

FEMA DESIGNATION:
THE SUBJECT PROPERTY DEPICTED HEREON APPEARS TO BE WITHIN ZONE A - NO ELEVATION ASSIGNED, REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0184K, DATED APRIL 3, 2020

REFERENCES:

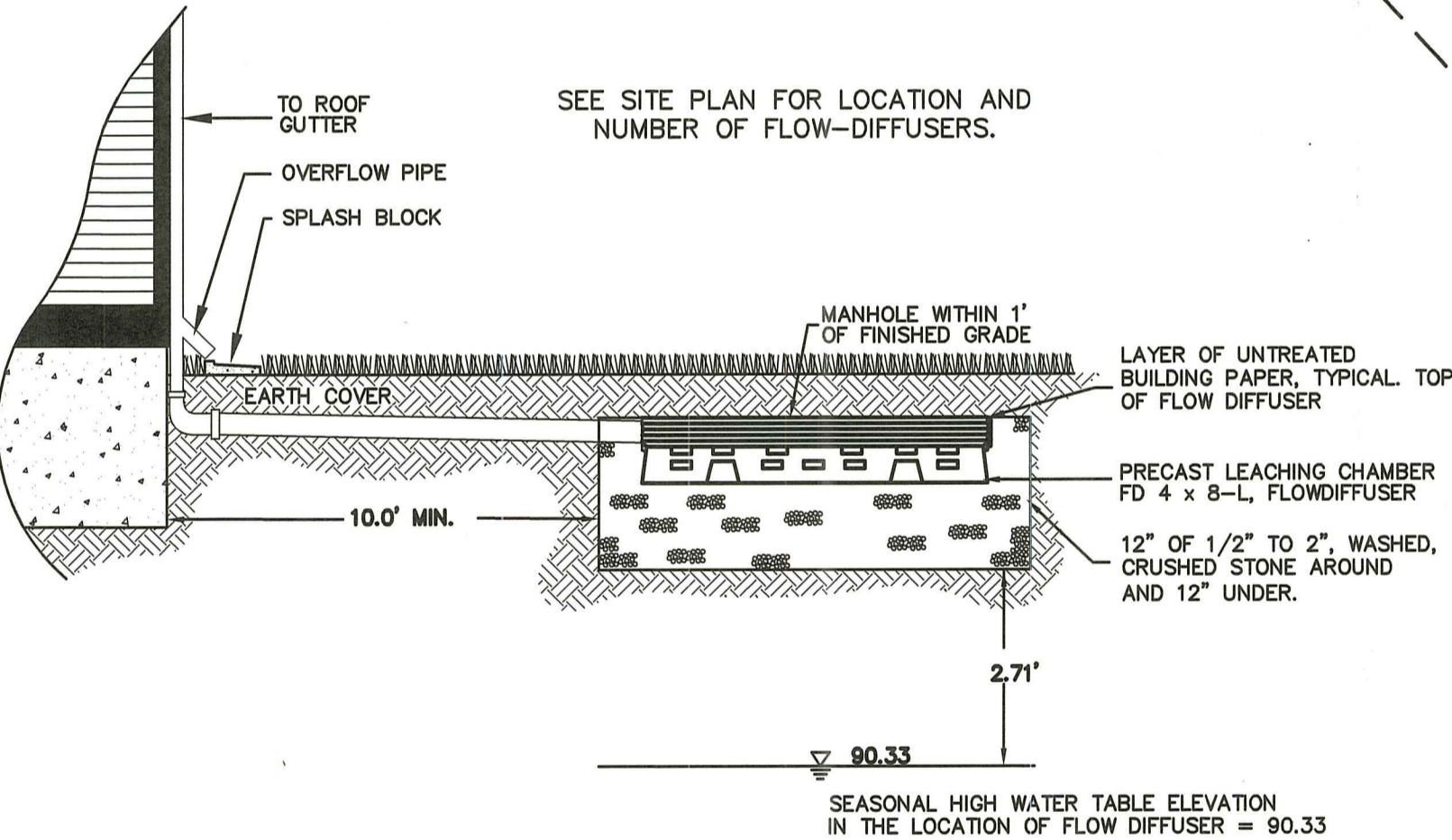
- Plan called "Plan of Certain Land of Narragansett Pier Railroad", Prepared by W & W Land Surveyors, Inc., C.E., Dated July 1986
- Plan called "Plat of Land in the Town of South Kingstown, RI to be deeded to Benjamin F. Sims by Edward L. Carpenter", Prepared by Leon L. Holland, C.E., Dated May 21, 1946
- Plan called "Administrative Subdivision of Lots 155 & 159", Prepared by Hilbert Land Surveying, Dated 10/3/08
- Plan called "Plan of Land Belonging to Peacedale Partners LLC being Lots 147 & 159", Prepared by Hilbert Land Surveying, Dated 8/22/06
- Plan called "Sketch Showing Relocation of a portion of the highway through lands of the Peacedale Manuf'g Co.", Prepared by Leon L. Holland, Dated May 1902
- Plan called "South County Bike Path", Prepared by Rhode Island Department of Transportation
- Plan called "Town of South Kingstown, RI Plat of a portion of Kingstown Road as laid out by David Reid, Edmund Lyons and John R. Carpenter, committee", Prepared by Leon L. Holland, C.E., Dated Oct-Nov 1930
- Plan called "Plan showing three lots on land of Peace Dale Assoc.", Prepared by W & W Land Surveyors, Inc.
- Plan called "South County Bike Path Rodman Street to Narragansett Town Lane", Sheet 6 of 25, Plat No.2512, Prepared by Rhode Island Department of Transportation
- Plan called "Administrative Subdivision Plan for parcels of land belonging to Town of South Kingstown Assessor's Plat 49-1, Lot 152 and Tase-Rite Co., Inc. Assessor's plat 48-2/ Lot30", Prepared by Easterbrooks and Associates, Dated Dec. 12, 2002
- Plan called "Plan Showing Certain Land of the Narragansett Pier Railroad and PAL Trust", Prepared by W&W Land Surveyors, Inc. Dated August 1986
- Plan called "Peace Dale Real Estate Trust, Town of South Kingstown, RI" Prepared by Howard F. Esten, CE dated November 1945

