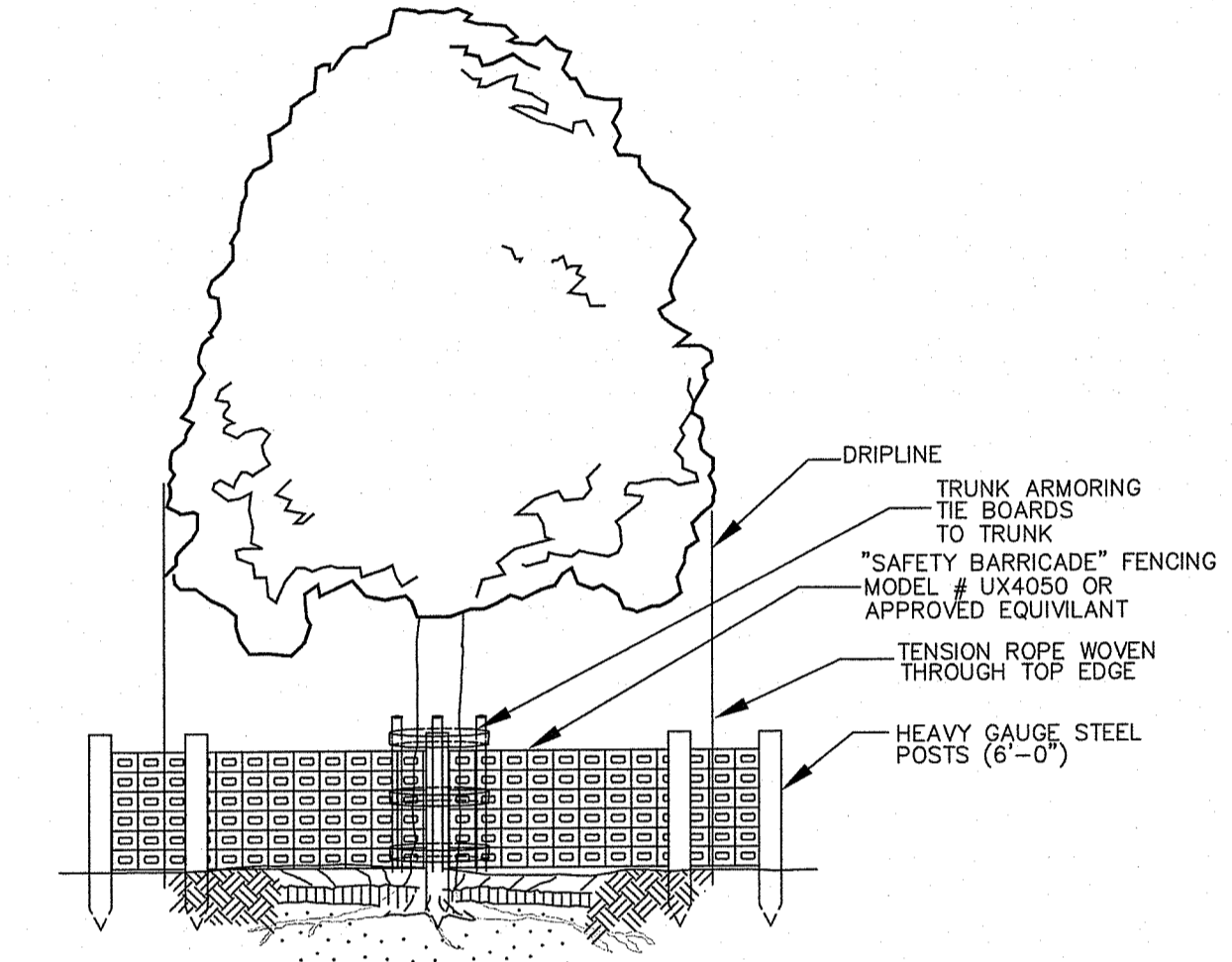
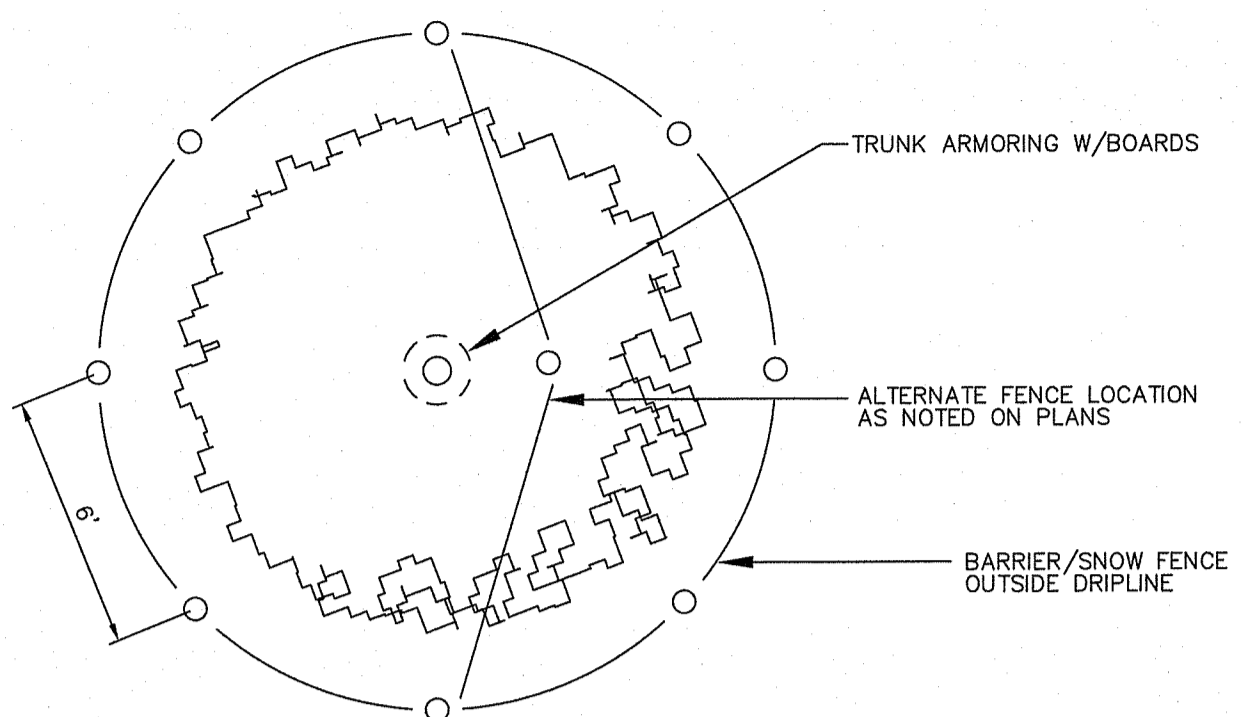
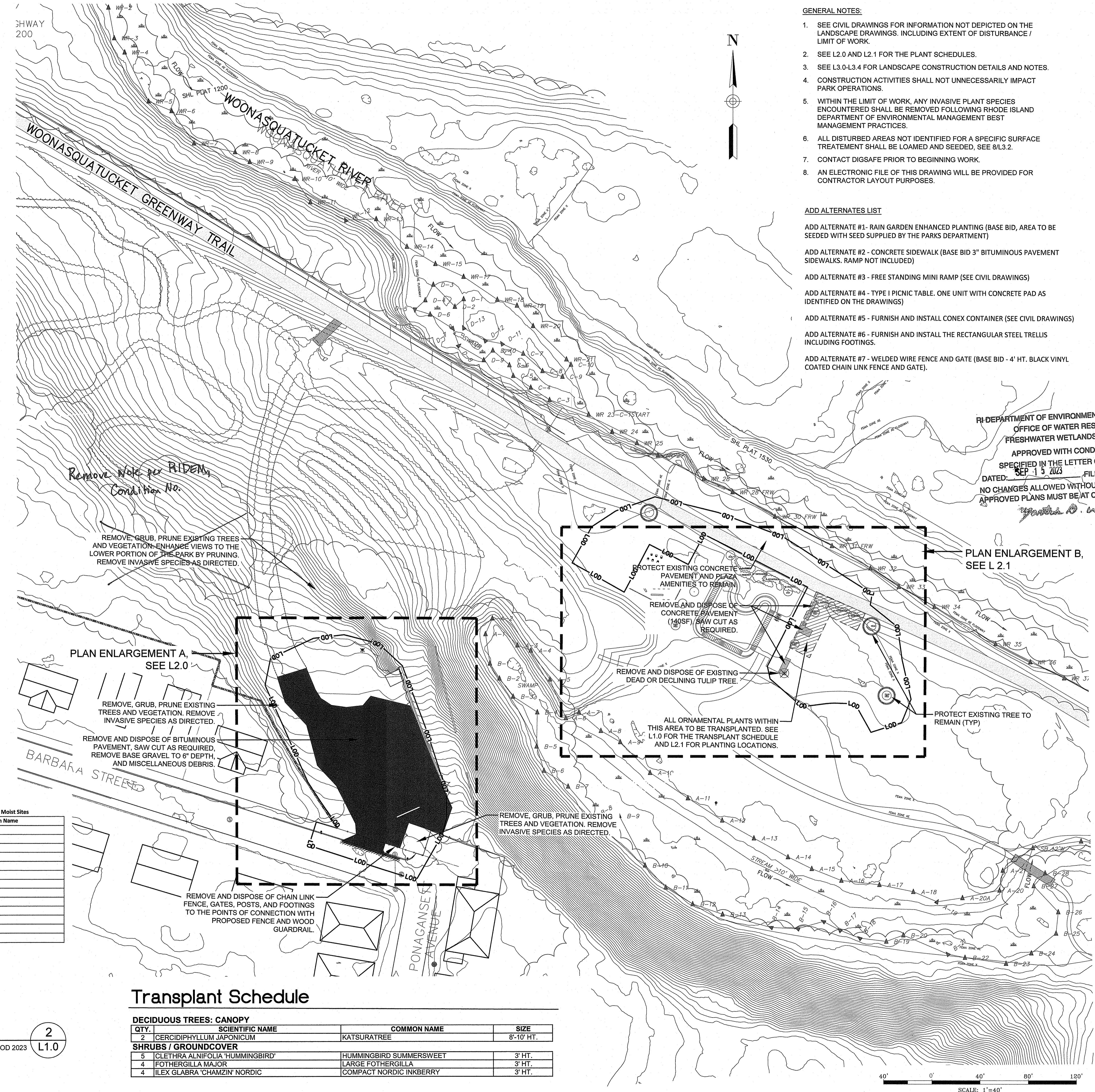
REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
 1000 ELMWOOD AVENUE  
 PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
 GLENBRIDGE AVENUE  
 PROVIDENCE, RHODE ISLAND

