

LOCUS MAP

NOT TO SCALE

BEING A.P. 10, LOT 130
AREA OF LOT = 23,520 SF

STRUCTURAL LOT COVERAGE CALCULATIONS:

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
EXISTING DWELLING	PROPOSED DWELLING & COVERED PORCH
EXISTING POOL	PROPOSED DECKS & STAIRS
EXISTING DECKS & STAIRS	TOTAL AREA
TOTAL AREA	TOTAL AREA

EXISTING STRUCTURAL LOT COVERAGE:
3697 SF / 23,520 SF = 15.7%

PROPOSED STRUCTURAL LOT COVERAGE:
4,136 SF / 23,520 SF = 17.5%

IMPERVIOUS LOT COVERAGE CALCULATIONS:

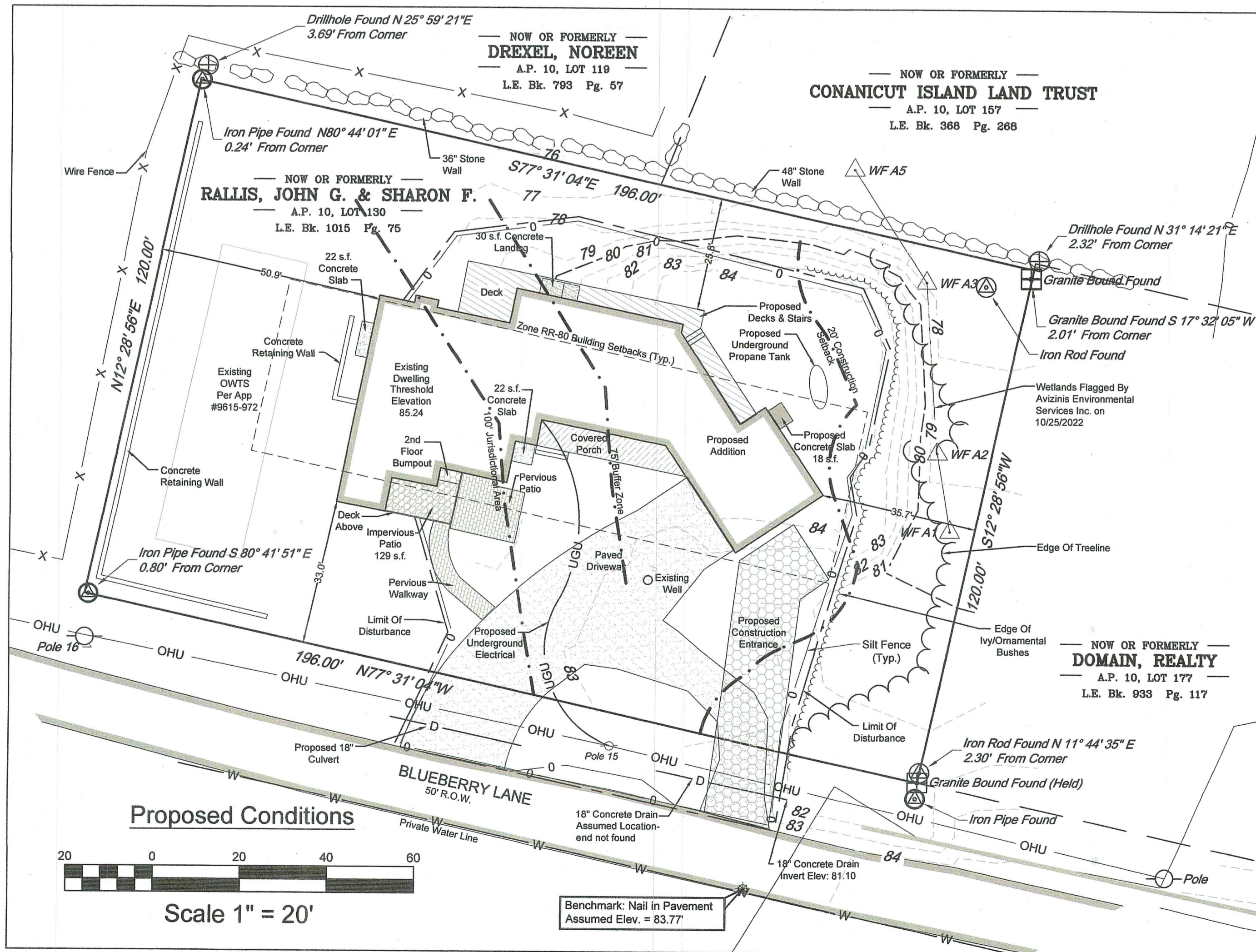
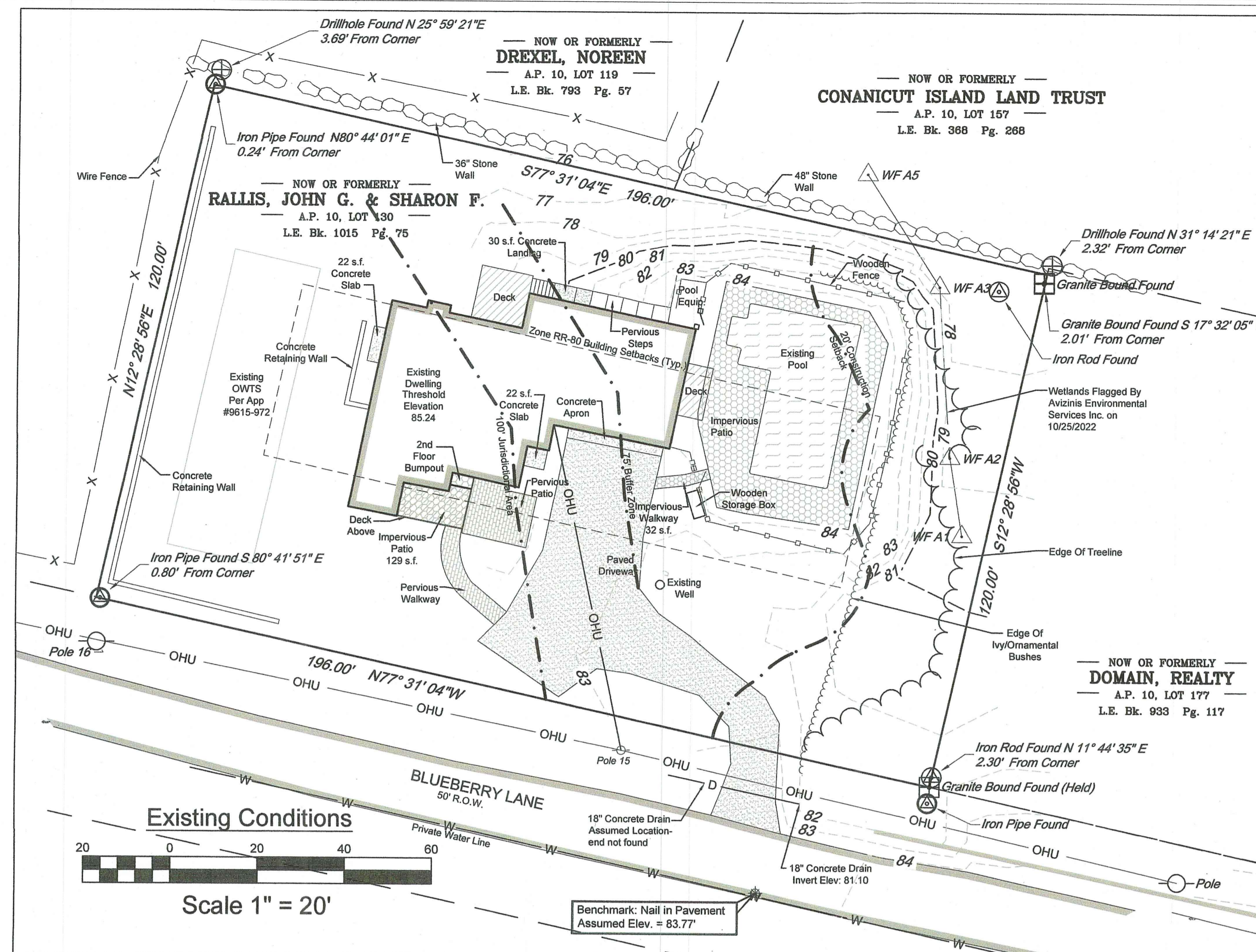
EXISTING CONDITIONS:	PROPOSED CONDITIONS:
EXISTING DWELLING	PROPOSED DWELLING & COVERED PORCH
EXISTING POOL/PATIO AREA	PROPOSED CONCRETE PADS & LANDING
EXISTING WALK, PATIO & LANDINGS	PROPOSED PAVED DRIVE
EXISTING PAVED DRIVE	TOTAL AREA
TOTAL AREA	TOTAL AREA

