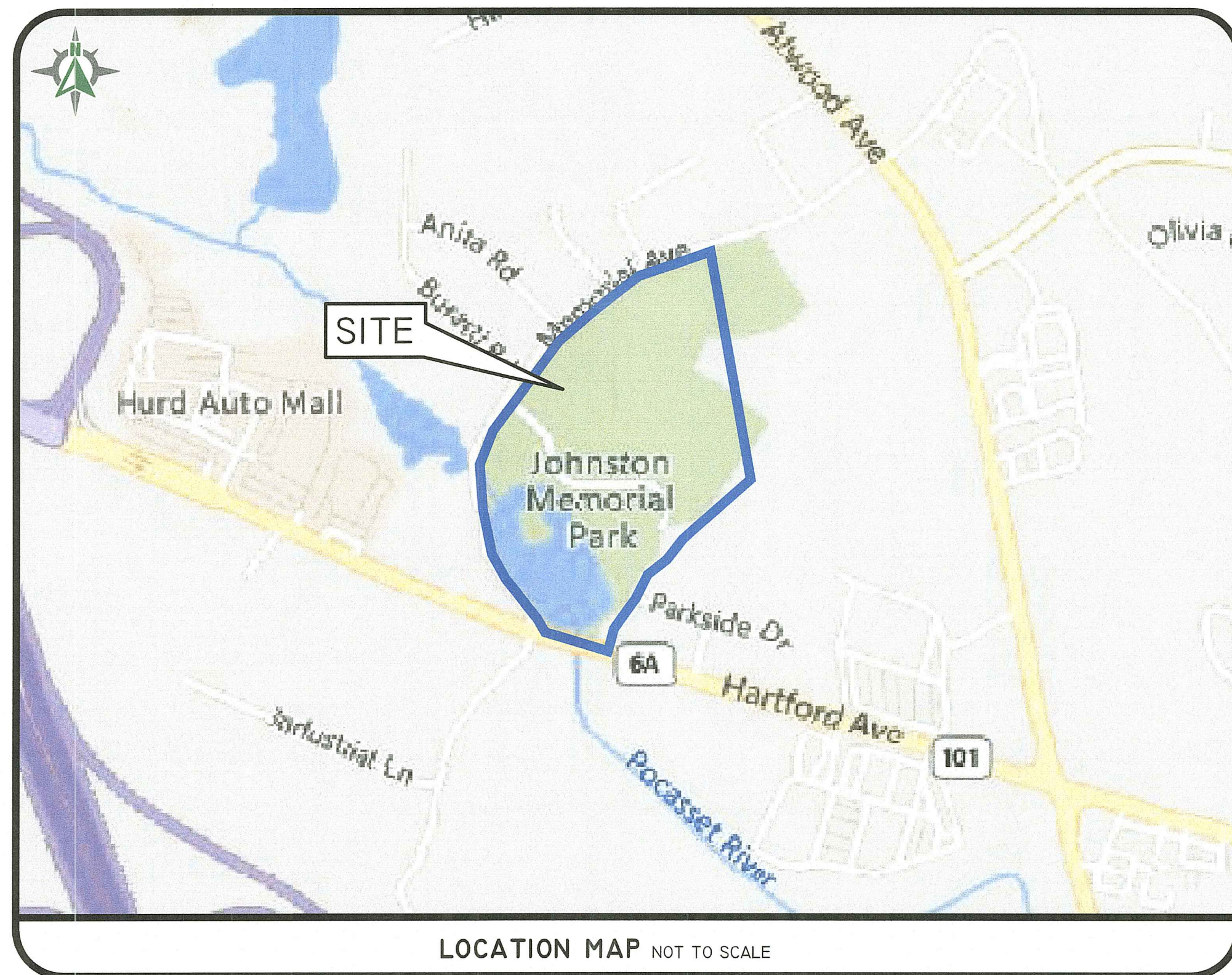


# PERMIT SUBMISSION - PHASE I AND PHASE 2

# JOHNSTON MEMORIAL PARK

1583 HARTFORD AVENUE  
 JOHNSTON, RHODE ISLAND  
 ASSESSOR'S PLAT 53 LOT 24, 25, 71, 72



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 08 2023 FILE # 23-0183  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Martin D. Wenczek*

SESC / O&M  
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

SEAL OF THE TOWN OF JOHNSTON

SEP 07 2023  
 Office of Water Resources  
 Environmental Management

TOWN OF JOHNSTON  
 RHODE ISLAND  
 1385 HARTFORD AVENUE  
 JOHNSTON, RI 02919  
 401-351-6618

THE HONORABLE  
 MAYOR  
 JOSEPH M. POLISENA JR

**DiPrete Engineering**  
 Two Stafford Court, Cranston, RI 02920  
 tel. 401-943-1000 fax. 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

BRIAN P THALMANN  
 No. 14100  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE USER OF THIS PLAN SET SHALL BE RESPONSIBLE FOR THE SAFETY, ACCURACY, RELIABILITY, AND COMPLETENESS OF THE INFORMATION AND RECORDS SHOWN AND FOR THE PERFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE LOCATION OR DEPTH OF EXISTING UTILITIES.  
 SEE UTILITY NOTE ON SHEET 3.

DATE	DESCRIPTION	DESIGN BY	I.V.P.
08-21-2023	PHASE I AND PHASE 2 PLAN	BY:	
		DESIGN BY: I.V.P.	

COVER SHEET

JOHNSTON MEMORIAL PARK  
 ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
 JOHNSTON, RHODE ISLAND

PREPARED FOR:  
 TOWN OF JOHNSTON  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
 TEL 401-351-6618

SEE JOB NO. 198-208 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\08\PROJECTS\198-208 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\198-208-CVAR-DWG PLOTTER: 8/24/2023



GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF JOHNSTON ASSESSOR'S PLAT 53 LOTS 24,25,71,72.
2. THE SITE IS APPROXIMATELY 27.5 ACRES AND IS ZONED R60.
3. THE OWNER OF AP 53 LOTS 24,25,71,72 IS:
TOWN OF JOHNSTON
1385 HARTFORD AVENUE
JOHNSTON, RI 02919
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE AND X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 46007C0284H, MAP REVISED OCTOBER, 2, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
5. ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDAED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
6. ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
7. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
8. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 1-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
9. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF JOHNSTON STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
10. THE SITE IS WITHIN A:
NATURAL HERITAGE AREA (RIDEH)
11. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEH)
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
12. THE SITE IS LOCATED WITHIN THE FRESHWATER WETLAND BUFFER URBAN REGION/RIVER PROTECTION REGION (RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (2016-2019) 3.2A).
13. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
EROSION CONTROL MEASURES
SHORT TERM MAINTENANCE
ESTABLISHMENT OF VEGETATIVE COVER
CONSTRUCTION POLLUTION PREVENTION
SEQUENCE OF CONSTRUCTION
STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
LONG TERM MAINTENANCE
LONG TERM POLLUTION PREVENTION
14. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
15. THE DRAINAGE SYSTEM IS DESIGNED WILL MEET THE TOWN OF JOHNSTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEH BEST MANAGEMENT PRACTICES.
16. BORINGS AND BORING LOGS, TEST PITS, SOIL EVALUATIONS, WERE COMPLETED BY DIPRETE ENGINEERING ON AUGUST 9TH 2023.
17. WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUMETER GPS ON DATE MAY 15TH 2023.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME DESCRIPTION and CEC. Rows include CANTON and CHARLTON FINE SANDY LOAMS, 75% ROCKY, 3 TO 5 PERCENT SLOPES; MERRIMACK-URBAN LAND COMPLEX; RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY; UDORTHENS-URBAN LAND COMPLEX; URBAN LAND.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE CAST-IN-PLACE CONCRETE, OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE, OR AS LABELED ON THE PLANS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/MOUNTING TYPE, PAVEMENT MARKING LOCATIONS/TYPES/ WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY THE CEOR OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL AND SPLASH PAD VENDOR DRAWINGS FOR EXACT DIMENSIONS AND DETAILS PERTAINING TO THE SPLASH PAD, INCLUDING SIDEWALKS, RAMPS, ENTRANCES, UTILITY CONNECTIONS, ETC.
7. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
9. ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAIL WILL BE CONSIDERED BY THE CEOR IF THEY ARE NOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND THE CEOR PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAYS/PARKING LOTS/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN TWO FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE AHJ.
10. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
11. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, TEMPORARY SEDIMENT BASINS, DEWATERING BASINS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES PURSUANT TO NOTE 1 ABOVE. SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS/SEDIMENT BASINS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT BASINS/TRAPS MUST BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:

- 1. OVERALL SITE CONSTRUCTION PHASING TO BE BASED PER SEDIMENT TRAP/ BASIN CONTRIBUTING CATCHMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE CEOR.
2. SEDIMENT EROSION CONTROL PHASING TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.
3. ANY AREAS THAT ARE CLEARED AND GRUBBED THAT ARE EITHER A) NOT TRIBUTARY TO A SEDIMENT TRAP OR BASIN, OR B) ARE NOT INTENDED FOR IMMEDIATE DEVELOPMENT, EARTHWORKING, MUST BE STABILIZED IMMEDIATELY INCLUDING (BUT NOT LIMITED TO) SLOPE INTERRUPTERS, HYDROSEED BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWTH MEDIUM (FGM) BEST SUITED TO THE INSITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.
4. CONTRACTOR MUST NOTIFY 'DIG SAFE' AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
5. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
6. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
7. CONTRACTOR MUST BACKFILL ALL TRENCHES BEFORE LEAVING THE SITE AT THE END OF EACH WORK DAY.
8. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
10. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
11. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PILES. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
12. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
13. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
14. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST NOTIFY 'DIG SAFE' AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. CONTRACTOR MUST BACKFILL ALL TRENCHES BEFORE LEAVING THE SITE AT THE END OF EACH WORK DAY.
5. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
7. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
8. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PILES. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
9. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
10. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
11. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

GRADING, DRAINAGE, AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE FALL 2023 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED PAVEMENTS. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE FOLLOW ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 3" BITUMINOUS BERM AND/OR 6" CONCRETE/GRANITE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERVOLCURING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE ALLOWED ON SITE.
13. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CEOR, CONTRACTOR, OR OWNER MUST BE IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
14. CONTRACTOR MUST PROVIDE SUE CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
15. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
16. ALL RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATION, MUST HAVE A MINIMUM OF 12" OF SEPARATION OF THE SLAB FROM THE SEASONAL HIGH GROUNDWATER TABLE.
17. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DRAINAGE

ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE), OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATER TIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES DO NOT REQUIRE BRICK INVERT AS SHOWN IN DOT DETAILS.

- DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
CATCH BASINS ALONG CURBING: RIDOT STD. 4.4.0, TYPE F, 4' DIAMETER WITH APRON STONE
CATCH BASINS NOT ALONG CURBING: RIDOT STD 4.4.0, 4' DIAMETER
CATCH BASINS MUST HAVE 3 FT SLUMPS WITHOUT SEEP HOLES
SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
DOUBLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
HIGH CAPACITY CATCH BASIN GRATES: RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 6% AND STEEPER
DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
DRAINAGE MANHOLE COVERS: RIDOT STD 4.5.0, 4.5.1, OR 4.5.2
APRON STONE, WHERE REQUIRED: RIDOT STD 7.1.7 OR 7.1.8
HEADWALLS: RIDOT STD 2.1.0
MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE SELECTION.
APPROX. OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVER.
FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC.) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NARRAGANSETT BAY COMMISSION RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL PIPES FROM BUILDING TO GREASE TRAP/INTERCEPTOR AND FROM GREASE TRAP/INTERCEPTOR TO THE NEXT STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.

WATER

ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH PROVIDENCE WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER PROVIDENCE WATER REGULATIONS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/ GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER PROVIDENCE WATER REGULATIONS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND

Table with 2 columns: Abbreviation and Description. Includes ADA, ADAH, AP, ARCH, BC, BT, BIT, BIO, BS, BW, CB, CA, CEOR, CLDIP, CO, CONC, (D), DCB, DI, DMP, DPH, ELEV, ESC, EX, FES, FF, GS, GW, HW, HDPE, ID, INV, IP, LARCH, LF, LD, LP, MEP, etc.

SITE CALLOUTS LEGEND

Table with 2 columns: Callout and Description. Includes 48.1.0 RIDOT STD DETECTABLE WARNING SYSTEM, ADAS ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS, ADAR ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES' (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. FOR A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE IT. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALLINGS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

EXISTING LEGEND

Table with 2 columns: Symbol and Description. Includes PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREELINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 25' BUFFER, 50' BUFFER, 75' BUFFER, 100' BUFFER, 150' BUFFER, 200' BUFFER, FEMA BOUNDARY, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, ASPHALT PAVEMENT, RIPRAP, HEAVY DUTY ASPHALT PAVEMENT, SAND FILTER, HEAVY DUTY CONCRETE, MILL AND OVERLAY, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT.

PROPOSED LEGEND

Table with 2 columns: Symbol and Description. Includes PROPERTY LINE, BUILDING SETBACKS, CHAINLINK FENCE, GUARDRAIL SEE LAYOUT AND MATERIALS NOTE 10., RETAINING WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, SPOT ELEVATION, EDGE OF PAVEMENT, BITUMINOUS BERM, CONCRETE CURB (RIDOT STD 7.1.0), MONOLITHIC CONCRETE CURB AND SIDEWALK, BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, RIPRAP, HEAVY DUTY ASPHALT PAVEMENT, SAND FILTER, HEAVY DUTY CONCRETE, MILL AND OVERLAY, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, ASPHALT PAVEMENT, RIPRAP, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT.

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DELETED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNLESS VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

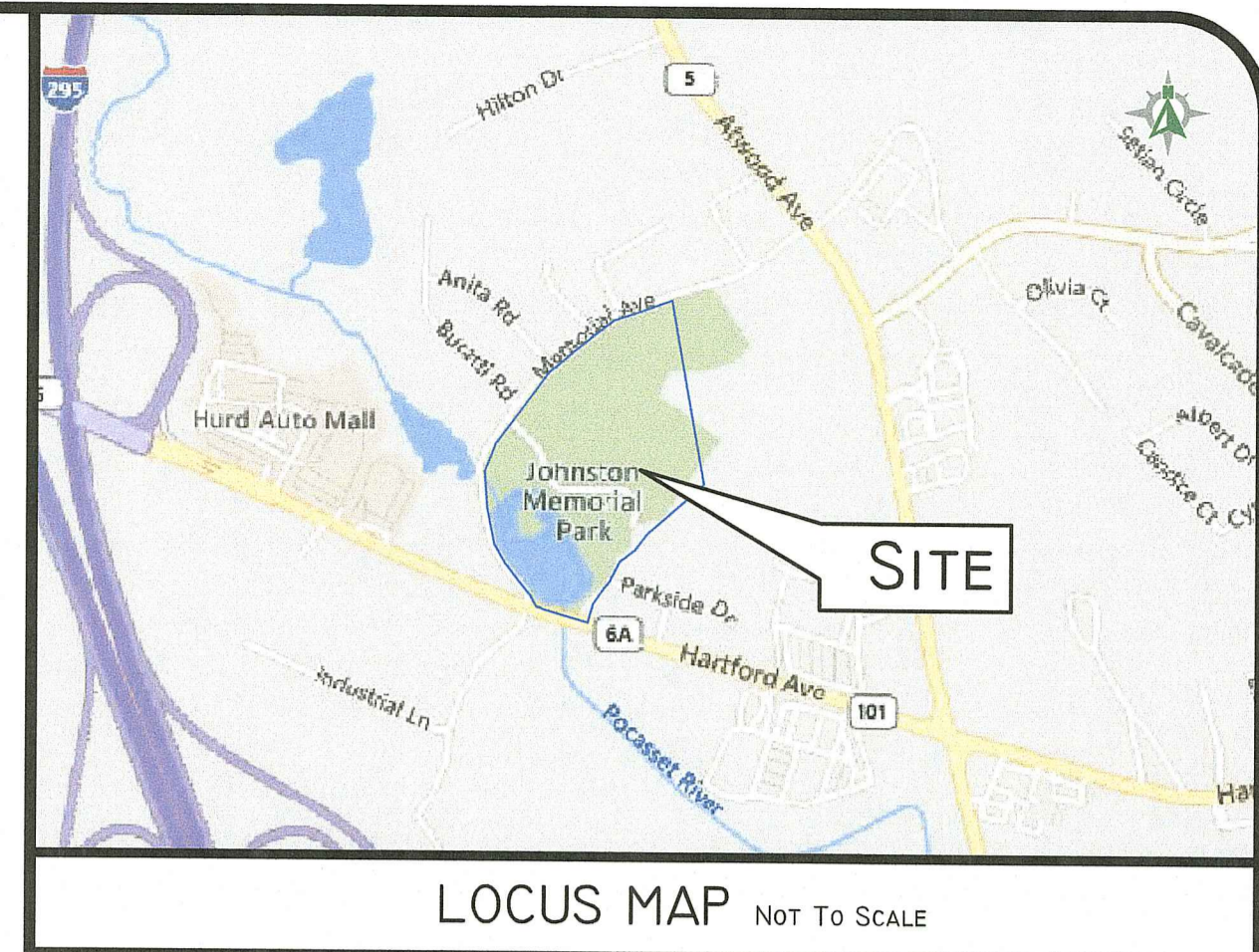
THE PURPOSE OF THIS PLAN SET IS TO OBTAIN A PERMIT FROM THE REGULATORY AGENCY IT WAS SUBMITTED TO. THIS PLAN SET CONTAINS THE REQUIRED INFORMATION NECESSARY FOR APPROVAL BY THE SPECIFIC AGENCY IT WAS SUBMITTED TO AND MAY NOT HAVE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS PLAN SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS (BUT NOT LIMITED TO) FINE GRADING, GRADING BETWEEN THE CONTROL INTERVAL, ADDITIONAL SURVEY/ MAPPING, BUILDING SHAPE/ LOCATION, ADA, UTILITY CONNECTIONS, UTILITY CROSSINGS, SURFACE AND GROUND WATER MITIGATION, SOIL STABILITY AND CONSISTENCY, SPECIFIC END USER NEEDS, CONSTRUCTIONALITY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.