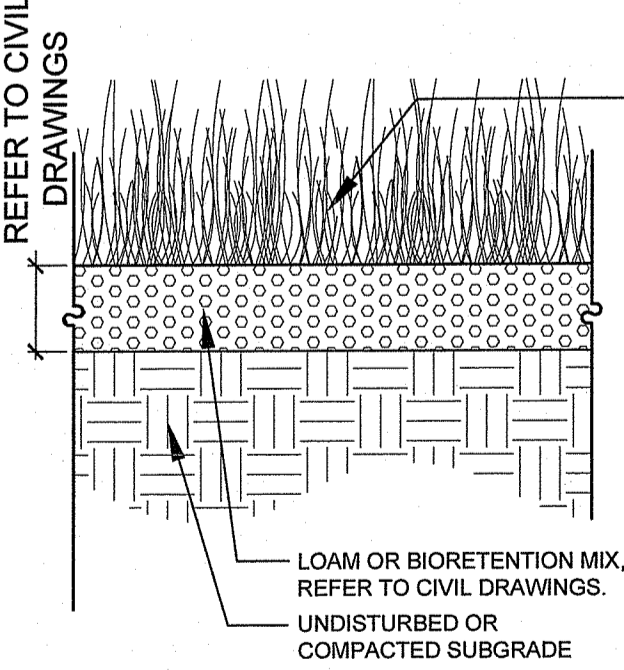
TITLE:  
**LANDSCAPE PREPARATION PLAN**

ISSUED FOR: 100% SUBMISSION  
 DATE: MAY 11, 2023  
 SCALE: 1"=40'-0"  
 DRAWN BY: SW, JRH  
 CHECKED BY: JRH  
 PROJECT NO: 3652220391



**Tree Protection**  
 Not to Scale

1  
 L1.0



MOIST SITE RESTORATION SEED MIX  
 New England Erosion Control/Restoration Mix For Detention Basins and Moist Sites

Botanical Name	Common Name
Elymus riparius	Riverbank Wild Rye
Schizachyrium scoparium	Little Bluestem
Festuca rubra	Red Fescue
Andropogon gerardii	Big Bluestem
Panicum virgatum	Switch Grass
Vernonia noveboracensis	New York Ironweed
Agrostis perennans	Upland Bentgrass
Bidens frondosa	Beggar Ticks
Eupatorium maculatum (Eutrochium maculatum)	Spotted Joe Pye Weed
Eupatorium perfoliatum	Boneset
Aster novae-angliae (Symphyotrichum novae-angliae)	New England Aster
Scirpus cyperinus	Wool Grass
Juncus effusus	Soft Rush

APPLY: 35 LBS/ACRE :1250 sq ft/lb

- NOTES:
- THE SEED MIX ABOVE REPRESENTS A BLEND AVAILABLE THRU NEW ENGLAND WETLAND PLANTS - SOUTH HADLEY, MA - WWW.NEWP.COM
  - APPLY SEED AT THE RATE SPECIFIED BY THE SEED SUPPLIER.
  - SEE PLANS FOR AREAS DESIGNATED TO RECEIVE THIS SEED MIX.