GENERAL SERSC NOTES:

- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE CONSTRUCTION AREA IN A SAFE MANNER AND ALL CONSTRUCTION ACTIVITY ON THE SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- PROPOSED CONSTRUCTION WILL RESULT IN LESS THAN ONE ACRE OF SOIL DISTURBANCE.
- SOIL TYPE (AS SHOWN ON SITE PLAN):
CB - CANTON-URBAN COMPLEX

UTILITIES:

- THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND HAVE BEEN SHOWN USING THE AVAILABLE DATA.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" AND/OR OTHER APPROPRIATE UTILITY COMPANIES TO ASCERTAIN THE EXACT LOCATION OF THE RESPECTIVE UTILITY PRIOR TO CONSTRUCTION. UTILITIES INCLUDE BUT ARE NOT LIMITED TO GAS, ELECTRIC, WATER, SEWER, TELEPHONE, CABLE TV, ETC.



TYPICAL PROFILE OF ROOF DRAINAGE COLLECTION SYSTEM
NOT TO SCALE

GENERAL NOTES:

- ACCORDING TO THE TOWN OF SOUTH KINGSTOWN, THE SITE IS PARTIALLY LOCATED IN THE SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT
- THIS SITE IS NOT LOCATED WITHIN A CRITICAL RESOURCE AREA.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA
- WETLAND FLAGGING WAS DONE BY APPLIED BIO-SYSTEMS, INC. ON MARCH 23, 2023

LEGEND			
	PROPERTY LINE		TEST PIT
	UTILITY POLE		BOUND
	SPOT GRADE		IRON PIN
	EXISTING CONTOUR		TREE/BRUSH LINE
	WATER LINE		FENCE LINE
	WATER VALVE		SILT FENCE

NOTE: ALL ITEMS IN LEGEND MAY OR MAY NOT BE ON PLAN.