Vertical sidebar containing DiPrete Engineering logo, contact information (Two Stafford Court, Cranston, RI 02920), location (Boston, Providence, Newport), project name (JOHNSTON MEMORIAL PARK), date (SEP 07 2023), and sheet number (3 OF 11).

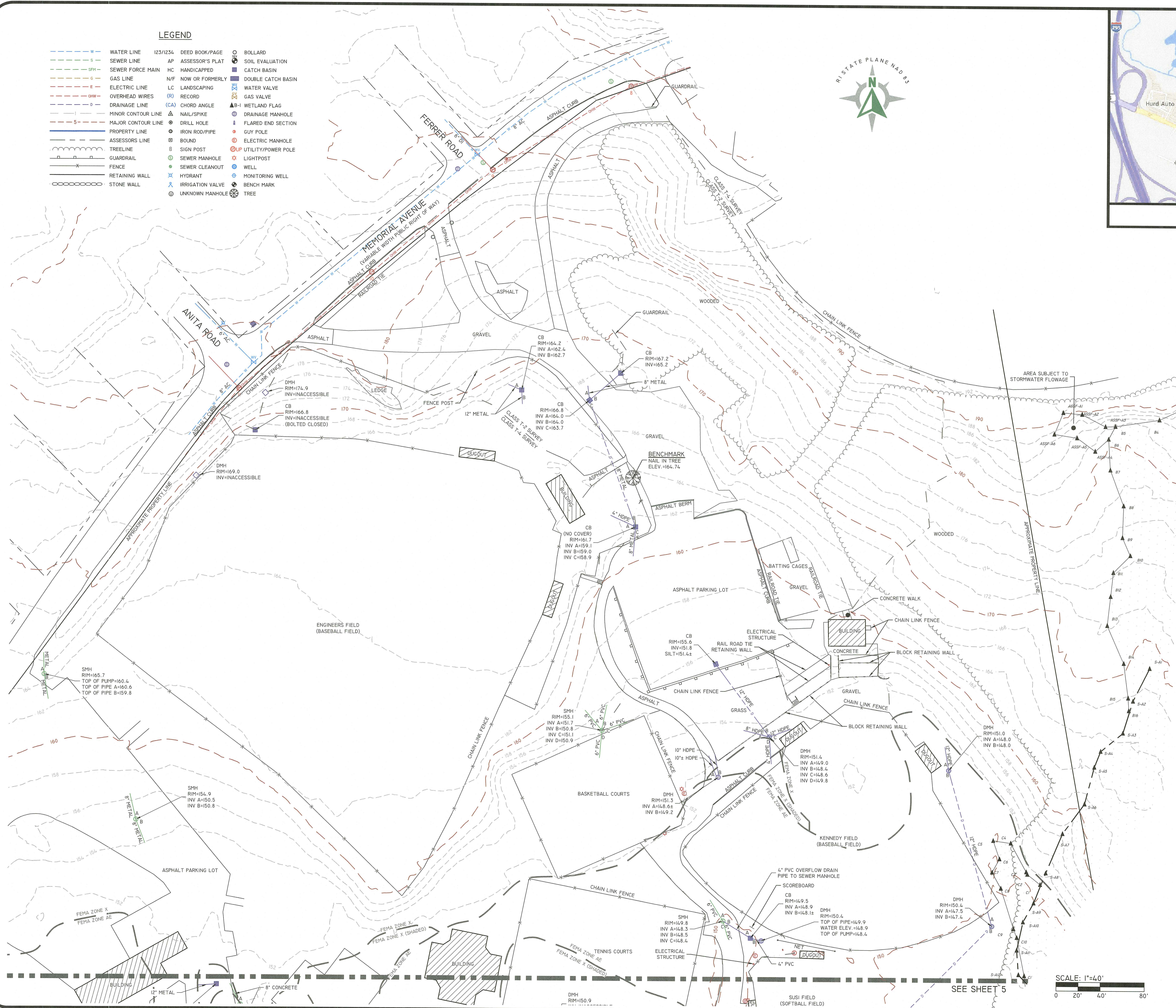
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL. DATED: SEP 08 2023. FILE #: 22-0157. NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL. APPROVED PLANS MUST BE AT CONSTRUCTION SITE. Signature: Matt J. Wenczek.

NOTES AND LEGEND section with a table listing symbols and descriptions for various features like DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, ASPHALT PAVEMENT, RIPRAP, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT.

- LEGEND**
- WATER LINE
  - SEWER LINE
  - SFWH
  - GAS LINE
  - ELECTRIC LINE
  - OVERHEAD WIRES
  - DRAINAGE LINE
  - MINOR CONTOUR LINE
  - MAJOR CONTOUR LINE
  - PROPERTY LINE
  - ASSESSORS LINE
  - TREELINE
  - GUARDRAIL
  - FENCE
  - RETAINING WALL
  - STONE WALL
  - 123/1234 DEED BOOK/PAGE
  - AP ASSESSOR'S PLAT
  - HC HANDICAPPED
  - N/F NOW OR FORMERLY
  - LC LANDSCAPING
  - (CA) RECORD
  - CHORD ANGLE
  - NAIL/SPIKE
  - DRILL HOLE
  - IRON ROD/PIPE
  - BOUND
  - SIGN POST
  - SEWER MANHOLE
  - SEWER CLEANOUT
  - HYDRANT
  - IRRIGATION VALVE
  - UNKNOWN MANHOLE
  - BOLLARD
  - SOIL EVALUATION
  - CATCH BASIN
  - DOUBLE CATCH BASIN
  - WATER VALVE
  - GAS VALVE
  - WETLAND FLAG
  - DRAINAGE MANHOLE
  - FLARED END SECTION
  - GUY POLE
  - ELECTRIC MANHOLE
  - UTILITY/POWER POLE
  - LIGHTPOST
  - WELL
  - MONITORING WELL
  - BENCH MARK
  - TREE



Environmental Management  
 SEP 07 2023  
 Office of Water Resources



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 07 2023 FILE #: 23-0183  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

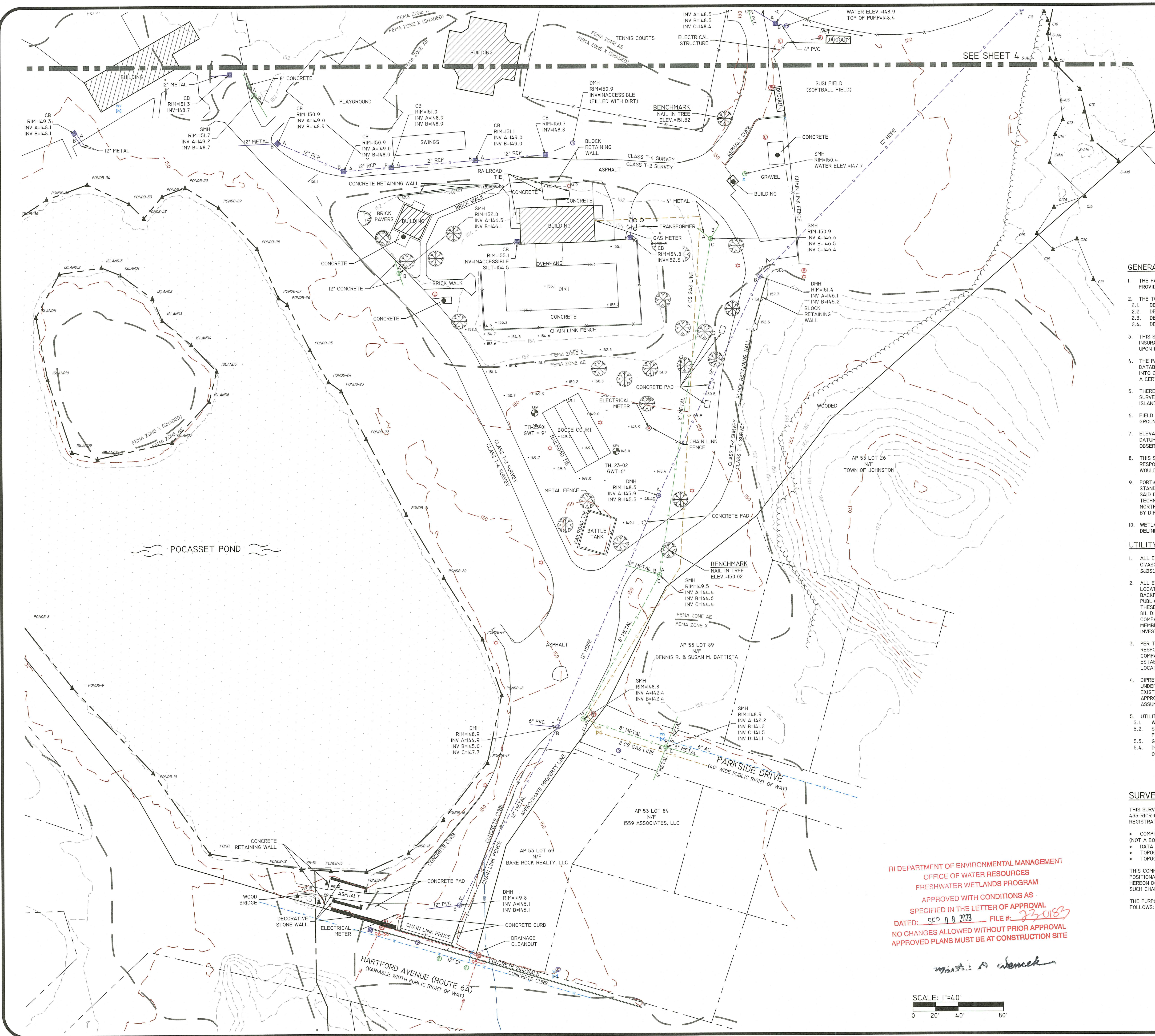
*Walter D. Wenczek*

SCALE: 1"=40'  
 0 20' 40' 80'

**EXISTING CONDITIONS PLAN**  
 JOHNSTON MEMORIAL PARK  
 ASSESSORS PLAT 53 & LOTS 24, 25, 71 & 72  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR:  
 TOWN OF JOHNSTON  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919

NO.	DATE	DESCRIPTION	J.J.S.	BY:
0	08-21-23	EXISTING CONDITIONS PLAN		

z:\Main\proj\031982-2008 memorial park\autoband.dwg\1982-008-eco.dwg Plot: 8/22/2023



Environmental Management  
 SEP 07 2023  
 Office of Water Resources

**GENERAL NOTES**

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 53, LOTS 24, 25, 71 AND 72 IN THE TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND.
2. THE TOWN OF JOHNSTON IS THE OWNER PER:  
 2.1. DEED BOOK 64 PAGE 193 (AP 53, LOT 24)  
 2.2. DEED BOOK 63 PAGE 455 (AP 53, LOT 25)  
 2.3. DEED BOOK 60 PAGE 107 (AP 53, LOT 71)  
 2.4. DEED BOOK 64 PAGE III (AP 53, LOT 72)
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, X (SHADED) AND AE (ELEV. 151-152). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0284H, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED RESIDENCE R-40 AND GENERAL BUSINESS B-2 BASED ON THE TOWN OF JOHNSTON GIS DATABASE. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY AND THERE ARE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS SHOWN ON THE RHODE ISLAND HISTORICAL CEMETERIES ONLINE DATABASE.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN JUNE AND JULY, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. PORTIONS OF THE CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
10. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY DIPRETE ENGINEERING ON MAY 11, 2023 AND JULY 20, 2023.

**UTILITY NOTES**

1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C, AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES
  - 5.1. WATER INFORMATION OBTAINED FROM PROVIDENCE WATER GIS DATABASE.
  - 5.2. SEWER INFORMATION OBTAINED FROM THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)
  - 5.3. GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS DATABASE.
  - 5.4. DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

**SURVEYOR'S CERTIFICATE**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 29, 2015, AS FOLLOWS:

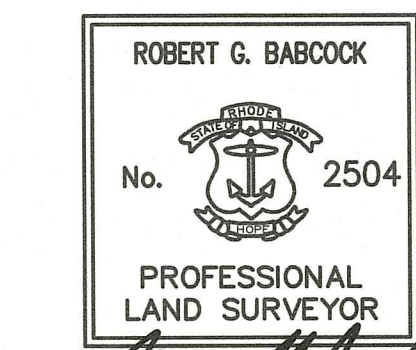
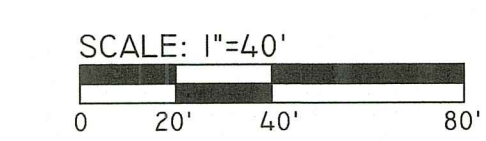
- COMPILATION PLAN CLASS IV (NOT A BOUNDARY SURVEY)
- DATA ACCUMULATION SURVEY (PLANIMETRIC) CLASS III
- TOPOGRAPHIC SURVEY CLASS T-2
- TOPOGRAPHIC SURVEY CLASS T-4

THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: COMPILATION PLAN WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 08 2023 FILE #: 23-0187  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Robert G. Babcock*