**Bioretention Area Seeding**  
 Not to Scale

2  
 L1.0

**Transplant Schedule**

DECIDUOUS TREES: CANOPY			
QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE
2	CERCIDIPHYLLUM JAPONICUM	KATSURATREE	8'-10' HT.
SHRUBS / GROUNDCOVER			
5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	3' HT.
4	FOTHERGILLA MAJOR	LARGE FOTHERGILLA	3' HT.
4	ILEX GLABRA 'CHAMZIN' NORDIC	COMPACT NORDIC INKBERRY	3' HT.

SCALE: 1"=40'

L1.0





**SITE PREPARATION NOTES:**

- ALL SITE PREPARATION NECESSARY TO COMPLETE THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH PROVIDENCE PARKS DEPARTMENT STAFF TO DEVELOP A SUITABLE DEMOLITION PLAN, WHICH WILL MINIMIZE PARK DISTURBANCE AND ALLOW ALL FACILITIES TO REMAIN IN OPERATION DURING THE ENTIRETY OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION, DEMOLITION, REMOVAL AND DISPOSAL, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL EXISTING SITE ELEMENTS AND STRUCTURES INCLUDING BUT NOT LIMITED TO BITUMINOUS CONCRETE, CEMENT CONCRETE, GRAVEL, CURBS, WALKWAYS, SIDEWALKS, BERMS, FENCES, BOLLARDS, POSTS, PLANTING BEDS, TREES, SHRUBS, UTILITIES, DRAINAGE STRUCTURES AND ALL OTHER STRUCTURES SHOWN WITHIN THE LIMITS, AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION. ALL ELEMENTS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A PROPER AND LEGAL MANNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE CITY, AND "DIGSAFE" (1-800-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN PREVIOUSLY UNALTERED AREAS TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE CONFLICTS BETWEEN THE PROPOSED UTILITIES AND FIELD-LOCATED UTILITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY. THE OWNER ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED, INCOMPLETELY OR INACCURATELY SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCURATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. ALL COST RELATED TO THE REPAIR OF UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN CONTINUOUS ACCESS AND OPERATION FOR SURROUNDING FACILITIES, AS DEEMED BY THE OWNER, AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES AND TREE PROTECTIVE MEASURES ARE TO BE INSTALLED.
- EVERY EFFORT SHALL BE TAKEN TO PRESERVE THE HEALTH OF EXISTING VEGETATION TO BE PROTECTED ON SITE. PRIOR TO BEGINNING ANY WORK THE CONTRACTOR ON SITE SHALL TAKE EFFECTIVE ACTION TO PROTECT ALL EXISTING LANDSCAPING INDICATED TO REMAIN.
- ALL ELEMENTS IDENTIFIED TO BE PROTECTED SHOULD BE ENCIRCLED WITH AN ORANGE PLASTIC, 4' - HIGH BARRICADE FENCE THAT IS SECURELY STAKED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- PROTECT TREE TRUNKS FROM SCRAPING AND GOUGING BY VERTICALLY PLACING A SERIES OF EIGHT FOOT, TWO BY FOUR LUMBER AROUND THE TRUNK SPACED 8" APART (MAX) TO ENCIRCLE THE TRUNK. SECURE THE LUMBER WITH AT LEAST THREE 1 1/2" WEBBING RATCHET STRAPS.
- THE ROOT ZONE OF TREES TO BE PROTECTED REQUIRES ALL EXCAVATION WORK BE DONE WITH AN AIR SPADE AND/OR BY HAND DIGGING. WHEN ROOTS ARE ENCOUNTERED THAT MUST BE CUT TO INSTALL UTILITIES, PAVEMENT, ETC. THEY ARE TO BE PRUNED USING A HAND SAW, LOPPERS, OR HAND PRUNERS. PRUNE AWAY JAGGED ROOTS BACK TO THE TRENCH WALL CLOSEST TO THE TREE.
  - KEEP EQUIPMENT AND EXCAVATED BACKFILL ON THE SIDE FURTHEST FROM THE TREE.
  - REPLACE THE BACKFILL ON THE SAME DAY. IF THIS IS NOT POSSIBLE, COVER THE EXPOSED ROOTS WITH WET BURLAP TO PREVENT THEM FROM DRY OUT.
  - DO NOT ALLOW CHEMICALS OR FOREIGN DEBRIS TO BECOME MIXED WITH THE BACKFILL.
  - PACK THE BACKFILL TO THE SAME FIRMNESS AS THE SURROUNDING SOIL.
  - WATER THE BACKFILL IF THE OPERATION OCCURS DURING HOT, DRY WEATHER TO REDUCE DUST.
- AVOID THE FOLLOWING ACTIVITIES WITHIN THE ROOT PROTECTION ZONE:
  - STORAGE OF CONSTRUCTION MATERIALS.
  - CONCRETE WASH-OUT OPERATIONS.
  - STOCKPILING OF DEMOLITION DEBRIS.
  - PARKING OF ANY VEHICLES.
  - STOCKPILING OF ANY MATERIALS.