NO DRAINAGE REQUIRED DUE TO DECREASE IN IMPERVIOUS LOT COVERAGE

PROPERTY OWNER
JOHN & SHARON RALLIS
86 BLUEBERRY LANE
JAMESTOWN, RI 02835

PARCEL ZONING RR-80
MINIMUM LOT AREA = 80,000 SF
MINIMUM LOT FRONTAGE = 200'
FRONT SETBACK = 40'
SIDE SETBACK = 30'
REAR SETBACK = 40'
LOT COVERAGE 20%

FEMA DETERMINATION
ZONE "X" - AREA OF MINIMAL FLOODING
PANEL NO. - 44005C176J
EFFECTIVE - SEPTEMBER 4, 2013



EROSION CONTROL & SOIL STABILIZATION PROGRAM

- DENuded SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LIMBS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS, AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M.20.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING: PERMANENT SEEDING MIXTURES: A - MOWED AREA: ALL FLAT OR SLOPES LESS THAN 3:1

MIXTURE	% BY WT.	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	APRIL 1 - JUNE 15
COLONIAL BENTGRASS	5	AUG. 15 - OCT. 15
PERENNIAL RYEGRASS	5	

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RED FESCUE	75	APRIL 1 - JUNE 15
PERENNIAL RYEGRASS	5	AUG. 15 - OCT. 15
COLONIAL BENTGRASS	5	
BIRDSFOOT TREFLOL	15	

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000-4000 LBS/AC.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GRASSING IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN BE USED TO HELP MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

SPECIES	LBS/ACRE	LBS/1,000 SQ. FT.	SEEDING DATES
ANNUAL RYEGRASS	60	1.5	MAR. 15 - JUNE 15
PERENNIAL SUDAN GRASS	40	1.0	MAY 15 - AUGUST 15
MILLET	40	1.0	MAY 15 - AUGUST 15
WINTER RYE	120	3.0	AUGUST 15 - JUNE 15
ORCHARD GRASS	120	3.0	MAR. 15 - JUNE 15
WEEDING LOVEGRASS	20	0.5	MAY 1 - JUNE 30

- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THRU OCT. 15TH.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STANDARD SPECIFICATIONS SECTION 202.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

SEDIMENTATION CONTROL PROGRAM

- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SUITABLE SLOPE PROTECTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- CARE SHALL BE TAKEN SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING EITHER EXISTING OR PROPOSED DRAINAGE OR SEWER STRUCTURES.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, WITH ANY AMENDMENTS, AS A GUIDE.

ORDER OF PROCEDURE

- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY GRADING, TEMPORARY HAYBALES, SILT FENCE OR SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS. (I.E. ALONG NEW ROADWAYS, STREAMBANKS, CRITICAL AREAS, ETC.)
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERIODICALLY CLEANED AND MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION CONTROL PROGRAMS FOR TEMPORARY CONTROL.

MAINTENANCE AND RESPONSIBILITY

- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL ALSO BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION WORKERS AND SUB-CONTRACTORS ARE AWARE OF THE PROVISIONS OF THE PLAN AND THE ENGINEER'S REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF THE DESIGN PRIOR TO FINAL APPROVAL BY THE TOWN. DURING THAT TIME, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOULD BE CHECKED ON A WEEKLY BASIS AS WELL AS AFTER EACH SIGNIFICANT RAINFALL. ALL SUCH MEASURES SHOULD BE CLEANED OR REPLACED AS NECESSARY.
- REPLANTING, REGRADING OR OTHER REPAIRS NEEDED AS A RESULT OF EROSION AND SEDIMENTATION SHOULD BE DONE PROMPTLY.

NOTES:

- ALL EROSION CONTROL MEASURES TO REMAIN FOR 3 CONSECUTIVE MOWINGS.
- CONTRACTOR TO CALL PUBLIC WORKS PRIOR TO CONSTRUCTION AND AGAIN FOR FINAL INSPECTION.
- THIS SITE AS DESIGNED WILL HAVE NO ADVERSE EFFECT ON ADJUTING PROPERTIES ASSUMING EROSION CONTROL PLAN IS FULLY IMPLEMENTED.
- FOR DRIVEWAYS SLOPING DOWN TOWARD THE ROAD HAYBALES TO BE PLACED ACROSS DRIVEWAY AT THE END OF DAY.
- CONSTRUCTION TO COMMENCE IMMEDIATELY FOLLOWING APPROVAL AND WITHIN 60 DAYS TAKE APPROXIMATELY 6 MONTHS TO COMPLETE.