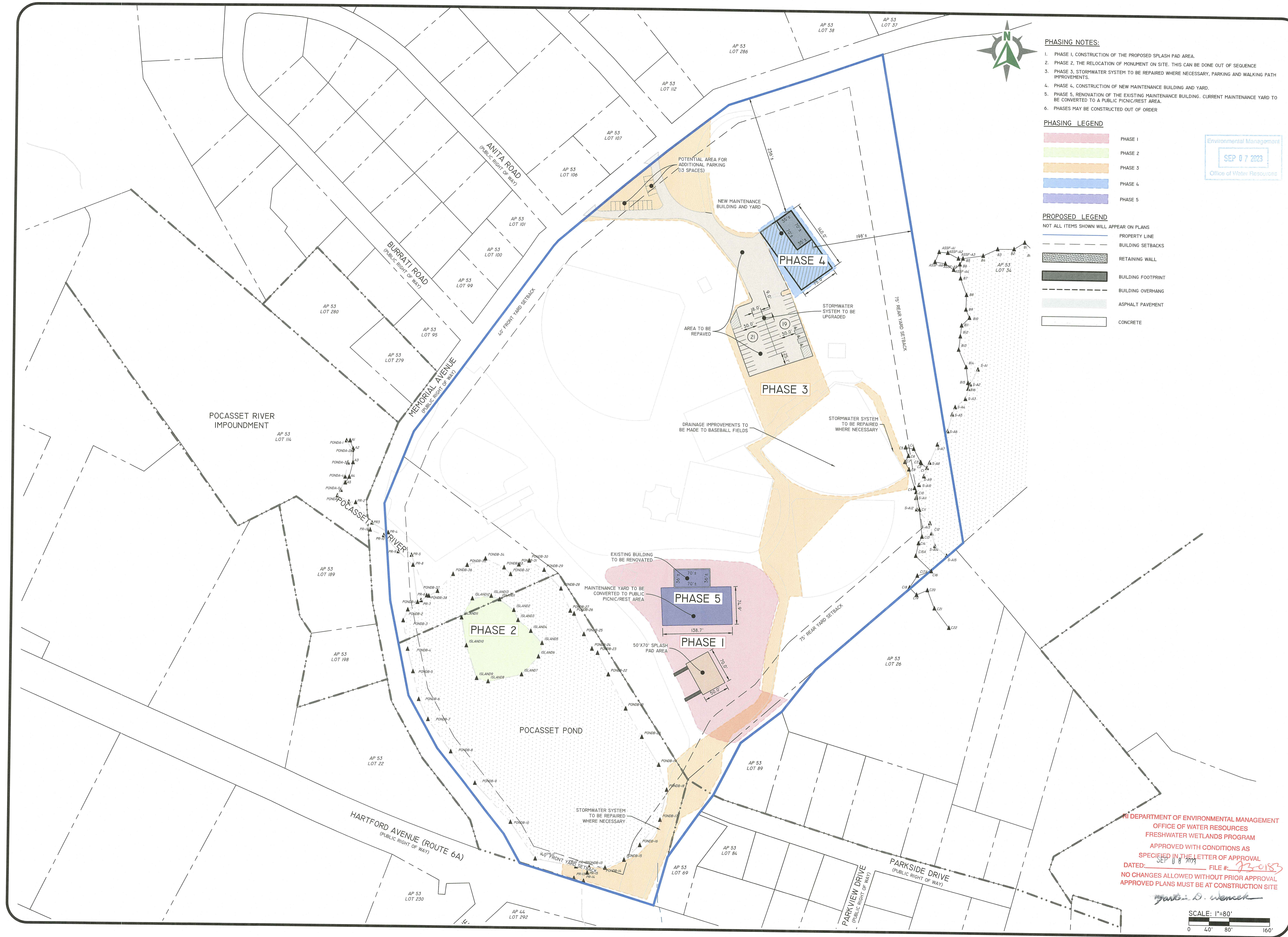
ROBERT G. BABCOCK, RIPLS #2504, CDA #1.S.000A160  
 08/22/2023

**Diprete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com  
 Boston • Providence • Newport

NO.	EXISTING CONDITIONS PLAN		J.L.S.	BY:
	DATE	DESCRIPTION		
0	08-22-23			

**EXISTING CONDITIONS PLAN**  
**JOHNSTON MEMORIAL PARK**  
 ASSESSORS PLAT 53 & LOTS 24, 25, 71 & 72  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR:  
**TOWN OF JOHNSTON**  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
 SHEET 5 OF 11

z:\Main\0923\1982-008 memorial park\autocad\drawings\1982-008-exis.dwg Plotfile: 8/22/2023



- PHASING NOTES:**
1. PHASE 1, CONSTRUCTION OF THE PROPOSED SPLASH PAD AREA.
  2. PHASE 2, THE RELOCATION OF MONUMENT ON SITE. THIS CAN BE DONE OUT OF SEQUENCE
  3. PHASE 3, STORMWATER SYSTEM TO BE REPAIRED WHERE NECESSARY, PARKING AND WALKING PATH IMPROVEMENTS.
  4. PHASE 4, CONSTRUCTION OF NEW MAINTENANCE BUILDING AND YARD.
  5. PHASE 5, RENOVATION OF THE EXISTING MAINTENANCE BUILDING. CURRENT MAINTENANCE YARD TO BE CONVERTED TO A PUBLIC PICNIC/REST AREA.
  6. PHASES MAY BE CONSTRUCTED OUT OF ORDER

**PHASING LEGEND**

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PHASE 5

**PROPOSED LEGEND**

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

- PROPERTY LINE
- BUILDING SETBACKS
- RETAINING WALL
- BUILDING FOOTPRINT
- BUILDING OVERHANG
- ASPHALT PAVEMENT
- CONCRETE

Environmental Management  
 SEP 07 2023  
 Office of Water Resources

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-943-6006 www.diprete-eng.com  
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**BRIAN P THALMANN**  
 No. 14100  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

0	08-21-2023	PHASE 1 AND PHASE 2 PLAN	I.V.P.
1			BY:
2			DESIGN BY: I.V.P.
3			DRAWN BY: I.V.P.

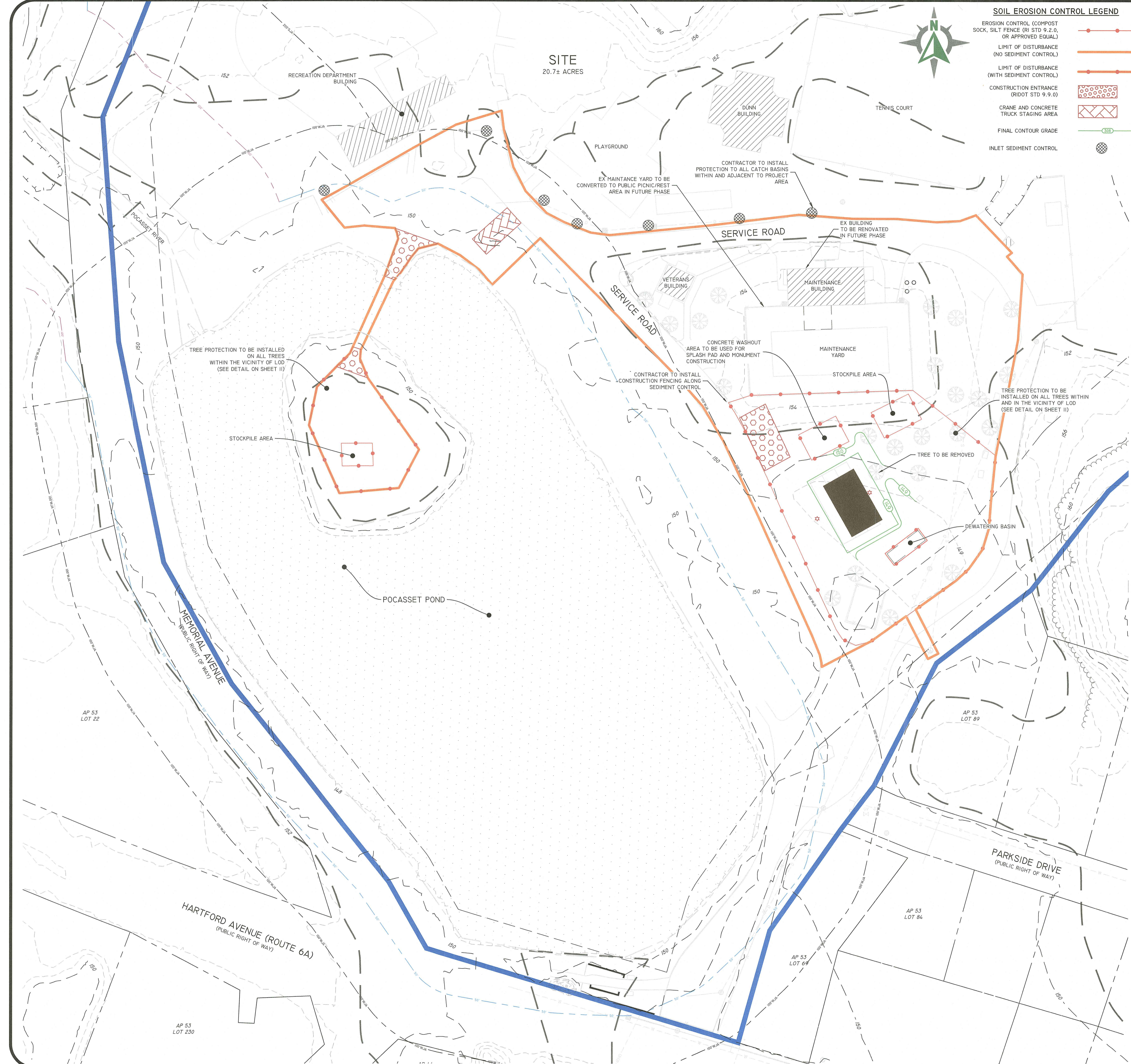
**SITE PHASING PLAN**  
**JOHNSTON MEMORIAL PARK**  
 ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR:  
**TOWN OF JOHNSTON**  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
 TEL 401-351-6618  
 SHEET 6 OF 11

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 08 2023 FILE #: 23-0183  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*John D. Wenzel*

SCALE: 1"=80'  
 0 40' 80' 160'

Z:\DEVELOPMENT\PROJECTS\1982-008 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\1982-008-STR.DWG PLOTTEE: 6/24/2023



**SOIL EROSION CONTROL LEGEND**

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- CRANE AND CONCRETE TRUCK STAGING AREA
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

**SOIL EROSION CONTROL IMPLEMENTATION PHASING**

- PHASE IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- PHASE IB - INSTALL TEMPORARY SEDIMENTATION TRAP. CONSTRUCT CLEAN WATER DIVERSIONS
- PHASE IC - CONSTRUCT PROPOSED DIVERSIONS
- PHASE IIA - CLEAR AND GRUB IMPERVIOUS AREAS. CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS. INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK. INSTALL ASPHALT PAVING.
- PHASE IIB - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.

NOTE  
 1. SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.  
 2. TRENCHES TO BE BACKFILLED AT THE END OF EACH WORK DAY.

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**BRIAN P THALMANN**  
 No. 14100  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASURES DEPICTED ON THIS PLAN AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
 ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR SEEING TO IT THAT ALL UTILITIES SHOWN ON THIS PLAN AND DESIGN ARE ACCURATE AND CORRECT. SEE UTILITY NOTES ON SHEET 01 FOR UTILITY LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 02 FOR UTILITY LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	PHASE I AND PHASE 2 PLAN	BY
0	08-21-2023	PHASE I AND PHASE 2 PLAN	L.V.P.
			BY:
			DESIGN BY: L.V.P.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: SEP 08 2023 FILE #: 23-0183  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Paul A. Wencek*

SCALE: 1"=40'  
 0 20' 40' 80'

**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
 JOHNSTON MEMORIAL PARK  
 ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
 JOHNSTON, RHODE ISLAND

PREPARED FOR:  
**TOWN OF JOHNSTON**  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
 TEL 401-351-6618

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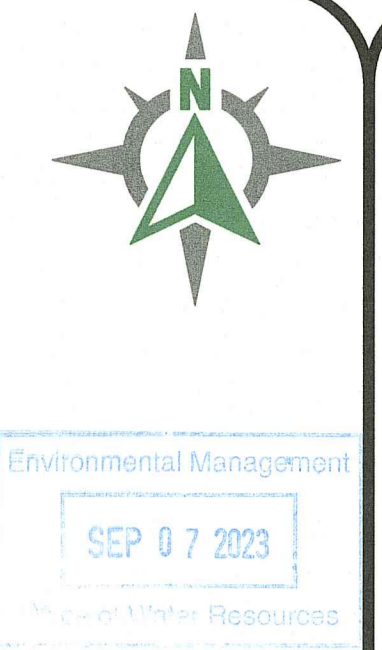
Z:\GEMAIN\PROJECTS\1982-008 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\1982-008-PLAN.DWG PLOTTED: 8/24/2023



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GENERAL NOTES:  
1. TRENCHES TO BE BACKFILLED AT THE END OF EACH WORK DAY



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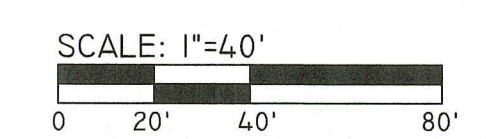
**BRIAN P THALMANN**  
No. 14100  
REGISTERED PROFESSIONAL ENGINEER CIVIL

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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING CONTRACT. DIPRETE ENGINEERING, DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE FIELD DATA AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND CUSTOMER UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR SEE UTILITY NOTES ON SHEET 3.

NO.	DATE	DESCRIPTION	BY:
1	08-21-2023	PHASE 1 AND PHASE 2 PLAN	L.V.P.
			BY:
			DESIGN BY: L.V.P.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: SEP 08 2023 FILE # 23-0183  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
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*Marta S. Wenczek*



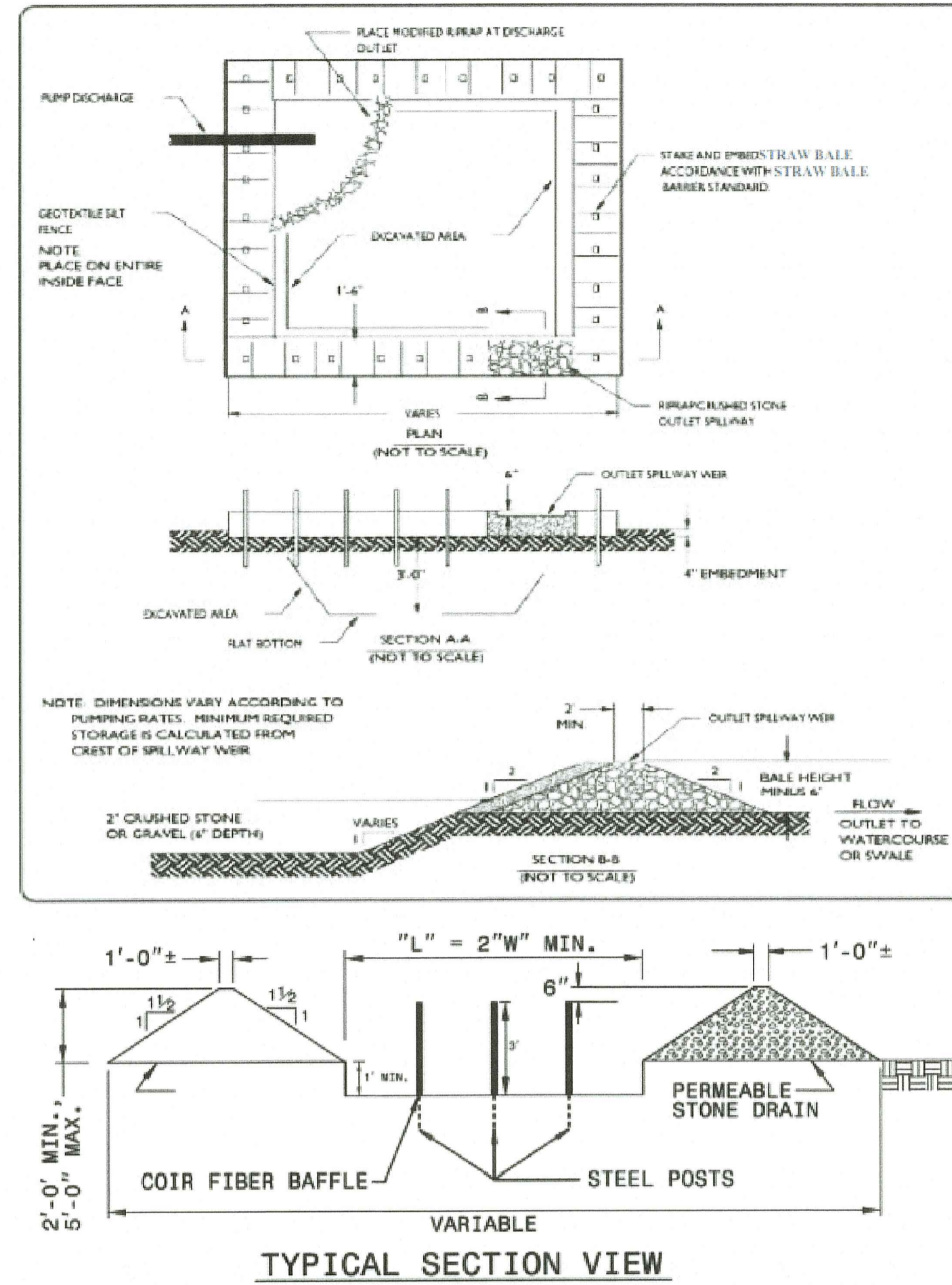
**GRADING AND UTILITIES PLAN**  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 53, LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND

PREPARED FOR:  
TOWN OF JOHNSTON  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-6618

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SHEET **9** OF 11

Figure 1. Pumping Settling Basin – Excavated with Straw Bale Barrier



(Credit: NC DOT)

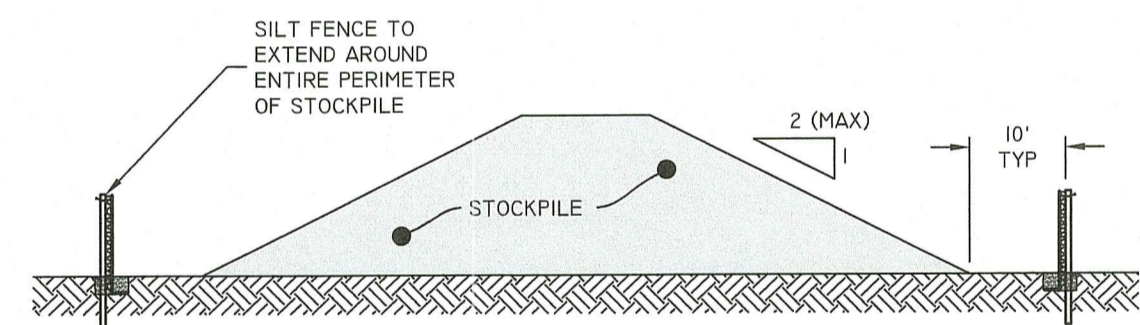
Environmental Management  
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No. 14100  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

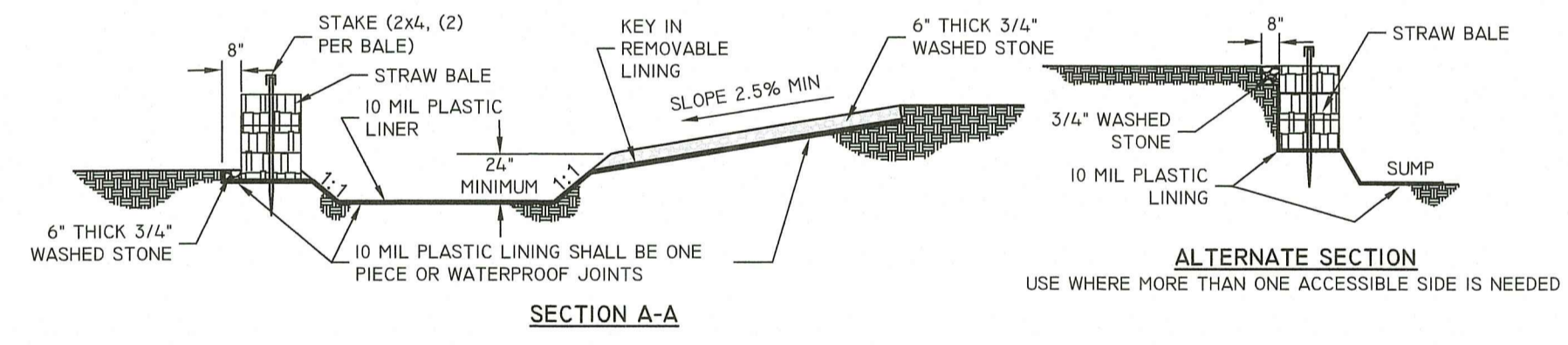
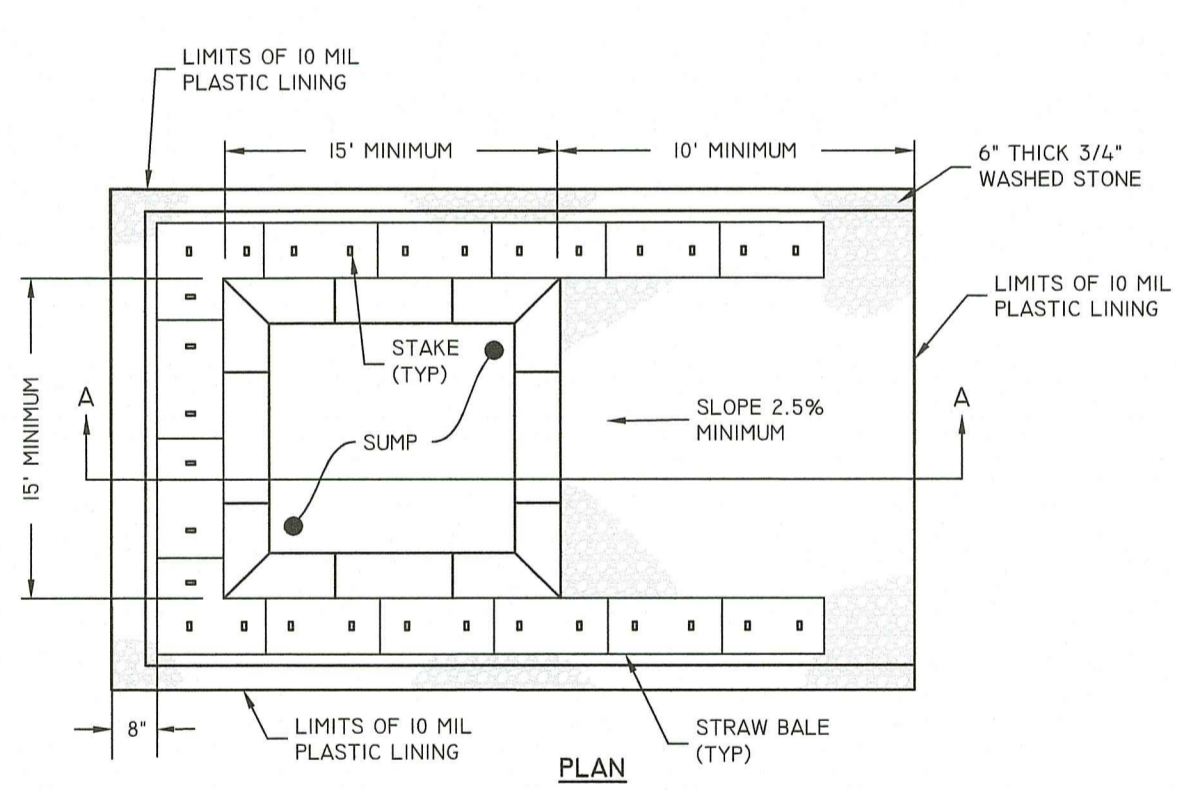
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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*mont. A. Senack*



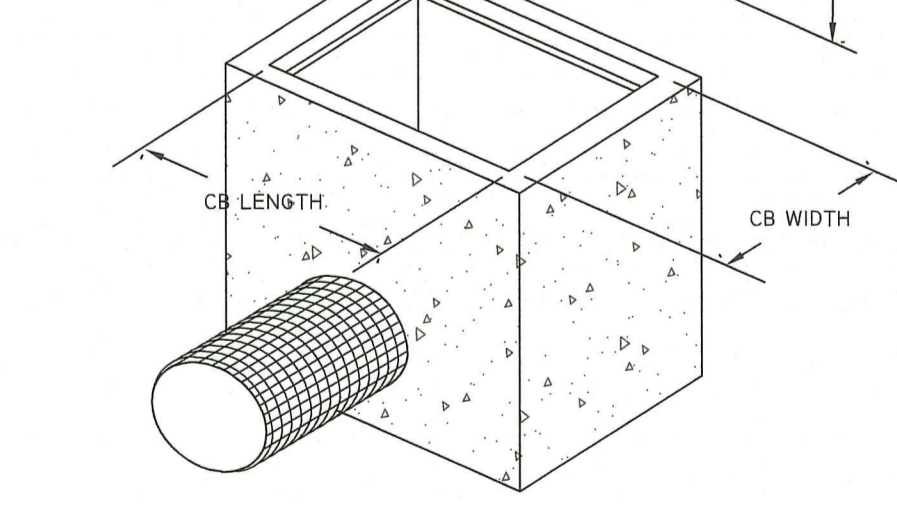
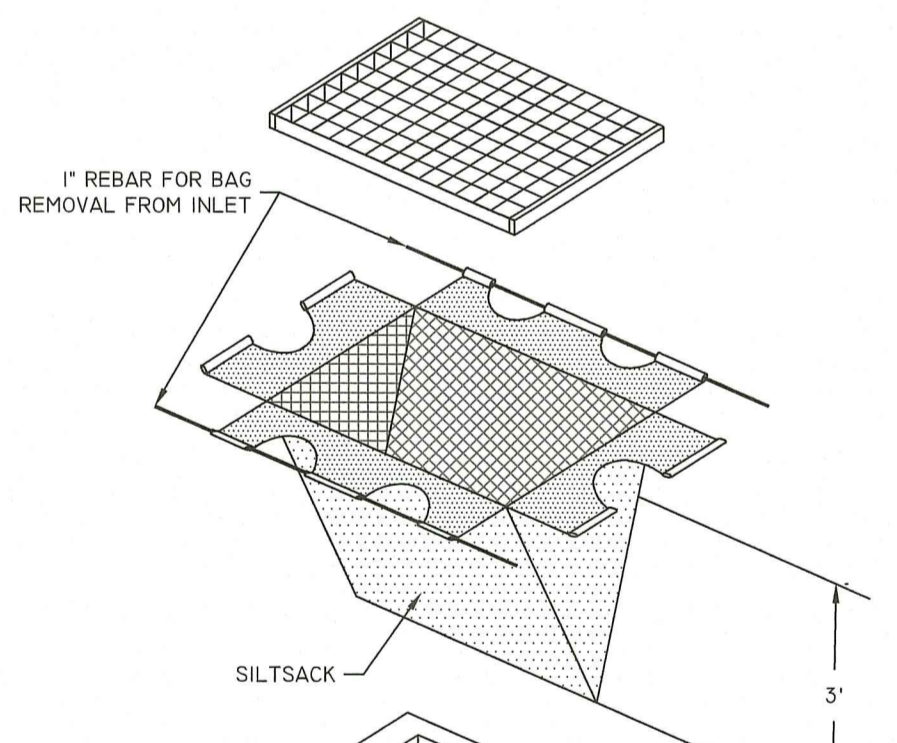
- NOTES:
1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
  2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
  3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
  4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
  5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

STOCKPILE PROTECTION  
NOT TO SCALE

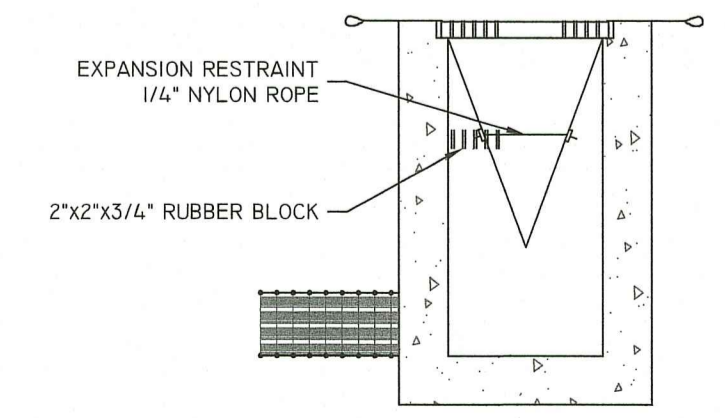


CONCRETE WASHOUT AREA  
NOT TO SCALE

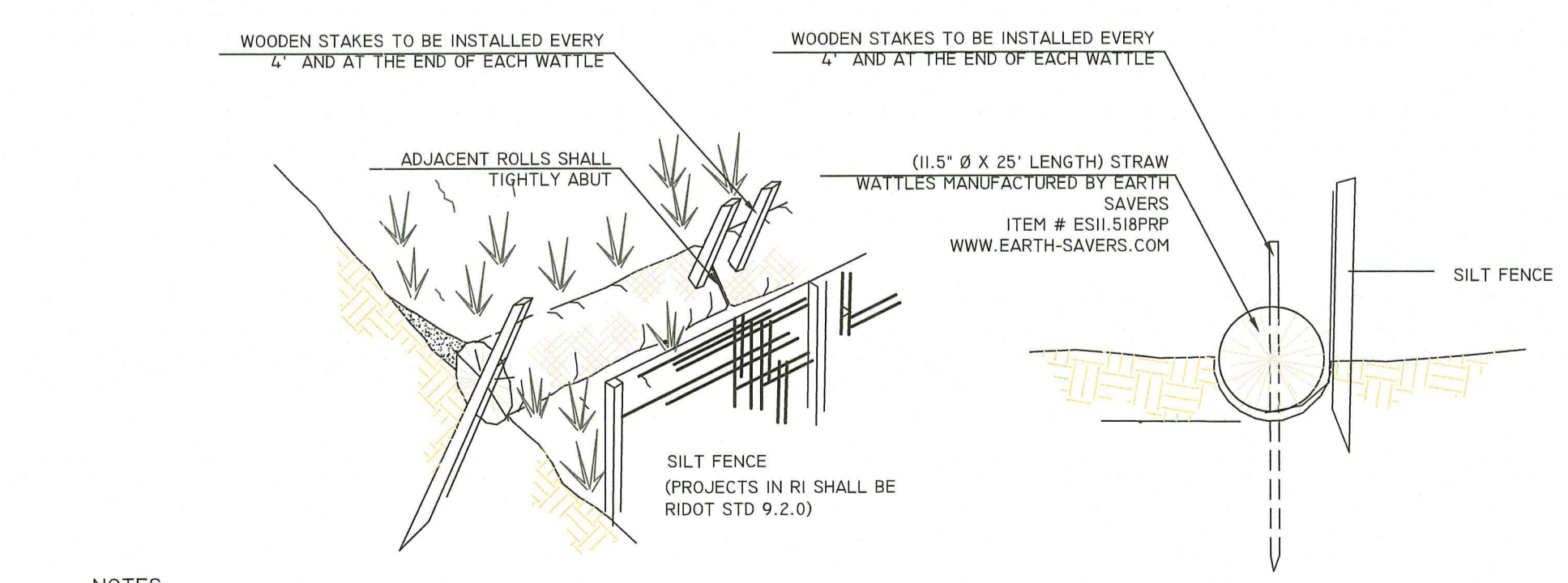
- NOTES:
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
  2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
  3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
  4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
  5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
  6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
  7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