**LAYOUT AND MATERIALS NOTES:**

- ALL GENERAL NOTES SHALL BE INCLUDED AS PART OF THE LAYOUT & MATERIALS NOTES.
- WHEN PROVIDED, USE DIMENSIONAL INFORMATION GIVEN ON THE DRAWING.
- ALL DIMENSIONS SHOWN ARE TAKEN TO THE FACE OR CENTERLINE OF ELEMENTS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND OBTAIN THE APPROVAL OF THE FINAL LAYOUT WITH THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION. IF DEEMED NECESSARY BY THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE, THE CONTRACTOR SHALL STAKE OUT PROPOSED TREE LOCATIONS TO AID IN THE REVIEW OF THE FINAL LAYOUT.
- THE CONTRACTOR SHALL LAYOUT AND DETERMINE THE ELEVATIONS OF ALL SITE ELEMENTS FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY CONFLICTS BETWEEN UTILITY STRUCTURES AND PROPOSED IMPROVEMENTS TO THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE.
- THE CONTRACTOR SHALL REFER ANY QUESTIONS ON MATERIALS, FINISHES, AND/OR PRODUCTS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE PRIOR TO ORDERING MATERIALS OR STARTING WORK.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE SHOWN.
- WHEN NEW PAVEMENT IS PLACED AGAINST EXISTING PAVEMENT, SAWCUT EXISTING PAVEMENT, AND GRADE SMOOTH AND FLUSH.

**PLANTING NOTES:**

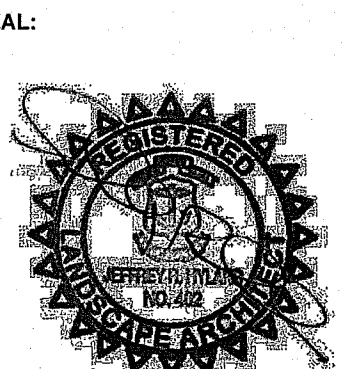
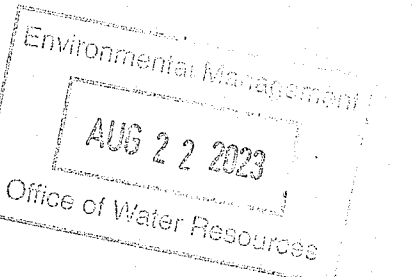
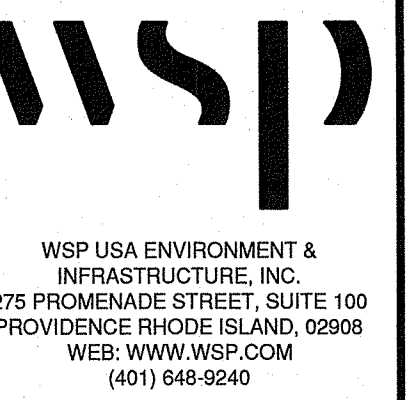
- ALL NEW PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING. INDIVIDUAL STAKES SHALL BE PLACED FOR TREES AND SHRUBS. EDGE OF PLANTING BEDS SHALL BE PAINTED. NOTIFY LANDSCAPE ARCHITECT 24 HOURS PRIOR TO DESIRED APPROVAL.
- ALL NEW PLANTS SHALL BE SUPPLIED AND INSTALLED DURING THE PERIODS OF APRIL 1 - JUNE 15 AND/OR SEPTEMBER 1 - NOVEMBER 15 PER SPECIFICATIONS.
- PREPARE ALL INDIVIDUAL TREE PITS AND SHRUB PLANTING BEDS TO A MINIMUM DEPTH OF EIGHTEEN INCHES (18") WITH SPECIFIED PLANTING MIX: 50% SCREENED TOPSOIL, 40% EXISTING SOIL AND 10% COMPOST. BLEND COMPOST INTO TOP 4" OF SOIL. PLANTING MIX SHALL BE FREE OF LUMPS, STONES, PLANTS, ROOTS, AND OTHER FOREIGN MATTER.
- ALL SHRUB BEDS AND INDIVIDUAL TREE PITS SHALL RECEIVE THREE (3) INCHES OF BARK MULCH PER SPECIFICATIONS. PERENNIAL AND GROUNDCOVER BEDS SHALL RECEIVE TWO INCHES (2"). PROVIDE LANDSCAPE ARCHITECT WITH SAMPLE FOR APPROVAL.
- ALL BURLAP, TWINE AND WIRE SHALL BE COMPLETELY REMOVED OR CUT AWAY AT TIME OF INSTALLATION.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- PLANT WARRANTY SHALL BE FOR ONE FULL GROWING SEASON FROM THE TIME OF SUBSTANTIAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL DAMAGED, STOLEN, DEAD, DECLINING OR LOST MATERIAL UNTIL COMPLETION OF MAINTENANCE PERIODS OR GUARANTEE PERIODS.
- IF NO IRRIGATION SYSTEM IS PLANNED, AN APPROPRIATE WATERING SCHEDULE SHALL BE ESTABLISHED BY THE LANDSCAPE CONTRACTOR FOR ALL PLANT MATERIAL BASED UPON PLANT SPECIES REQUIREMENTS AND PROVIDED IN WRITING TO THE LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL. THE APPROVED SCHEDULE SHOULD BE FOLLOWED UNTIL COMPLETION OF PLANT MAINTENANCE PERIODS OR WARRANTY PERIODS.
- ALL VEGETATION AND DEBRIS SHALL BE REMOVED FROM PROPOSED PLANTING AREAS PRIOR TO PLANTING AND BACKFILLING. CONTRACTOR SHALL REMOVE ALL WEEDS AND DEBRIS FROM SITE AS WORK PROGRESSES AND UNTIL COMPLETION OF PLANT MAINTENANCE PERIODS OR WARRANTY PERIODS.
- ALL AREAS TO BE SEEDED OR SODDED SHALL RECEIVE SIX INCHES (6") OF LOAM, MEASURED AFTER INSTALLATION, PRIOR TO SEEDING.
- ALL EXISTING LAWN AREAS DESIGNED TO REMAIN SHALL BE AERATED, FERTILIZED AND OVERSEED, AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- IN ADDITION TO LOCATIONS DEFINED FOR SEED ON THE PLANTING PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING ANY DISTURBED AREAS.
- A DETAILED PLANT MAINTENANCE MANUAL SHALL BE ESTABLISHED BY THE LANDSCAPE CONTRACTOR FOR ALL PLANT MATERIAL BASED UPON PLANT SPECIES REQUIREMENTS AND PROVIDED IN WRITING TO THE LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL. INFORMATION THEREIN SHALL INCLUDE REQUIRED PRUNING SCHEDULE, FERTILIZING AND PROPOSED INTEGRATED PEST MANAGEMENT (IPM) AS NECESSARY. THE APPROVED MAINTENANCE SHOULD BE FOLLOWED UNTIL COMPLETION OF PLANT MAINTENANCE PERIODS OR WARRANTY PERIODS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLOSE COORDINATION WITH OWNER, GENERAL CONTRACTOR, RELATED SUBCONTRACTORS, LANDSCAPE ARCHITECT, AND ALL SITE WORK RELATED ITEMS.