STORMWATER DRAINAGE DESIGN:

- 10-YEAR, 24-HOUR STORM EVENT, TOTAL RAINFALL = 4.9 INCHES FOR GARAGE ROOF.
- ADDITIONAL ROOF AREA = 670.3 S.F. MORE THAN EXISTING. STORMWATER DRAINAGE DESIGN FOR PROPOSED ROOF AREA OF GARAGE = 750 S.F.
- ALL STORMWATER FROM ROOF OF GARAGE TO DRYWELL AS NOTED.
- BASED ON AN INFILTRATION RATE OF 2.41 IN/HR (LOAMY SAND, SOIL TYPE CB) AND USING BOTTOM AREA ONLY (108 SF) OF TRENCH, 10 YEAR STORM EVENT IS HANDLED FOR GARAGE ROOF AREA WITHOUT OVERFLOW.
- GWT = 80" BELOW GRADE PER USDA WEB SOIL SURVEY (97.00-6.67=90.33 @ DRYWELL)
- SEE CALCULATIONS PREPARED BY C.J. DOYLE, P.E.

DRY WELL/INFILTRATION TRENCH NOTES:

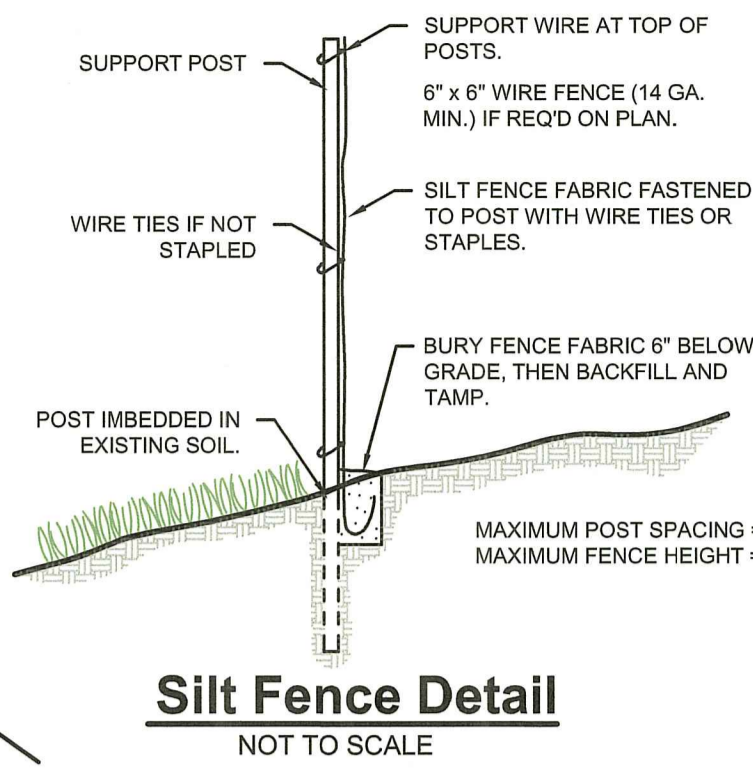
- ALL DRYWELL/INFILTRATION TRENCH CONSTRUCTION METHODS, MATERIALS AND MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE "STATE OF RI STORMWATER GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT".
- DRYWELL SHALL CONSIST OF TWO CONCRETE FLOW DIFFUSERS WITH 12" STONE UNDER AND AROUND OUTSIDE. SEE DIMENSIONS SHOWN ON PLAN. ALL ROOF DOWNSPOUTS FROM THE GARAGE SHALL BE CONNECTED TO SUBSURFACE DRYWELL.
- 4" ADS PIPE MAY BE SUBSTITUTED FOR 4" PVC.

BMP OPERATION AND MAINTENANCE

- BMP'S SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
- ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE INFILTRATION PRACTICE ANNUALLY.