NOTE:  
REGULAR FLOW=66 GAL./MIN/SF  
HIGH FLOW=100.6 GAL./MIN/SF

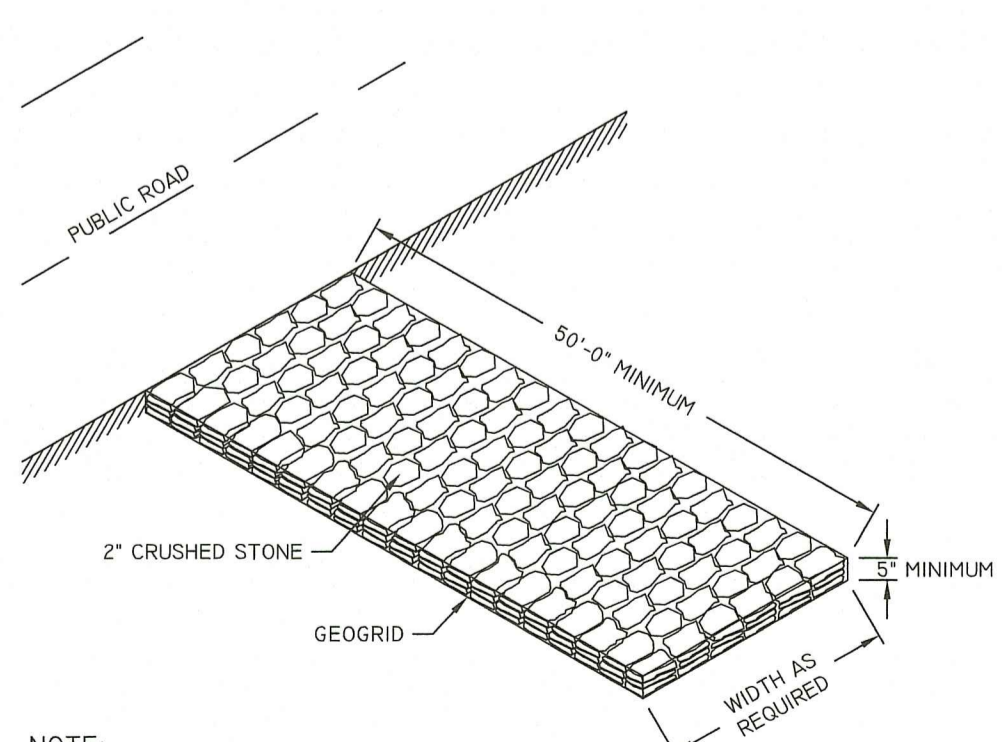


SILT SACK DETAIL  
NOT TO SCALE



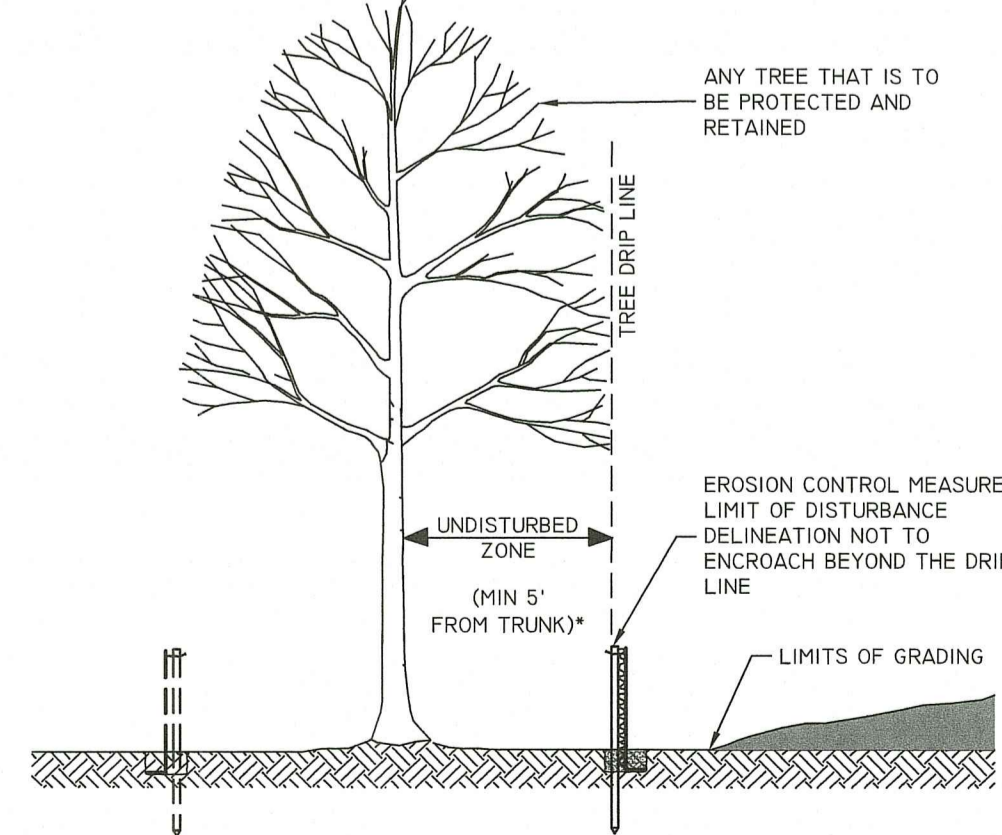
- NOTES:
1. EROSION CONTROL BARRIER TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
  2. FOR SOFT SOILS, DIG A 3 TO 5 INCH TRENCH FOR HARD SOILS, DIG A 2 TO 3 INCH TRENCH.
  3. INSTALL WOOD STAKES FOR EVERY 4' (MAX) OF STRAW WATTLE, AS WELL AS ADDITIONAL WOOD STAKE ON EACH END OF EACH STRAW WATTLE.
  4. MINIMUM WOOD STAKE DIMENSIONS TO BE 1"x2"x24" (SOFT SOIL) AND 1"x2"x18" (HARD SOIL).

SILT FENCE/STRAW WATTLE SEDIMENT BARRIER  
NOT TO SCALE



NOTE:  
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS  
NOT TO SCALE

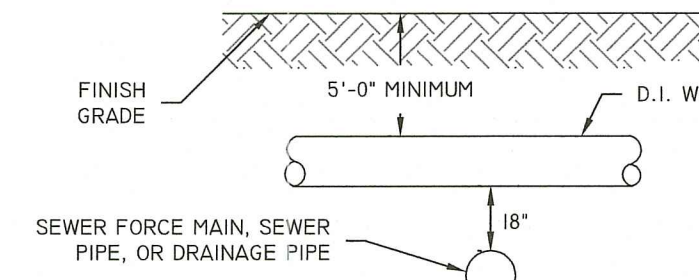


\*LIMIT OF DISTURBANCE IS AT THE DRIP LINE OF OUTERMOST BRANCH OR 5' FROM TRUNK, WHICHEVER IS GREATER.

TREE PROTECTION DETAIL  
NOT TO SCALE

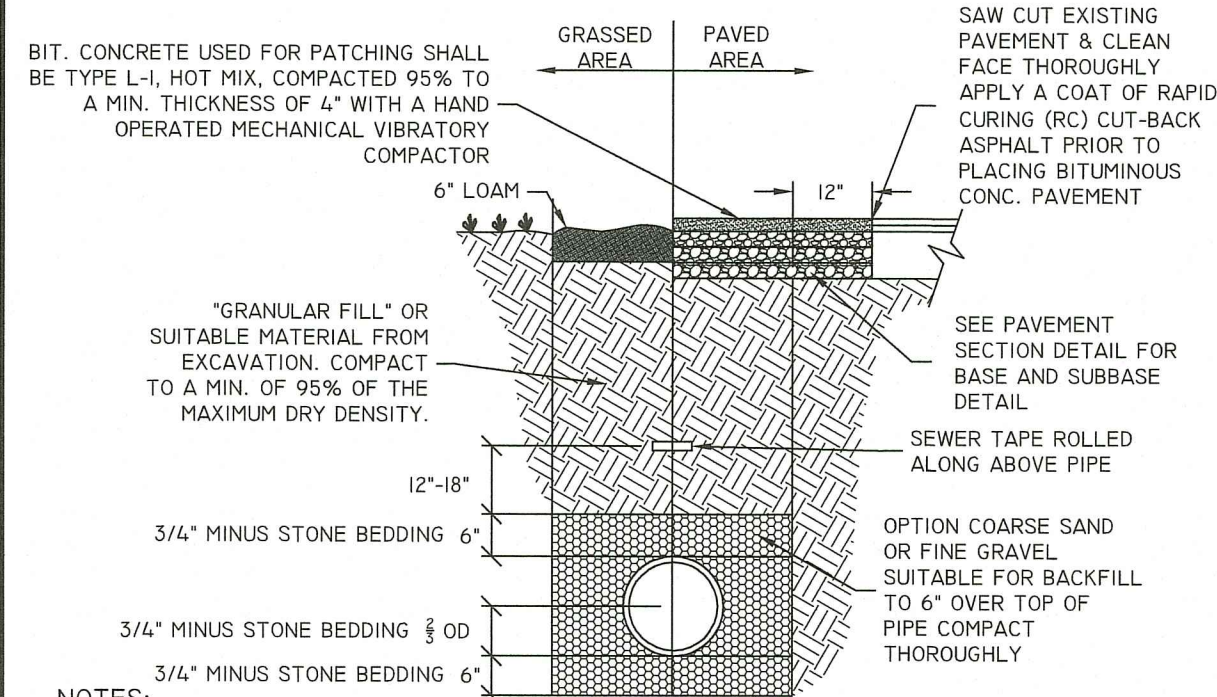
DETAIL SHEET - I  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 63 LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND  
PREPARED FOR:  
TOWN OF JOHNSTON  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-6618  
DESIGN BY: I.V.P.  
DRAWN BY: I.V.P.  
DATE: 08-22-2023  
PHASE: LAND PHASE 2 PLAN  
NO. DATE DESCRIPTION  
I.V.P. BY:  
I.V.P. DESIGN BY: I.V.P.

- NOTES:**
- THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHOULD BE A MINIMUM OF 18".
  - THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 10".
  - IF 1" OR 2" CAN NOT BE MAINTAINED THE PROPOSED UTILITY IS TO BE ENCASED IN CONCRETE 12" ON EITHER SIDE OF THE CROSSING.



**UTILITY SEPARATION**

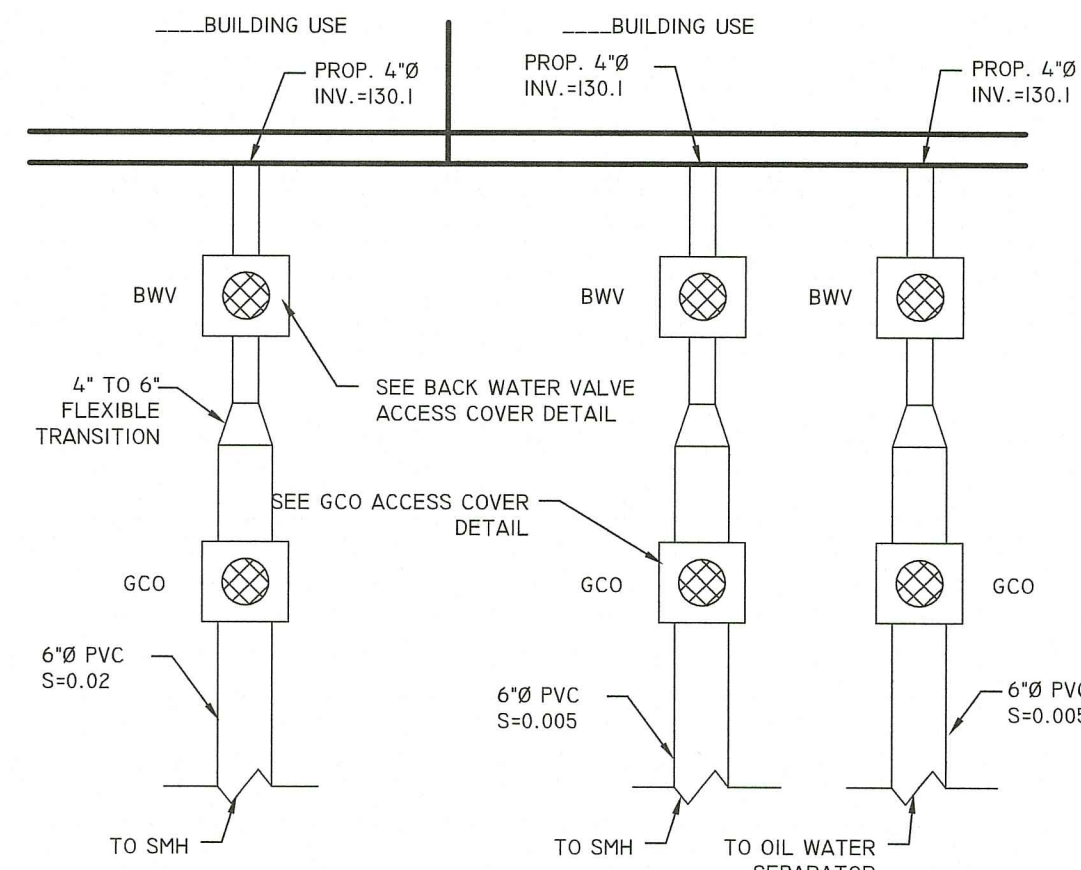
NOT TO SCALE



- NOTES:**
- WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12".
  - SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR.
  - STONE FOUNDATION 3/4" MINUS SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON. STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
  - 3/4" MINUS SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.
  - IF 3/4" CRUSHED OR WASHED STONE IS USED IN LIEU OF 3/4" MINUS, STONE BEDDING MUST BE WRAPPED IN NON WOVEN FILTER FABRIC.

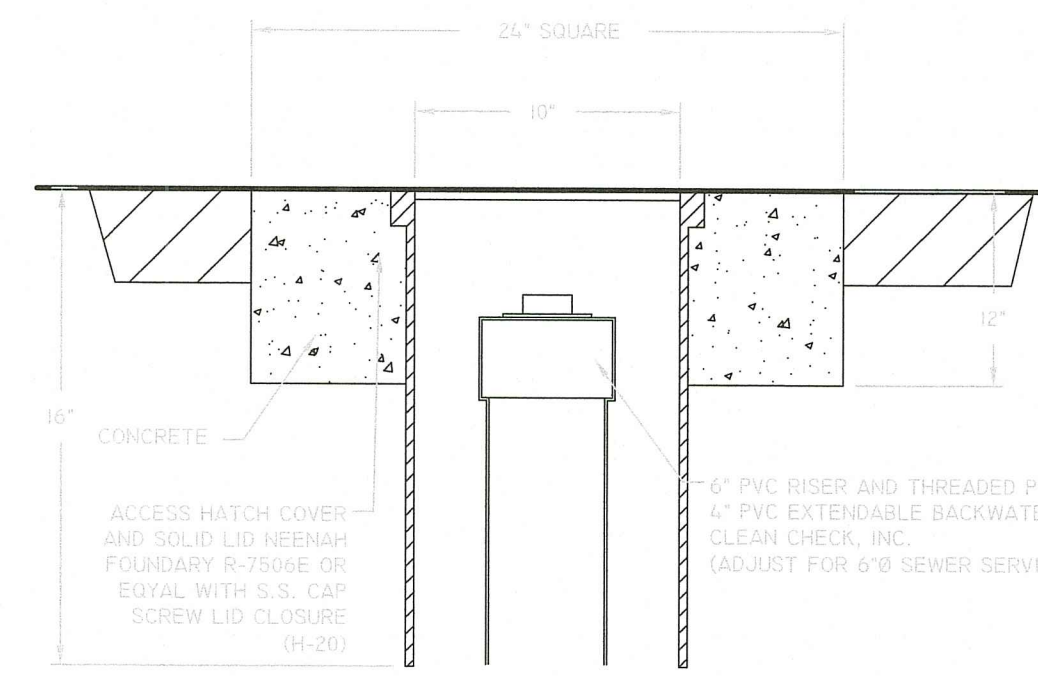
**SEWER TRENCH DETAIL**

NOT TO SCALE



**BACKWATER VALVE, GCO CLUSTER DETAIL**

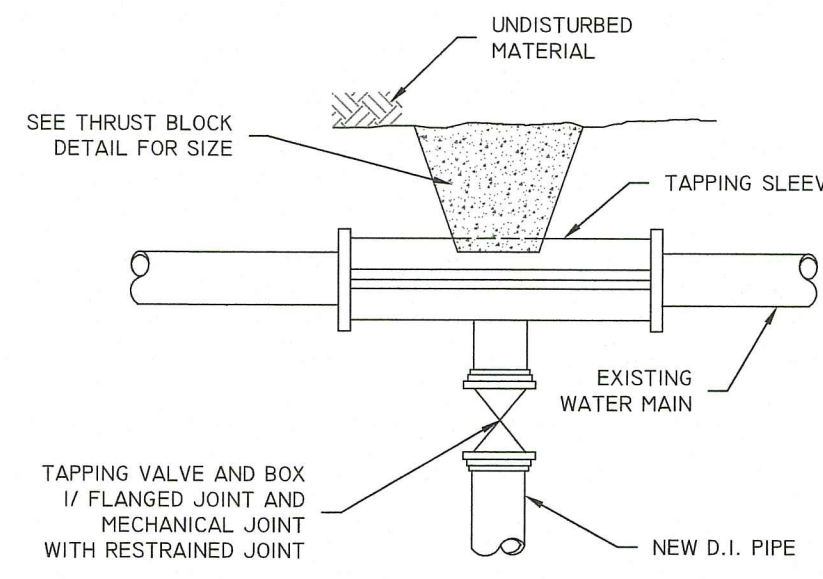
NOT TO SCALE



**BACKWATER VALVE & GCO ACCESS COVER DETAIL (TYP)**

NOT TO SCALE

- NOTES:**
- TAPPING SLEEVE AND VALVE TO BE SWABBED WITH CHLORINE SOLUTION.