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY OF JAMESTOWN FOR ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEER DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY CO. A 48 HOUR ADVANCE NOTICE IS REQUIRED FOR ALL WORK COMMENCEMENT.
- ALL WORK WITHIN THE STATES ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2013 AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1998 AS AMENDED BY REVISION. 5. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE OFF IN COMPUTING ANY ESTIMATES.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM DETAILS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO THE SITE, ANY REPAIRS, ANY TRENCHING REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND SOIL EROSION CONTROL MEASURES.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANIES. CALL DIG-SAFE (888)844-7233.
- IN ALL EXCAVATION AND PLACEMENT OF FILL THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- ALL CONSTRUCTION AND UTILITY WORK SHALL CONFORM TO THE LATEST MUNICIPAL STANDARDS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN, COMPREHEND AND IMPLEMENT THESE REQUIREMENTS PROPERLY.

REFERENCES:

- REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "OCEAN HIGHLANDS JAMESTOWN, RI SCALE 1" = 1200' BY R.J. EASTON AND SON, C.E. NEWPORT, R.I. JULY 12, 1919" SAID PLAN BEING RECORDED IN THE TOWN OF JAMESTOWN AS PLAN #HPF 298 A & B.
- REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "SURVEY AND PLAN FOR FRANK AND GLORIA DIZOGLO 68 BLUEBERRY LANE JAMESTOWN, RHODE ISLAND PLAT 10 LOT 117 SCALE: 1" = 20' MARCH 8, 2018 BY NRC ASSOCIATES. SAID PLAN BEING RECORDED IN THE TOWN OF JAMESTOWN AS PLAN #HPF 383A.
- REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "FINAL BLUEBERRY HILL JAMESTOWN, RI SCALE 1" = 80' OCT. 1999 MINOR SUBDIVISION BY BOYER ASSOCIATES. SAID PLAN BEING RECORDED IN THE TOWN OF JAMESTOWN AS PLAN #HPF 152A.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

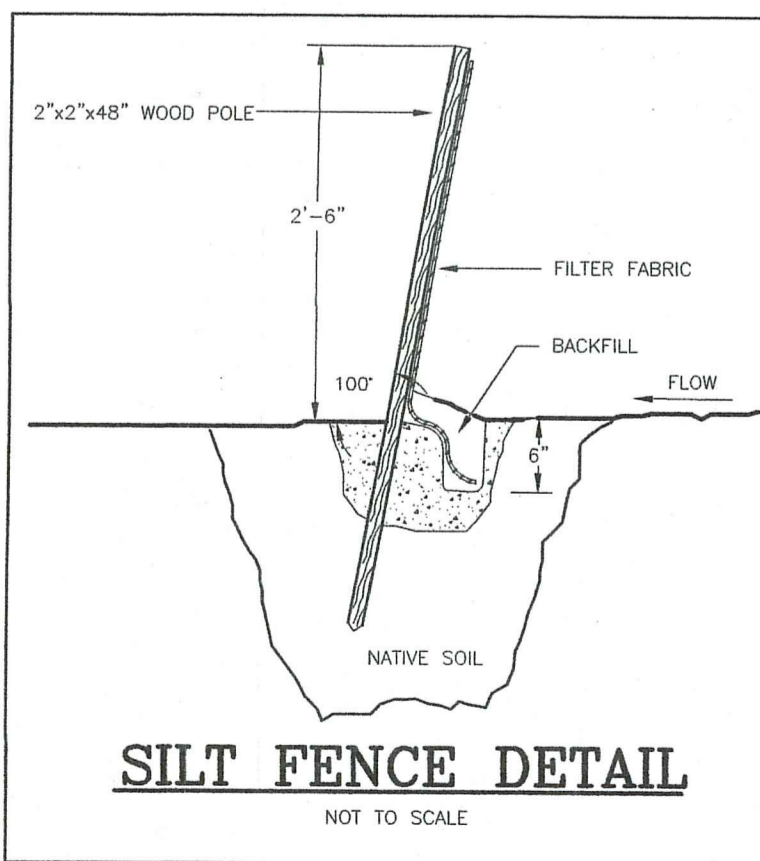
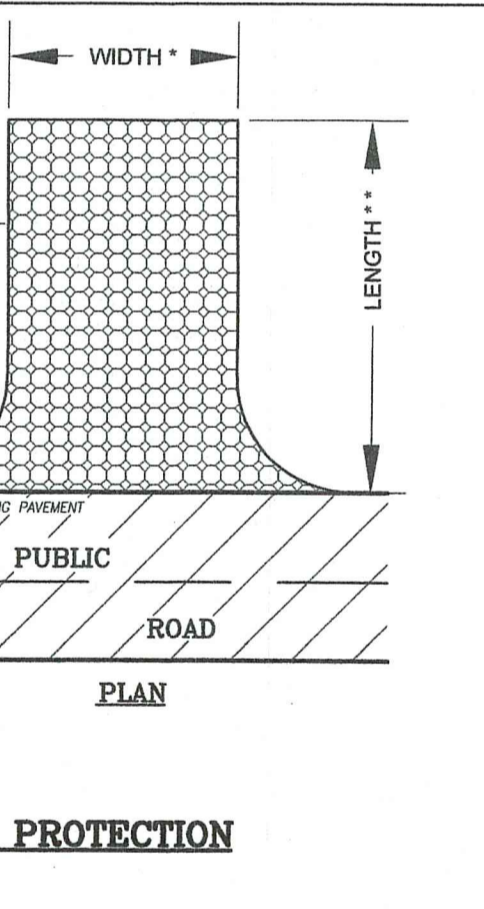
TYPE OF SURVEY:	MEASUREMENT SPECIFICATION:
PERIMETER & FEATURE LOCATION: COMPREHENSIVE BOUNDARY SURVEY	CLASS 1
TOPOGRAPHICAL SURVEY: IN AREA OF DEVELOPMENT	CLASS T-2

- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO SHOW THE EXISTING CONDITIONS OF ASSESSOR'S PLAT 10, LOT 130, ALONG WITH THE EXISTING STRUCTURES, TOPOGRAPHY, MONUMENTS AND PROPOSED IMPROVEMENTS.

NOTES:

- UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED / VERIFIED. CONTACT DIGSAFE PRIOR TO ANY EXCAVATION.

BY: Matthew J. Cotta PLS-1877
LS.000A453 COA

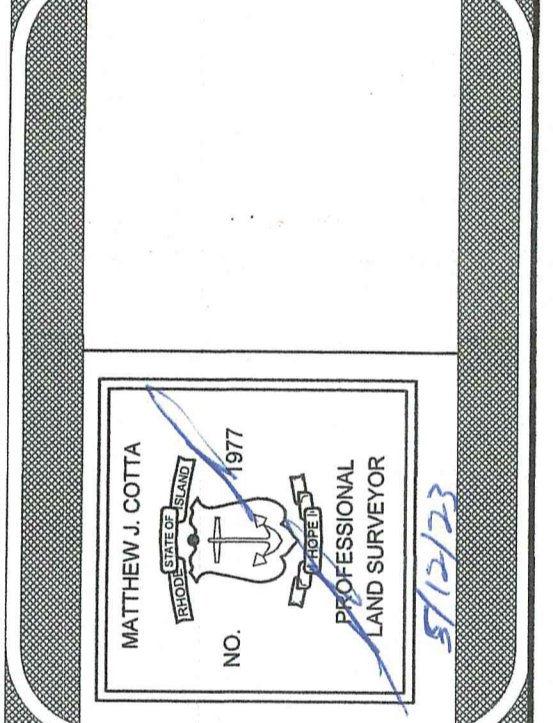


WETLANDS SUBMISSION FOR
JOHN & SHARON RALLIS
LOCATED AT
ASSESSOR'S PLAT 10, LOT 130
86 BLUEBERRY LANE
JAMESTOWN, R.I.

Checked By: MJC
Date: 05/12/2023

Drawn By: KLG
Scale: 1" = 20'

NO.	REVISION	DATE



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Sheet 1
MAY 18 2023
Office of Water Resources
of 1 sheets
Drawing No. 122218

THIS PLAN IS TO BE INDEXED UNDER THE FOLLOWING ROAD: BLUEBERRY LANE