**ELECTRICAL NOTES:**

- FURNISH AND INSTALL ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT TOOLS, TRANSPORTATION, SUPERVISION, AND SERVICES REQUIRED. COMPLETELY TEST AND MAKE OPERATIVE. ALL ELECTRICAL WORK AS OUTLINED IN THE DRAWINGS AND SPECIFICATIONS.
- THE ELECTRICAL WORK MAY INCLUDE, BUT NOT BE LIMITED TO, THE FURNISHING OF MATERIALS AND INSTALLATION OF THE FOLLOWING IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
  - WIRING DEVICES
  - LIGHTING SYSTEM
  - CONDUIT, RACEWAYS, ETC.
  - BRANCH CIRCUIT WIRING
  - PANELBOARD CIRCUIT BREAKER
  - GROUNDING, WIRE, AND CABLE
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE NEC, STATE OF RHODE ISLAND BUILDING CODE, OSHA, ADA, AND THE CITY OF PROVIDENCE, RI CODES AND STANDARDS AND SPECIFICATIONS.
- PAY FOR ALL INSPECTION FEES, LICENSES, AND PERMITS.
- SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT FOR APPROVAL BEFORE PURCHASING. ALL EQUIPMENT SHALL BEAR THE LABEL OF A NATIONALLY RECOGNIZED TESTING LABORATORY.
- PHOTOCELL (IF ONE DOES NOT EXIST)
  - PHOTOCELL SHALL BE MANUFACTURED BY TORK OR EQUAL.
  - FURNISH AND INSTALL A PHOTOCELL AS DIRECTED FOR THE CONTROL OF ALL LIGHTS.
- LIGHTING
  - FURNISH AND INSTALL ALL LIGHTING FIXTURES AS INDICATED ON THE DRAWINGS.
- GROUNDING
  - PROVIDE COMPLIANT GROUNDING FOR ALL ELECTRICAL EQUIPMENT AND DEVICES.
    - BONDING JUMPERS SHALL BE INSTALLED AT ALL LOCATIONS REQUIRED BY NEC.
    - GREEN GROUNDING CONDUCTOR OF PROPER SIZE SHALL BE INSTALLED AND CONNECTED WITH THE BRANCH CIRCUIT CONDUCTORS FROM THE PANELBOARD TO THE LIGHTING FIXTURE. CONNECTIONS TO THE EQUIPMENT SHALL BE BOLTED OR SCREWED USING CORROSION RESISTING BOLTS OR SCREWS. A GREEN GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL BRANCH AND FEEDER CIRCUITS.
- RACEWAYS
  - ALL EXPOSED EXTERIOR CONDUIT THAT RUNS OUTSIDE SHALL BE HOT DIPPED GALVANIZED STEEL CONDUIT.
- HANGERS AND SUPPORTS
  - PROVIDE ALL REQUIRED HANGERS, SUPPORTS, SLEEVES, CLAMPS, ETC., AS REQUIRED AND/OR AS INDICATED ON THE DRAWINGS.