WORK PROPOSED:

- INSTALL EROSION CONTROL MEASURES.
- IMPROVEMENTS CONSIST OF CONSTRUCTION OF A PROPOSED GARAGE, DEMOLITION OF SHED/ RESTORATION OF AREA AS LAWN AND STORMWATER BMP.
- EARTHWORK PROPOSED IS FOR THE EXCAVATION OF FOUNDATION, RESTORATION OF SHED DEMOLITION AREA AND BMP.
- TOTAL AREA OF DISTURBANCE = 3,300 S.F. (INCLUDES LAWN RESTORATION AS NEEDED)



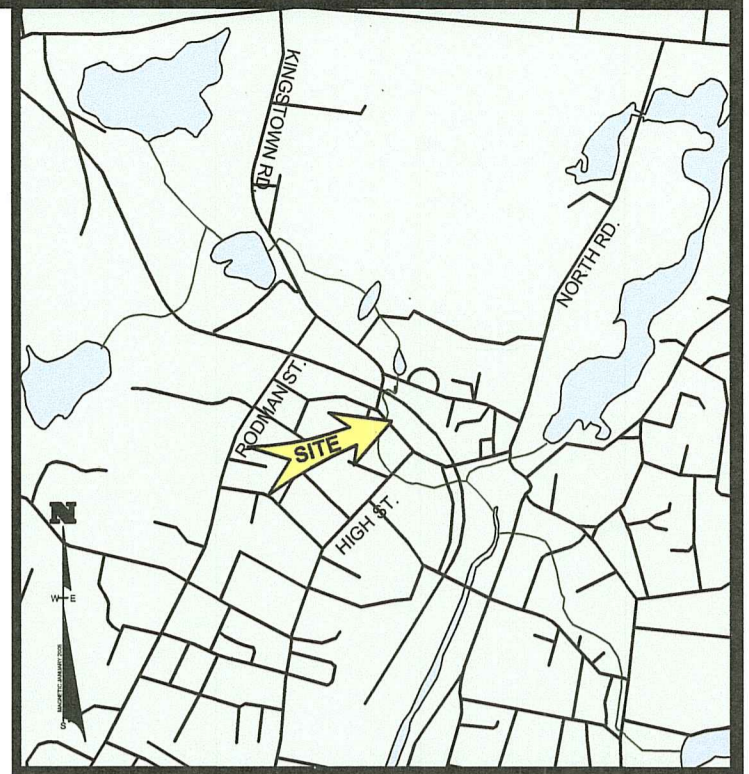
Silt Fence Detail
NOT TO SCALE

EROSION AND SEDIMENTATION CONTROL NOTES:

- TEMPORARY AND/OR PERMANENT EROSION CONTROL DEVICES SUCH AS BALED HAY, SILT FENCING, ETC. SHALL BE INSTALLED PRIOR TO ANY CLEARING OR EXCAVATION. HAY BALES OR SILT FENCING SHALL BE PLACED IMMEDIATELY DOWN SLOPE AND ADJOINING AREAS OF SOIL DISTURBANCE AND STOCKPILES. INSTALLATION OF ALL EROSION CONTROL DEVICES SHALL BE CONDUCTED IN ACCORDANCE TO DETAIL SPECIFICATIONS.
- CLEARING OF EXISTING VEGETATION SHALL BE DONE IN A CONTROLLED MANNER SO AS TO AVOID EXTENSIVE AREAS OF DEFOLIATED TERRAIN SUBJECT TO EROSION. AREAS SO DISTURBED SHALL BE BROUGHT TO FINAL GRADES AND STABILIZED AS SOON AS POSSIBLE.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- ALL EROSION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS DURING CONSTRUCTION, ESPECIALLY AFTER EACH RAINFALL.
- DUE TO CHANGING CHARACTERISTICS OF THE SITE CAUSED BY AND DURING CONSTRUCTION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE CONDITIONS WARRANT.
- IF CONSTRUCTION IS SUSPENDED, ALL DISTURBED AREAS SHALL BE SEEDED AND ALL NECESSARY EROSION CONTROL DEVICES SHALL BE IN PLACE AND IN GOOD WORKING ORDER. IF SEEDING IS NOT POSSIBLE THEN EROSION CONTROL MATS SHALL BE PLACED OVER ALL DISTURBED SOIL.
- EROSION CONTROL BLANKETS (MATS) SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. EROSION CONTROL BLANKETS (MATS) SHALL BE MANUFACTURED BY NORTH AMERICAN GREEN) OR APPROVED EQUIVALENT AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- ALL EROSION CONTROL METHODS, MATERIALS AND MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".
- ALL AREAS WHICH ARE DISTURBED DURING CONSTRUCTION ARE TO BE BROUGHT TO FINISHED GRADE WITH AT LEAST 6" MINIMUM DEPTH OF GOOD QUALITY LOAM AND ALL SOIL AMENDMENTS DEEMED NECESSARY. THE AREA SHALL BE SEEDED WITH A QUICK GERMINATING GRASS SEED SUCH AS URI #2 OR APPROVED EQUIVALENT.
- THE CONTRACTOR SHALL PROVIDE FOR ALL SEEDED AREAS TO BE WATERED AND IN GOOD CONDITION UNTIL A GOOD HEALTHY AND UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA.