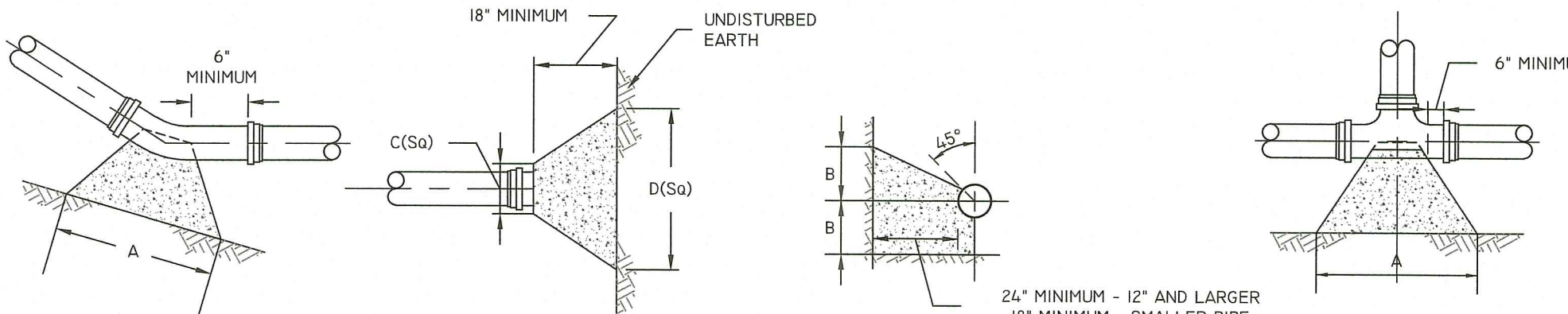


**TAPPING SLEEVE & VALVE**

NOT TO SCALE

- NOTES:**
- ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS.
  - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
  - FORMS TO BE USED AS NECESSARY.
  - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.
  - REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND SHALL VERIFY CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT.

SIZE	TEES				PLUGS				90° BEND		45° BEND		22.5° BEND		11.25° BEND	
	A	B	C	D	A	B	C	D	A	B	A	B	A	B	A	B
6"	20"	10"	10"	21"	24"	12"	18"	9"	15"	7"	9"	5"				
8"	26"	15"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"				
10"	34"	17"	14"	34"	40"	20"	30"	15"	22"	11"	15"	8"				
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"				
16"	54"	27"	20"	54"	64"	32"	47"	25"	34"	17"	24"	12"				



**PLAN BENDS**

**PLAN & ELEVATION PLUGS**

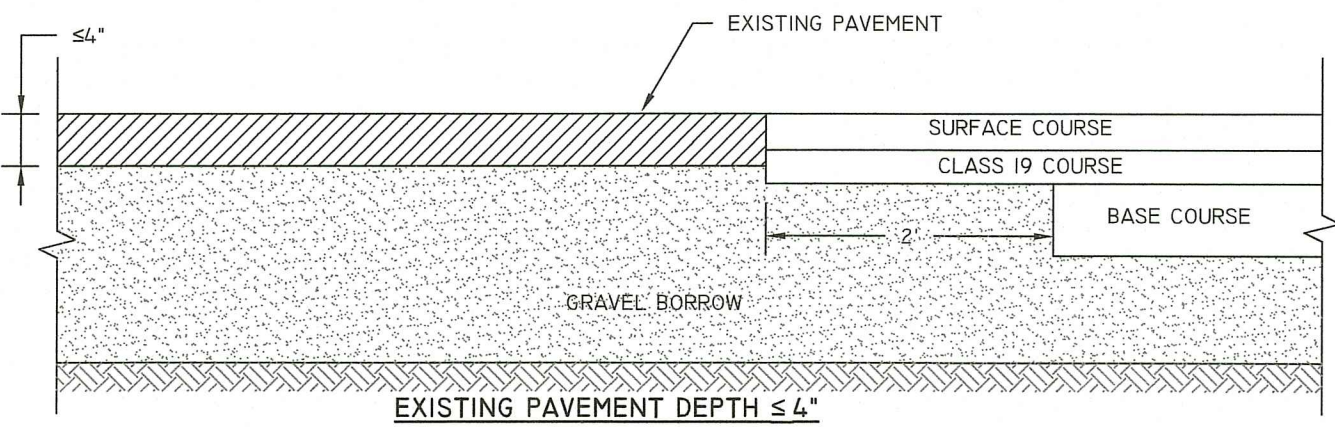
**BENDS & TEES SECTIONS**

**PLAN TEES**

**THRUST BLOCK**

NOT TO SCALE

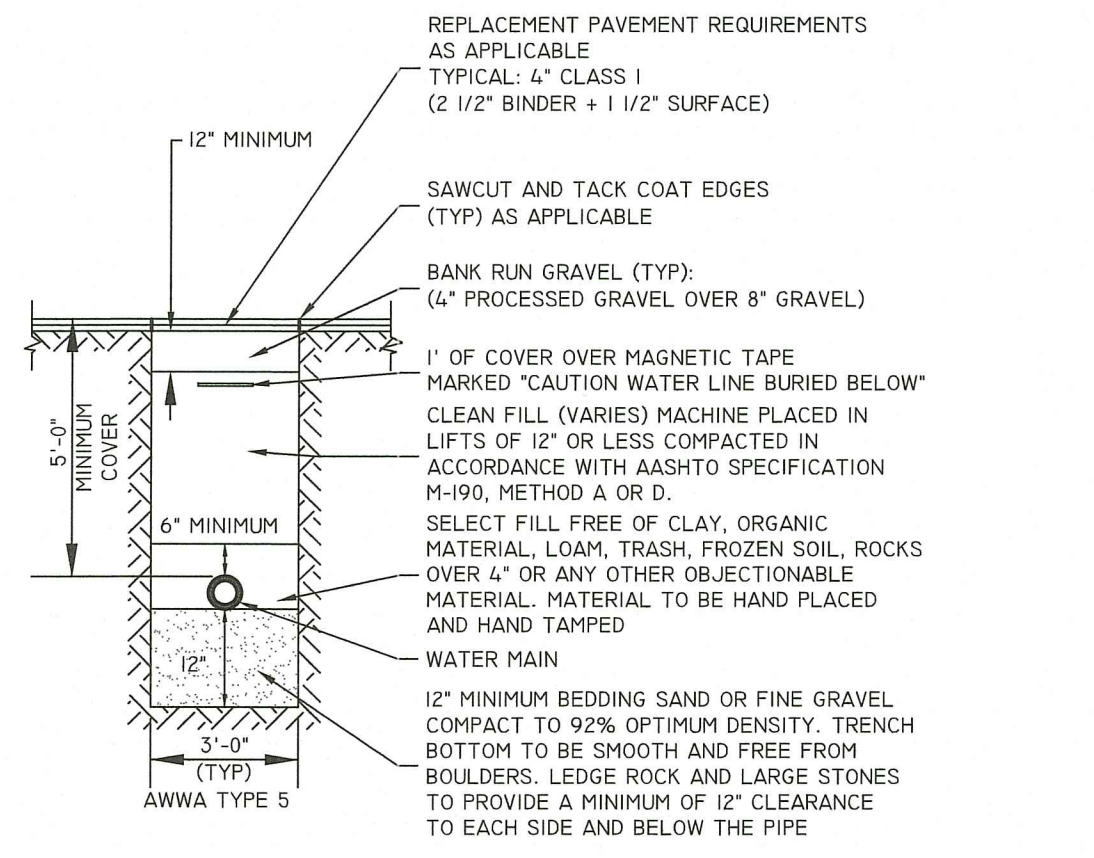
- NOTE:**
- A BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED 5'-0" FROM THE JOINT AND COVERED WITH THE CLASS 19 COURSE AS THE TEMPORARY RAMP. PRIOR TO PLACING THE SURFACE COURSE, THE CLASS 19 COURSE, AND BOND BREAKER WILL BE REMOVED.



**TRANSVERSE PAVEMENT CUT AND MATCH**

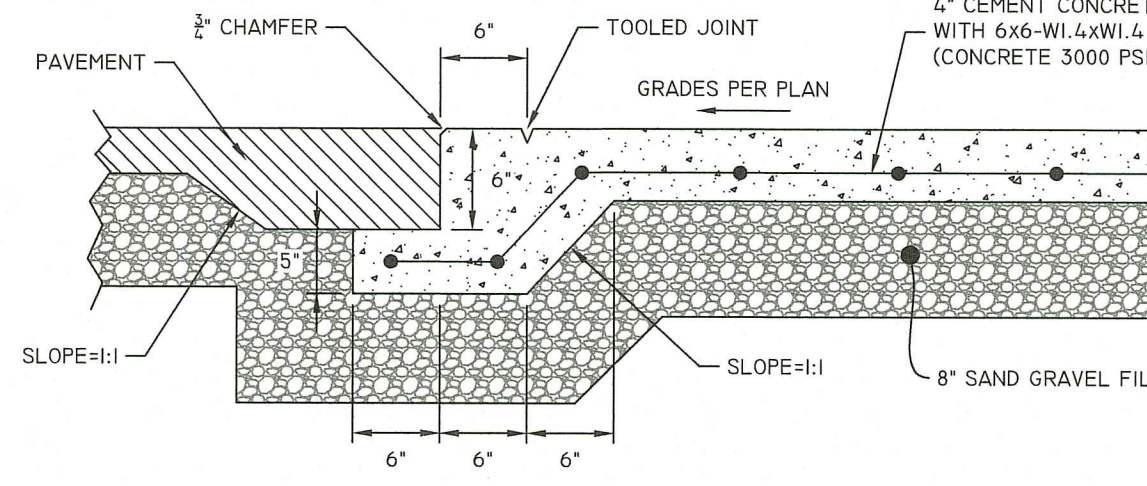
NOT TO SCALE

- NOTE:**
- SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
  - SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
  - ALL IMPROVEMENTS MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
  - PROVIDE EXPANSION JOINTS AT MAX. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
  - PROVIDE CONTROL JOINTS AT 5' O.C.
  - MUST BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS, CURRENT EDITION.



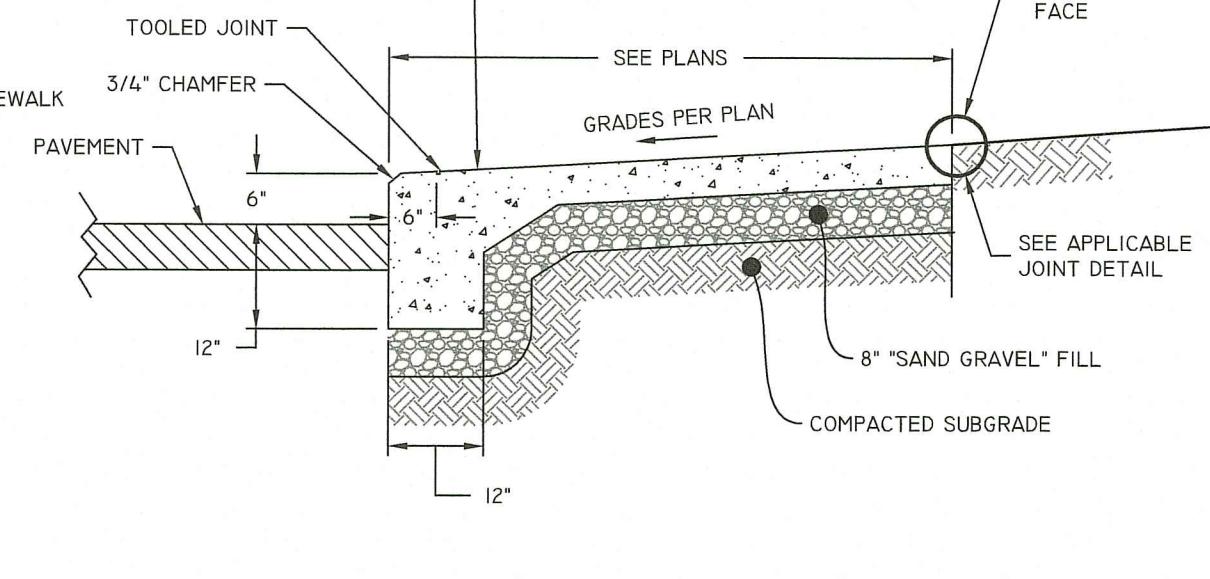
**WATER TRENCH DETAIL**

NOT TO SCALE



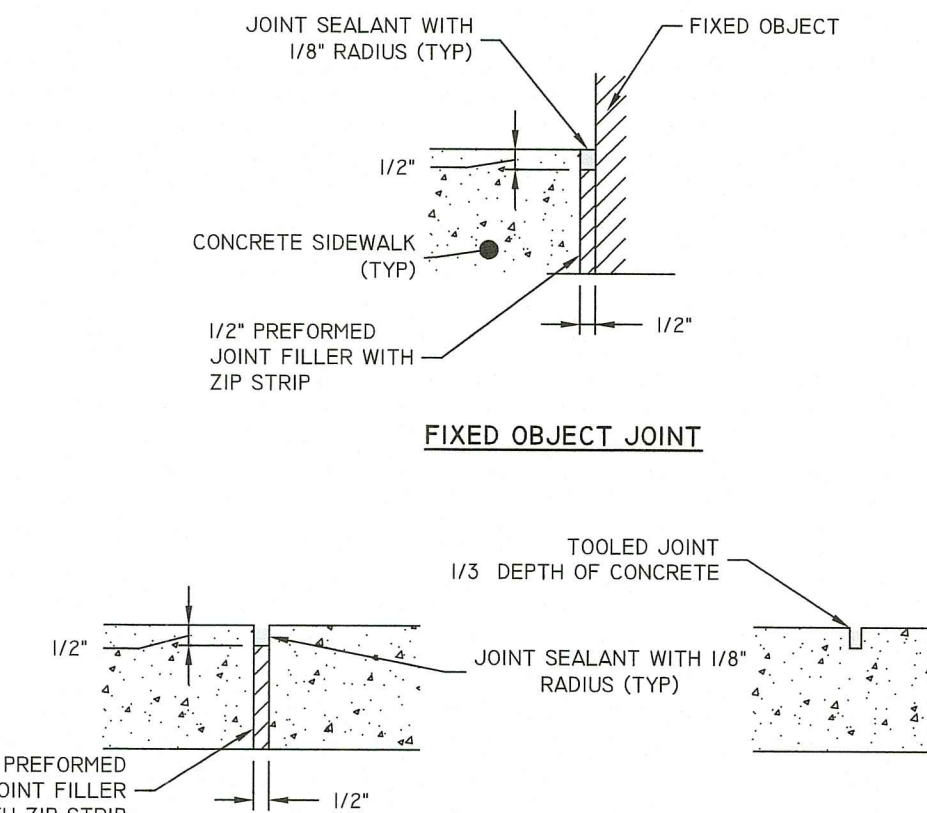
**SECTION MONOLITHIC CONCRETE SIDEWALK (FLUSH)**