- PULL AND JUNCTION BOXES
  - BOXES FOR EXTERIOR WORK SHALL MEET ANSI-SCTE TIER 15 MEDIUM DUTY RATING. SUCH AS OLDCASTLE SYNERTECH1212-18 MADE OF DUOMOLD COMPOSITE OR APPROVED EQUAL. STEEL OR ANY CONDUCTIVE BOXES WILL NOT BE PERMITTED.
- FEEDER AND BRANCH CIRCUIT CONDUCTORS
  - ALL FEEDER, BRANCH CIRCUIT, REMOTE CONTROL, SIGNAL CIRCUIT, AND INTERLOCK WIRING SHALL BE MANUFACTURED OF COPPER AND RATED 600 VOLTS.
  - MINIMUM SIZE WIRE FOR BRANCH CIRCUIT AND POWER WIRING SHALL BE #12 AWG.
  - INSULATION SHALL BE TYPE THHN/THWN FOR LIGHTING.
  - ALL WIRING SHALL CONFORM TO THE NEC FOR CONSTRUCTION AND USE.
- WIRING DEVICES
  - FURNISH AND INSTALL WIRING DEVICES AND SPECIFICATION GRADE, COMPLETE WITH ALL ACCESSORIES AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREUNDER. ALL WIRING DEVICES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER EXCEPT WHERE SPECIFICALLY STATED OTHERWISE.
- FURNISH AND INSTALL NAME PLATES ON ALL ELECTRICAL EQUIPMENT.
- ALL EQUIPMENT EXPOSED TO MOISTURE SHALL BE OF THE APPROPRIATE (NEMA) WEATHERPROOF TYPE. SEAL ALL CONDUITS THAT PENETRATE.
- PERFORM ALL TESTS REQUIRED AND VERIFY PHASE BALANCE OF THE PANELBOARD.
  - COMPLETE TEST AND INSPECTION RECORDS SHALL BE MADE AND INCORPORATED INTO A REPORT FOR EACH PIECE OF EQUIPMENT TESTED. ALL READINGS TAKEN SHALL BE RECORDED. TEST RESULTS SHALL BE SUBMITTED TO THE CITY'S REPRESENTATIVE FOR APPROVAL.
  - FURNISH NECESSARY METERS, INSTRUMENTS, TEMPORARY WIRING, AND LABOR TO PERFORM ALL REQUIRED TESTS AND ADJUSTMENTS OF EQUIPMENT AND WIRING INSTALLED AND/OR CONNECTED UNDER THIS CONTRACT, INCLUDING ELECTRICAL EQUIPMENT FURNISHED BY OTHERS, TO DETERMINE PROPER POLARITY, PHASING, FREEDOM FROM GROUND AND SHORTS AND OPERATION OF EQUIPMENT. ALL MEASURING INSTRUMENTS SHALL BE PROPERLY CALIBRATED.
  - ALL MATERIALS AND MANNER OF INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF STATE AND LOCAL AUTHORITIES, THE UTILITY COMPANY, AND THE CODES OF THE NATIONAL BOARD OF UNDERWRITERS.
  - WHENEVER ANY OF THE AFOREMENTIONED CODES, LAWS, ETC. REQUIRE THAT ANY WORK BE TESTED OR APPROVED, THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR ACCESS AND FOR INSPECTION, ALL AT THEIR OWN EXPENSE.
  - WIRING
    - THE CONTRACTOR SHALL CORRECT OR REPLACE ANY NOMINAL CURRENT-CARRYING CIRCUIT WHICH IS DEFECTIVE OR GROUNDED AND HE SHALL ALSO CORRECT ALL OTHER TROUBLES ENCOUNTERED BY THESE TESTS. ALL DEFECTS WHETHER THROUGH FAULTY WORKMANSHIP OF MATERIAL FURNISHED SHALL BE CORRECTED UNDER THIS SECTION AT THE CONTRACTOR'S EXPENSE.
- ALL ELECTRICAL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. DEFECTS SHALL BE CORRECTED WITHOUT CHARGE, INCLUDING ALL PATCHING, PAINTING, AND OTHER INCIDENTAL REPAIRS AND REPLACEMENTS. COORDINATE ALL WORK WITH OTHER TRADES. FURNISH AND INSTALL ALL POWER AND CONTROL WIRING FOR A COMPLETE INSTALLATION.
- ALL ELECTRICAL EQUIPMENT, MATERIALS, ETC. STORED ON SITE SHALL BE STORED IN SUCH A MANNER THAT IT IS SAFE FROM DAMAGE BY MOISTURE, IMPACT, ETC.