LOT COVERAGE TABLE

LOT AREA:		17999	
	BUILDING COVERAGE	IMPERVIOUS COVERAGE	
EXISTING:			
EX-HOUSE FOOTPRINT	618.3 SF	618.3 SF	
EX. PORCH	132.8 SF	132.8 SF	
EX. FRONT WALK AND STEPS		66.0 SF	
EX. REAR PATIO		509.7 SF	
EX. REAR CONC. PAD		364.0 SF	
EX. BULKHEAD	33.7 SF	33.7 SF	
EX. SHED	121.7 SF	121.7 SF	
EX. DRIVEWAY		1,160.9 SF	
TOTAL EXISTING	906.5 SF	3,007.1 SF	
TOTAL EXISTING COVERAGE %	5.0%	16.7%	
PROPOSED			
EX-HOUSE FOOTPRINT	618.3 SF	618.3 SF	
EX. PORCH	132.8 SF	132.8 SF	
EX. FRONT WALK AND STEPS	42.0 SF	66.0 SF	
EX. REAR PATIO		509.7 SF	
EX. REAR CONC. PAD		364.0 SF	
EX. BULKHEAD	33.7 SF	33.7 SF	
EX. DRIVEWAY TO REMAIN		1,072.0 SF	
PR.GARAGE	750.0 SF	750.0 SF	
TOTAL PROPOSED COVERAGE	1,576.8 SF	3,546.5 SF	
TOTAL PROPOSED COVERAGE %	8.8%	19.7%	



LOCATION PLAN

SCALE: 1" = 2000'

SITE INFORMATION

LOT:	35
ASSESSOR'S MAP:	48-2
LOT AREA:	17,799.0 SF
ZONING DISTRICT:	CD
TOWN REQUIREMENTS REQUIRED	
LOT AREA:	5,000 SF
LOT WIDTH:	50 FEET
FRONT SETBACK:	0 FEET
SIDE SETBACK:	0 FEET
REAR SETBACK:	0 FEET
BUILDING COVERAGE:	50%
BUILDING HEIGHT:	40 FEET
ACCESSORY BLDG HEIGHT:	15 FEET
*ALL OTHER PERMITTED PRINCIPAL USES	

CONSTRUCTION WASTE:

IT IS THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR FOR THE FOLLOWING:

- ALL CONSTRUCTION WASTE SHALL BE PROPERLY HANDLED AND DISPOSED IN A PROPER MANNER, I.E. STORED IN APPROPRIATE CONTAINERS AND DISPOSED OFFSITE AT APPROPRIATE FACILITIES.
- HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH LOCAL, STATE OF FEDERAL LAWS OR REGULATIONS.
- THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CLEAN ORDERLY FASHION WITH DEBRIS, LITTER AND CONSTRUCTION WASTE CLEANED UP AS NEEDED. THE SITE SHALL ALSO BE CLEANED AT THE END OF EACH DAY.
- CONCRETE WASHDOWN WATER USED TO CLEAN CONCRETE TOOLS AND EQUIPMENT SHALL BE DISPOSED OF PROPERLY AND SHALL NOT BE ALLOWED TO ENTER STORM DRAINS, SANITARY SEWERS OR PERMITTED TO DISCHARGE TO STREET SURFACES. HARDENED WASTE CONCRETE CAN BE DISPOSED IN A MANNER SIMILAR TO ANY EARTH SPOILS PROVIDED THE MATERIALS ARE NOT CONTAMINATED WITH HAZARDOUS SUBSTANCES.
- A SUFFICIENT NUMBER OF ONSITE PORTABLE TOILETS SHALL BE PROVIDED FOR PERSONNEL, IF OTHER TOILET FACILITIES ARE NOT ALREADY AVAILABLE.
- CONTRACTOR SHALL INSURE TRUCKS AND VEHICLES DO NOT CARRY MUD FROM THE SITE ONTO ADJUTING STREETS OR PROPERTIES BY THE USE OF APPROPRIATE VEHICLE CONSTRUCTION ENTRANCE PADS. THE CONTRACTOR SHALL BE ESPECIALLY DILIGENT WHERE CONSTRUCTION PADS CANNOT BE USED OR ARE NOT FEASIBLE DUE TO SITE CONSTRAINTS, E.G. EXISTING PAVEMENT OR LIMITED AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING TRACKED MUD FROM ADJUTING STREETS, STORM DRAINS, ETC., TO THE SATISFACTION OF THE OWNER OF THE STREET OR DRAINS.

STORMWATER DRAINAGE DESIGN BY C.J. DOYLE, P.E.

OFFICE TELEPHONE: 401-491-9530

GRAPHICAL SCALE: 1" = 20'

FRISELLA - BALCH & ASSOCIATES
LAND SURVEYORS
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PEACE DALE, RI
PHONE (401) 733-9499
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1122 MAIN STREET, WYOMING, RI
PHONE (401) 491-3530
cjangine@cox.net

NO.	DATE	DESCRIPTION	BY

DRAWING TITLED: **SITE PLAN - PROPOSED CONDITIONS WITH STORMWATER DRAINAGE DESIGN**

LOCATED ON: **LOT 35 PLAT 48-2**

OWNED BY: **CHRISTIAN BARR**

ADDRESS: **1267 KINGSTOWN ROAD**

IN THE TOWN OF **SOUTH KINGSTOWN, RI**

DATE: **MAY 4, 2023**
SCALE: **1" = 20'**

DESIGNED BY: **CAROLYN J. DOYLE, P.E.**
DRAWN BY: **IVB/CJD** CHECKED BY: **CJD OR JKB**

DRAWING NO. **SHEET 1 OF 1**

 JEFFREY K. BALCH No. 1839 PROFESSIONAL LAND SURVEYOR	 CAROLYN J. DOYLE No. 5078 REGISTERED PROFESSIONAL ENGINEER
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FOR SURVEYS ONLY FOR ENGINEERING

STREET INDEX:

This plan, if recorded in the land evidence records of the local municipality shall be indexed under the following streets:
Kingstown Road

CERTIFICATION:

This survey has been conducted on November 1, 2022, and the plan has been prepared pursuant to 435-RICR-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS on November 25, 2015, as follows:

Type of Boundary Survey:	Measurement Specification:
Limited Content Boundary Survey	I
Other Type of Survey: Data Accumulation Survey (By Onsite Instrument Survey)	III
Topographic Standard:	T-2
Vertical Control Standard:	V-1

The purpose for the conduct of the survey and the preparation of the plan is as follows:

This plan is intended to show the location of existing and proposed improvements for regulatory and municipal applications.

BY: DATE: **5/18/2023**
JEFFREY K. BALCH, RI PROFESSIONAL LAND SURVEYOR #1839
CERTIFICATE OF AUTHORIZATION #A535.