NOT TO SCALE



**SECTION MONOLITHIC CONCRETE SIDEWALK (6\"/>**

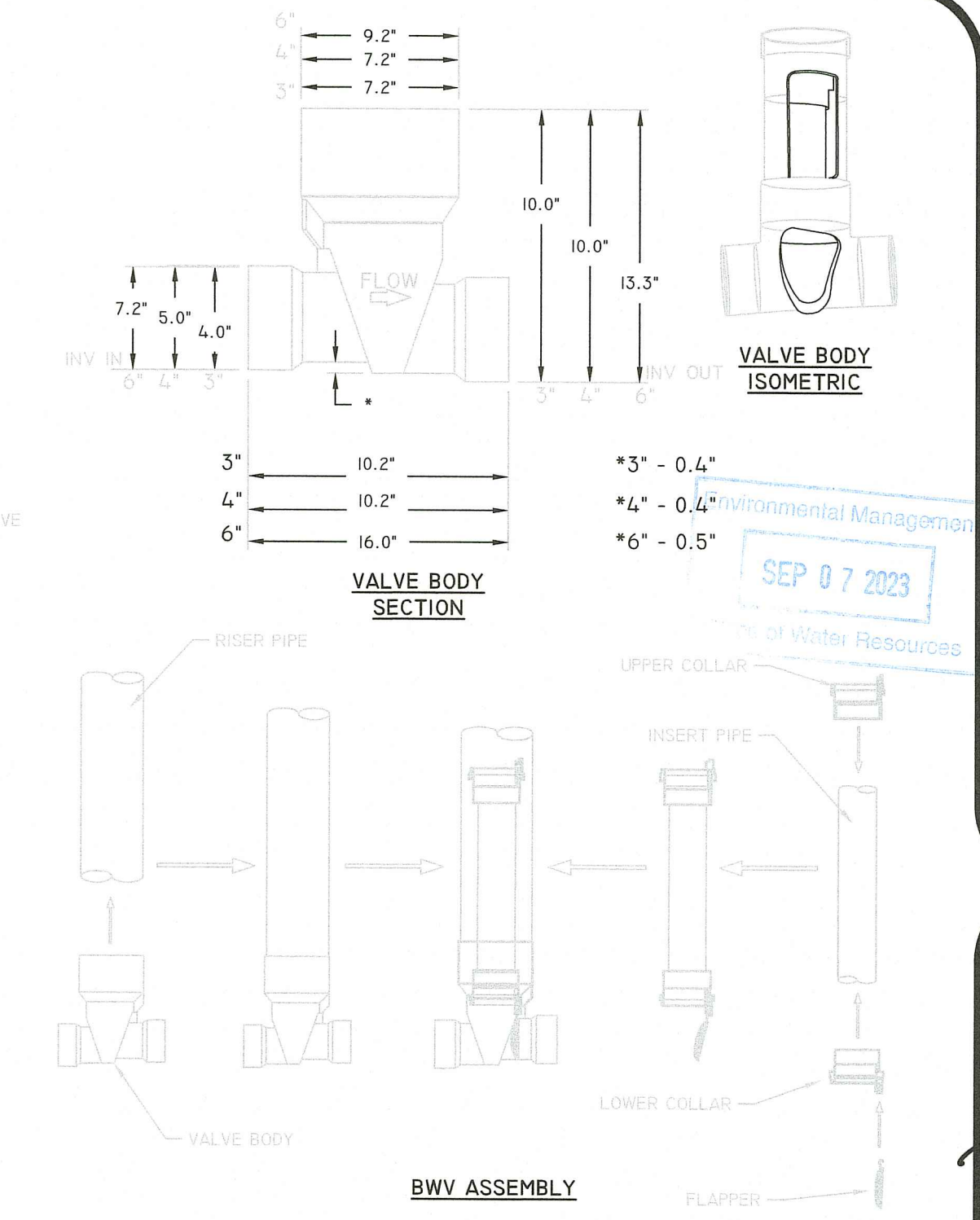
NOT TO SCALE



**FIXED OBJECT JOINT**

**EXPANSION JOINT**

**CONTROL JOINT**



- GENERAL NOTES:**
- BWV SHALL BE INSTALLED IN PROPOSED 6" PVC HORIZONTAL SEWER LINE TO REDUCE/PREVENT DAMAGE TO PROPOSED BUILDING FROM SEWAGE BACKUP.
  - BWV TO BE INSTALLED IN A LEVEL POSITION AND ON NOMINALLY HORIZONTAL LINES ONLY.
  - BWV SHALL HAVE A 0.5" (0.04167") STEPPED DESIGN TO PROVIDE ADEQUATE FALL THROUGH THE VALVE BODY AND ENCOURAGE FLOW.
  - CRUSHED STONE BEDDING SHALL BE PLACED FROM 6" BELOW PIPE INVERT TO THE SPRINGLINE OF THE PIPE, UNLESS OTHERWISE DIRECTED BY THE INSPECTOR OR ENGINEER.
  - ALL OTHER INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS. SEE WWW.RECTORSEAL.COM
  - ALL MATERIALS AND DIMENSIONS TO BE VERIFIED WITH MANUFACTURER PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEER PRIOR TO CONSTRUCTION.

**RECTORSEAL 6" PVC EXTENDABLE CLEAN CHECK(R) BACK WATER VALVE (BWV) DETAIL OR APPROVED EQUAL**

NOT TO SCALE

**A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS**

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED. STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER PITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE AUTHORITY HAVING JURISDICTION, MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

- THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
- THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
- IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

- ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
- DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.
- IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL SEPARATION.

**B. SEWERS CROSSING WATER MAINS**

SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. RELOCATION OF AN EXISTING WATER LINE MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. RELOCATED WATER MAINS SHALL BE CONSTRUCTED OF AN AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE AND DESIGNED FOR THE REQUIRED WATER SERVICE PRESSURE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12" ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION, OR
- EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12" ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION, OR
- ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

WATER LINES ARE DEFINED AS ANY CONDUITS OR PIPELINES THAT CONVEY POTABLE WATER.

**SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS**

**BRIAN P THALMANN**  
No. 14100  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND ISSUED FOR CONSTRUCTION AND STAMPED BY REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING ASSUMES NO LIABILITY FOR CONSTRUCTION OF ANY PROJECT NOT DESIGNED BY DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES OF WORK IN THE IMPLEMENTATION OF THIS PLAN AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEETS.

DATE: 08-21-2024  
NO. 14100  
DESCRIPTION: PHASE 2 LAND AND PHASE 2 PLAN  
DRAWN BY: L.V.P.  
DESIGN BY: L.V.P.  
BY: L.V.P.

**DETAIL SHEET - 2**  
**JOHNSTON MEMORIAL PARK**  
ASSESSOR'S PLAT 53, LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND

PREPARED FOR:  
**TOWN OF JOHNSTON**  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-551-6618

REGISTERED PROFESSIONAL ENGINEER  
DIPRETE ENGINEERING ASSOCIATES, INC.  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-551-6618

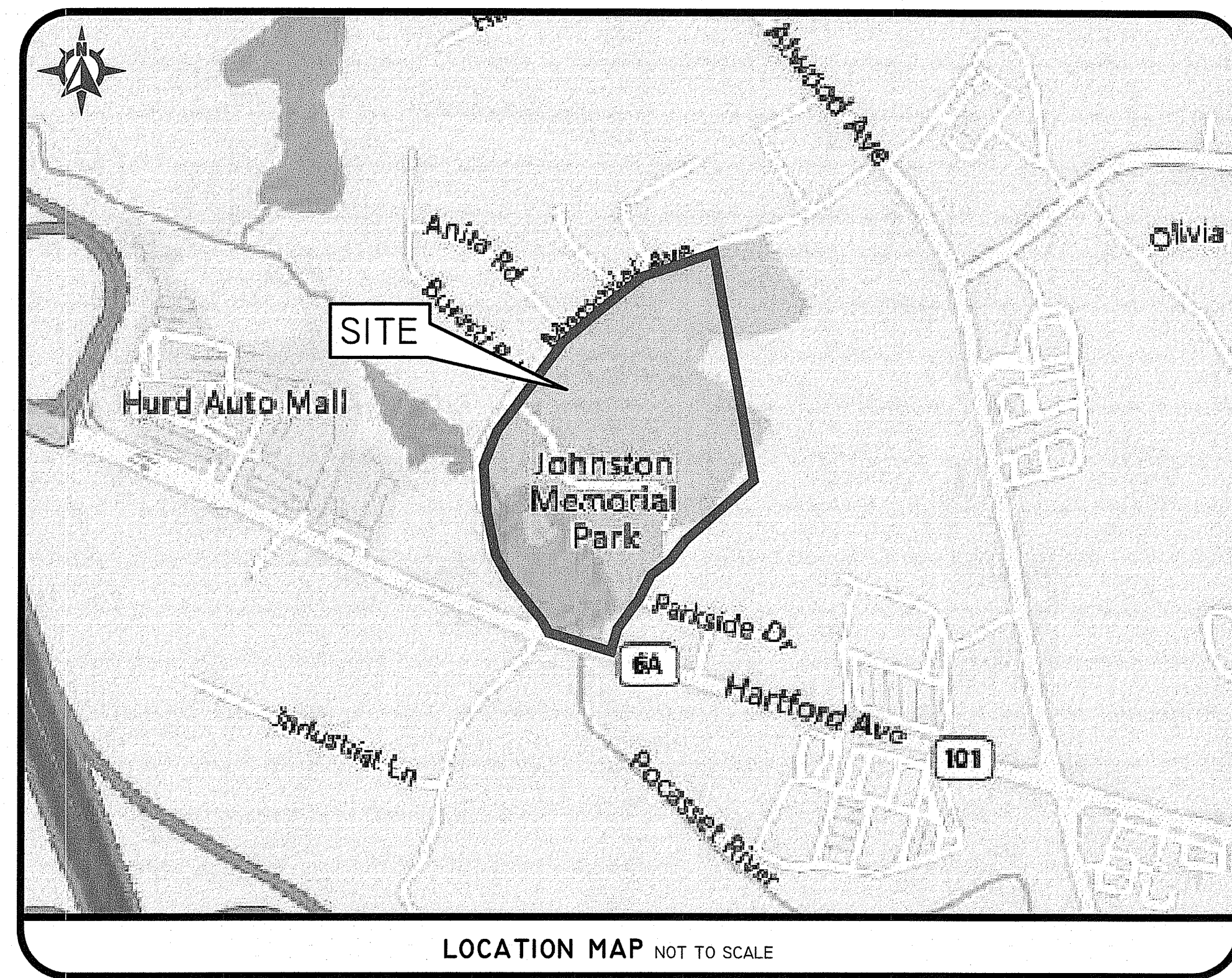
# PERMIT MODIFICATION SUBMISSION - PHASE I

# JOHNSTON MEMORIAL PARK

1583 HARTFORD AVENUE

JOHNSTON, RHODE ISLAND

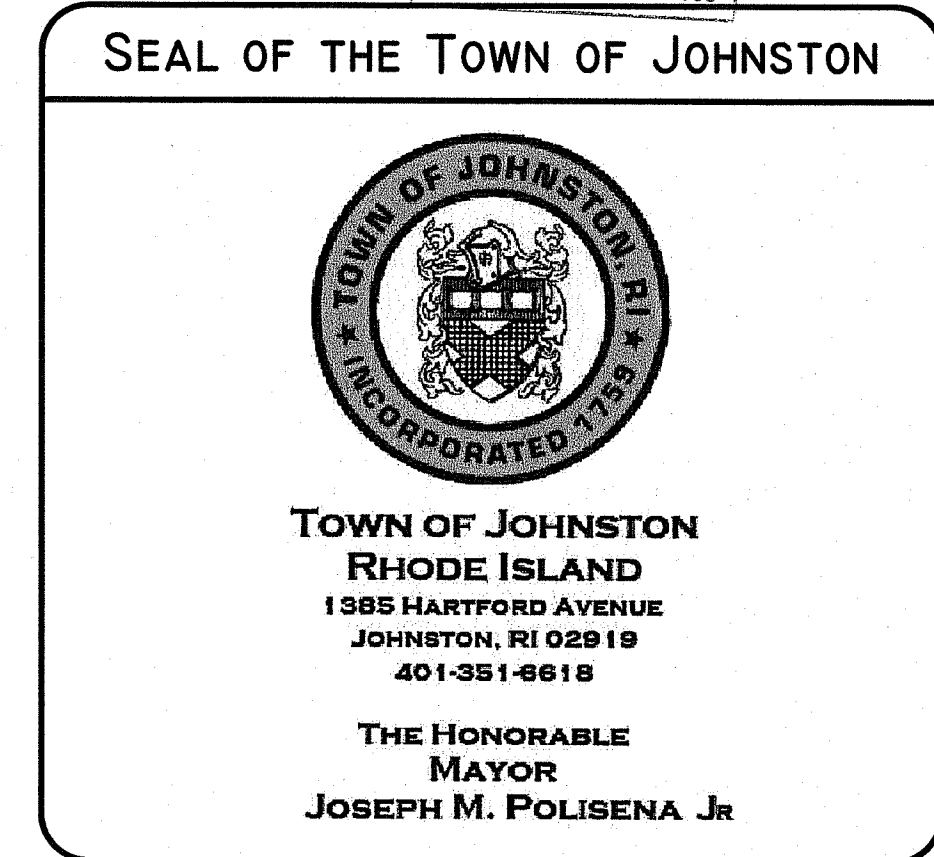
ASSESSOR'S PLAT 53 LOT 24, 25, 71, 72



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: JUN 12 2024 FILE # 23-0183  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Martin D. Swenick*

RI Environmental Management  
 MAY 14 2024  
 Office of Water Resources



SESC / O&M  
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND RECORDS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.  
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY A DIPRETE ENGINEERING ASSURANCE OF RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES INFORMATION IS PROVIDED. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY
1	05-16-2024	DESIGNED SHEET FOR LOCATION	J.W.
2	05-20-2024	BULLETIN #1 REVISED SHEETS 9 & 10	L.B.
3	05-20-2024	BULLETIN #1 REVISED SHEETS 9 & 10	J.W.
4	05-20-2024	BULLETIN #1 REVISED SHEETS 9 & 10	L.B.
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COVER SHEET  
 JOHNSTON MEMORIAL PARK  
 ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR:  
 TOWN OF JOHNSTON  
 1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
 TEL 401-351-6618

Z:\DEVELOPMENT\1982-008 JOHNSTON MEMORIAL PARK\AUTOCAD DRAWINGS\1982-008-CIVIL-DWG-PLAT18-51M.DWG

DiPrete Engineering  
 Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com  
 Boston • Providence • Newport