- ELECTRICAL CONTRACTOR SHALL PERFORM THEIR WORK IN A NEAT AND ORDERLY, PROFESSIONAL MANNER. ALL REFUSE, DIRT, AND DEBRIS RESULTANT FROM HIS WORK SHALL BE REMOVED AND PROPERLY DISPOSED OF AT THE END OF THE DAY.
  - ALL WORK ALL WORK SHALL BE EXECUTED BY A STATE OF RHODE ISLAND LICENSED ELECTRICIAN AND SHALL BE EXECUTED IN A PROFESSIONAL MANNER.
- ELECTRICAL CONTRACTOR IS REQUIRED TO COORDINATE THEIR WORK WITH ALL UTILITIES INVOLVED.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND DIRECTIONS FOR ALL EQUIPMENT AND MATERIALS USED.
- UPON COMPLETION OF THE WORK, THE ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO DEMONSTRATE PROPER OPERATION OF THE LIGHTING SYSTEM.
- ALL MATERIALS SHALL BE NEW AND SHALL CONFORM TO THE NEMA NATIONAL ELECTRIC CODE (NEC) AND UNDERWRITERS LABORATORIES, INC. STANDARDS IN EVERY CASE WHERE SUCH A STANDARD HAS BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL IN QUESTION.
- ANY MATERIAL ITEM OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED ON THE SPECIFICATIONS OR VICE-VERSA, OR ANY ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE IN ALL RESPECTS AND READY FOR OPERATION SHALL BE INCLUDED IN THE CONTRACTOR'S BID, AND SUCH ITEMS SHALL NOT BE A CAUSE FOR EXTRA WORK OR EXTRA COST TO THE CITY.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO MAKE THEMSELF AWARE OF THE EXISTING CONDITIONS AND EXISTING EQUIPMENT.
- RECORD DRAWINGS
  - CONTRACTOR SHALL PREPARE A COMPLETE SET OF RECORD CONSTRUCTION DRAWINGS AND SUBMIT THEM TO THE CITY'S REPRESENTATIVE FOR APPROVAL.
- SUBMIT SHOP DRAWINGS AND PRODUCT DATA WITHIN 10 DAYS AFTER AWARD OF CONTRACT. CHECK, STAMP, AND MARK SUBMITTALS WITH PROJECT NAME BEFORE TRANSMITTING TO THE CITY'S REPRESENTATIVE.
- WHERE MATERIAL IS CALLED OUT IN THE LEGEND, FIXTURE SCHEDULE, NOTES, SPECIFICATIONS, OR ELSEWHERE BY THE MANUFACTURER, TYPE OR CATALOG NUMBER, SUCH DESIGNATIONS ARE TO ESTABLISH STANDARDS OF DESIRED QUALITY. ACCEPTANCE OR REJECTIONS OF PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY'S REPRESENTATIVE.
- FINAL INSPECTION
  - WHEN THE WORK ON THIS PROJECT HAS BEEN COMPLETED AND IS READY FOR FINAL INSPECTION, SUCH INSPECTION WILL BE MADE. AT THIS TIME, THE CONTRACTOR FOR THE WORK OF THIS SECTION, SHALL DEMONSTRATE THAT THE REQUIREMENTS OF THESE SPECIFICATIONS HAVE BEEN MET. WRITTEN RESULTS FOR ALL TESTS SHALL BE SUBMITTED TO THE CITY'S REPRESENTATIVE.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 15 2023 FILE #: 23-0089  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



REVISION	DATE	DESCRIPTION

CLIENT:  
**PROVIDENCE PARKS DEPARTMENT**  
 1000 ELMWOOD AVENUE  
 PROVIDENCE, RI 02907

PROJECT:  
**WOONASQUATUCKET ADVENTURE PARK PHASE II**  
 GLENBRIDGE AVENUE  
 PROVIDENCE, RHODE ISLAND

TITLE:  
**LANDSCAPE NOTES**

ISSUED FOR: 100% SUBMISSION  
 DATE: MAY 11, 2023  
 SCALE: AS NOTED  
 DRAWN BY: SW, JRH  
 CHECKED BY: JRH  
 PROJECT NO: 3652202361

**L3.4**