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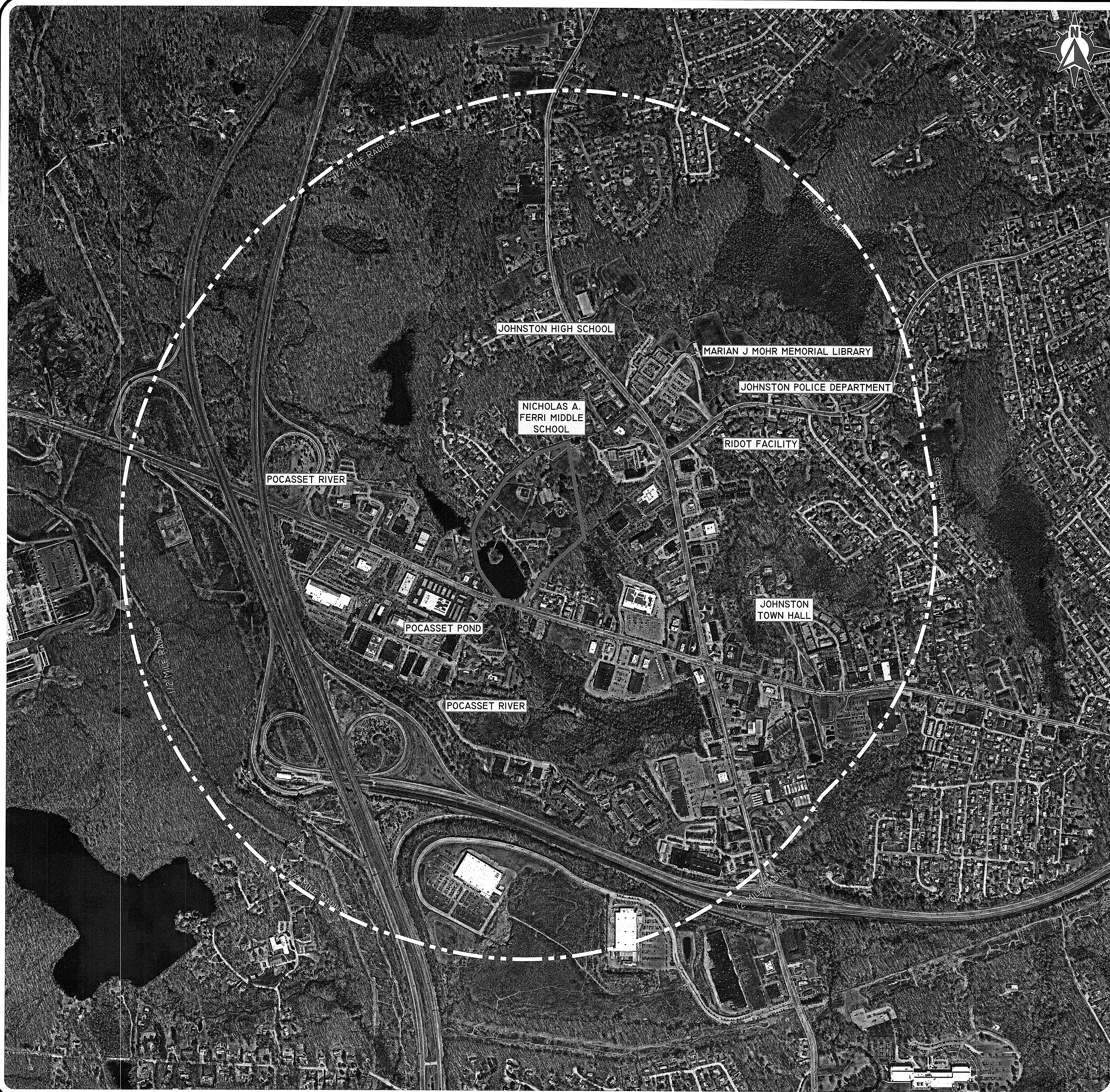
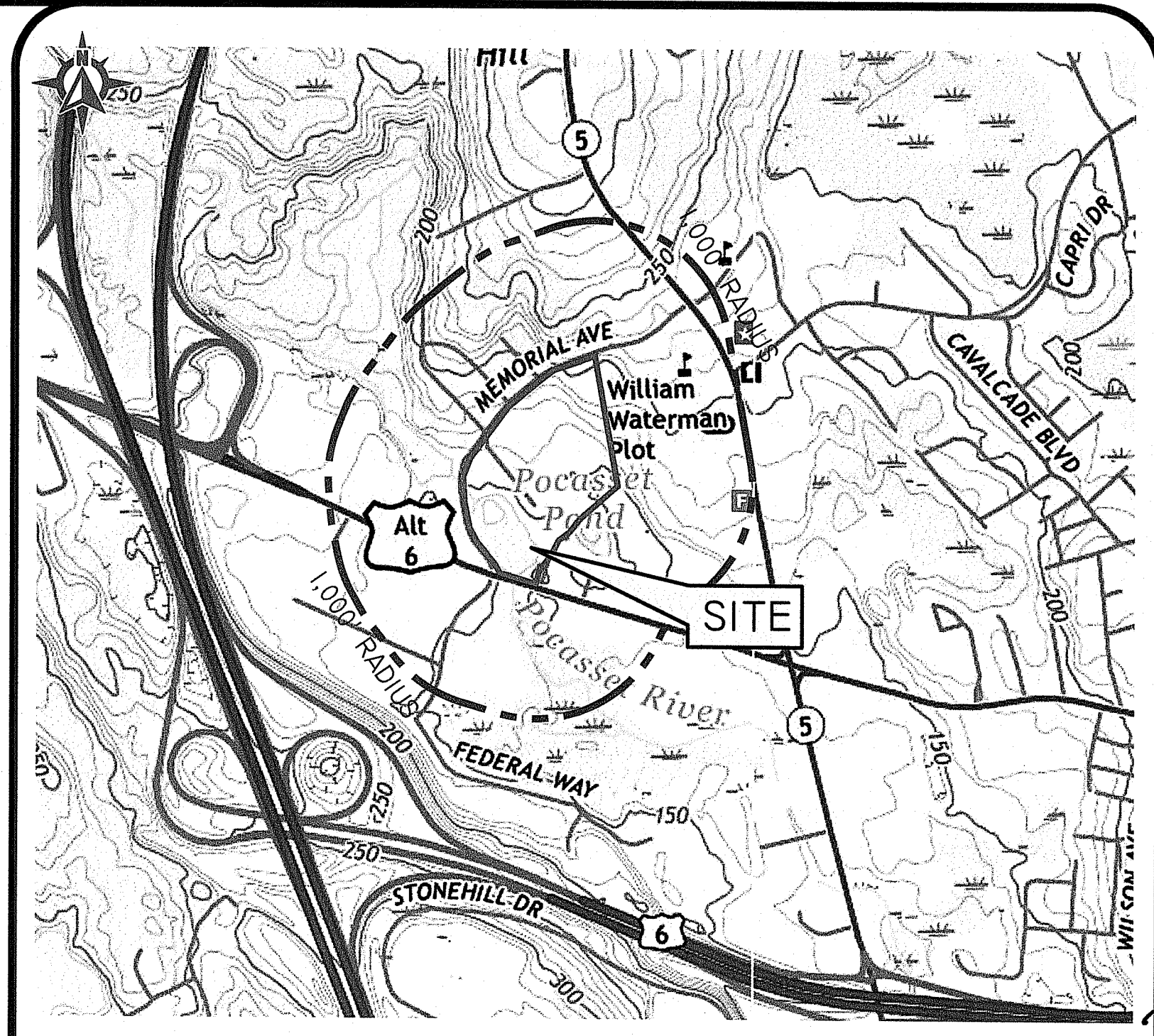
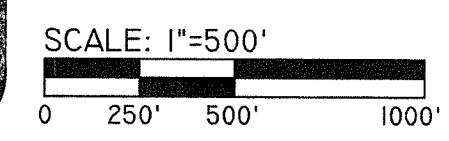


PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/27/2023.



USGS MAP SCALE: 1"=1000'

RI Environmental Management  
MAY 14 2024  
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
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DATED: JUN 12 2024 FILE # 23-0183  
NO CHANGES TO BE MADE WITHOUT PRIOR APPROVAL  
APPROVED PLANNING AND CONSTRUCTION SITE  
*Gregory D. Weneck*

**Diprete Engineering**

Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-661-6006 www.diprete-eng.com

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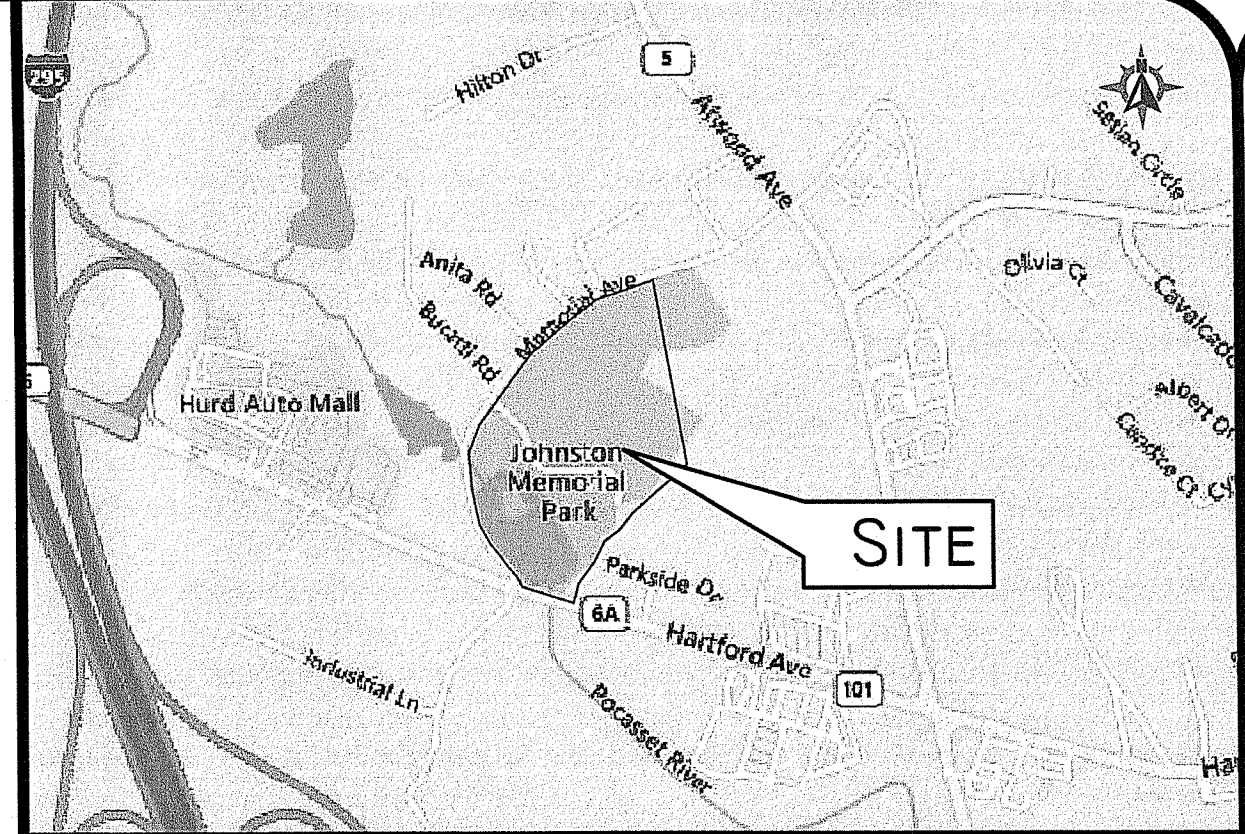
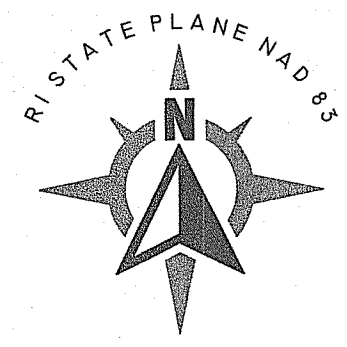
NO.	DATE	DESCRIPTION	BY:
1	05-14-2024	REVISION: SPILLWAY POND LOCATION	S.D.K.
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3	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
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51	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
52	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
53	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
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98	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
99	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.
100	05-14-2024	REVISION: SPILLWAY POND LOCATION	J.W.S.

AERIAL AND HALF MILE RADIUS  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND  
TOWN OF JOHNSTON  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-6618

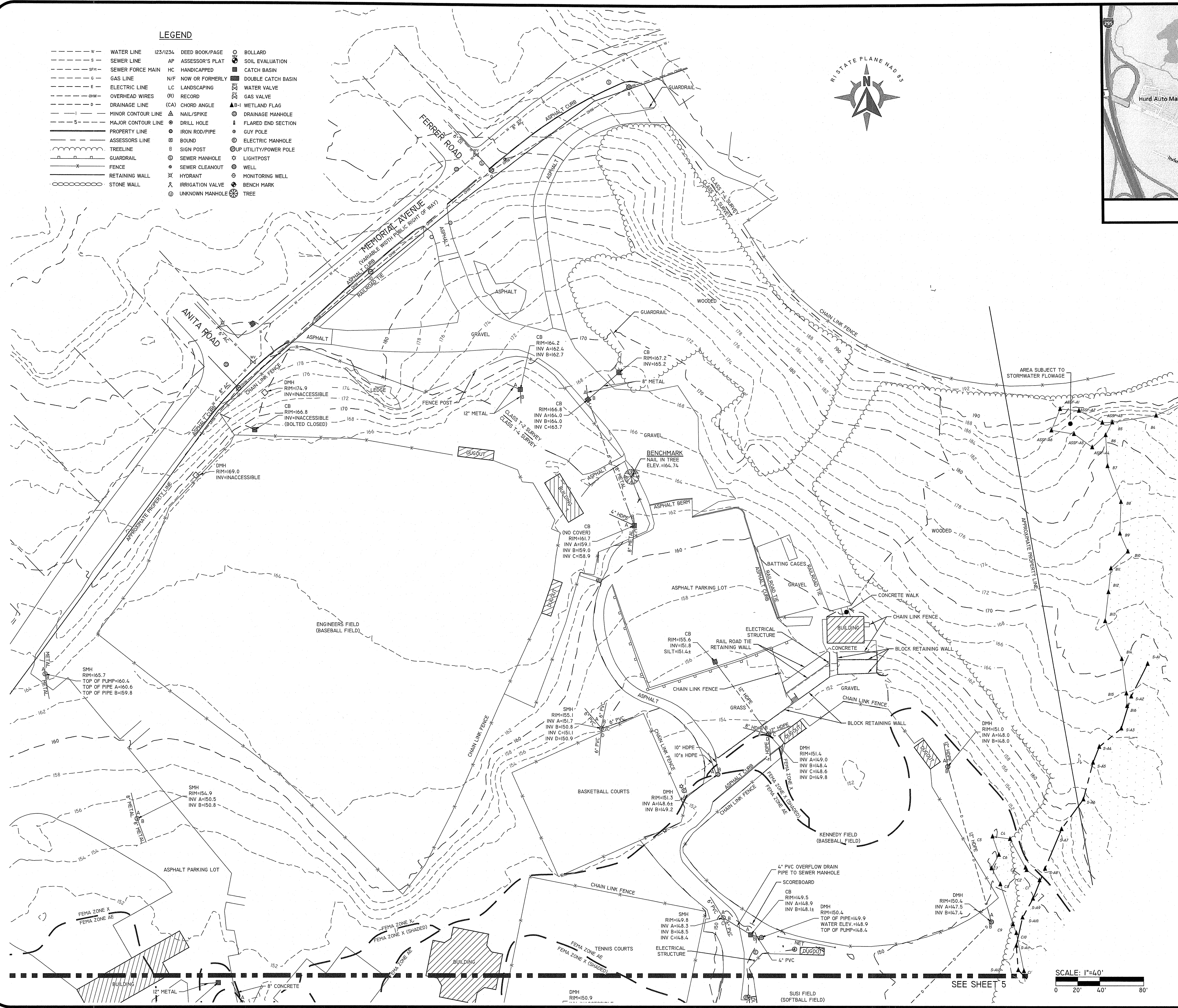


**LEGEND**

- |             |                    |          |                  |   |                    |
|-------------|--------------------|----------|------------------|---|--------------------|
| --- W ---   | WATER LINE         | 123/1234 | DEED BOOK/PAGE   | ○ | BOLLARD            |
| --- S ---   | SEWER LINE         | AP       | ASSESSOR'S PLAT  | ⊙ | SOIL EVALUATION    |
| --- SFH --- | SEWER FORCE MAIN   | HC       | HANDICAPPED      | ■ | CATCH BASIN        |
| --- G ---   | GAS LINE           | N/F      | NOW OR FORMERLY  | □ | DOUBLE CATCH BASIN |
| --- E ---   | ELECTRIC LINE      | LC       | LANDSCAPING      | ⊕ | WATER VALVE        |
| --- OHW --- | OVERHEAD WIRES     | (R)      | RECORD           | ⊕ | GAS VALVE          |
| --- D ---   | DRAINAGE LINE      | (CA)     | CHORD ANGLE      | ▲ | B-1 WETLAND FLAG   |
| --- 1 ---   | MINOR CONTOUR LINE | ▲        | NAIL/SPIKE       | ⊙ | DRAINAGE MANHOLE   |
| --- 5 ---   | MAJOR CONTOUR LINE | ⊙        | DRILL HOLE       | ⊕ | FLARED END SECTION |
| ---         | PROPERTY LINE      | ⊙        | IRON ROD/PIPE    | ⊕ | GUY POLE           |
| ---         | ASSESSOR'S LINE    | ⊙        | BOND             | ⊕ | ELECTRIC MANHOLE   |
| ---         | TREELINE           | ⊙        | SIGN POST        | ⊕ | UTILITY/POWER POLE |
| ---         | GUARDRAIL          | ⊙        | SEWER MANHOLE    | ☆ | LIGHTPOST          |
| ---         | FENCE              | ⊙        | SEWER CLEANOUT   | ⊕ | WELL               |
| ---         | RETAINING WALL     | ⊙        | HYDRANT          | ⊕ | MONITORING WELL    |
| ---         | STONE WALL         | ⊙        | IRRIGATION VALVE | ⊕ | BENCH MARK         |
| ---         |                    | ⊙        | UNKNOWN MANHOLE  | ⊕ | TREE               |



LOCUS MAP NOT TO SCALE



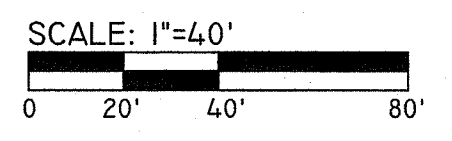
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEP  
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

RI Environmental Management  
MAY 14 2024  
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JUN 12 2024 FILE # 23-0183  
NO CHANGE TO BE MADE WITHOUT PRIOR APPROVAL  
APPROVED FOR CONSTRUCTION SITE

*Christopher D. Womack*



SEE SHEET 5

EXISTING CONDITIONS PLAN  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 53 & LOTS 24, 25, 71 & 72  
JOHNSTON, RHODE ISLAND

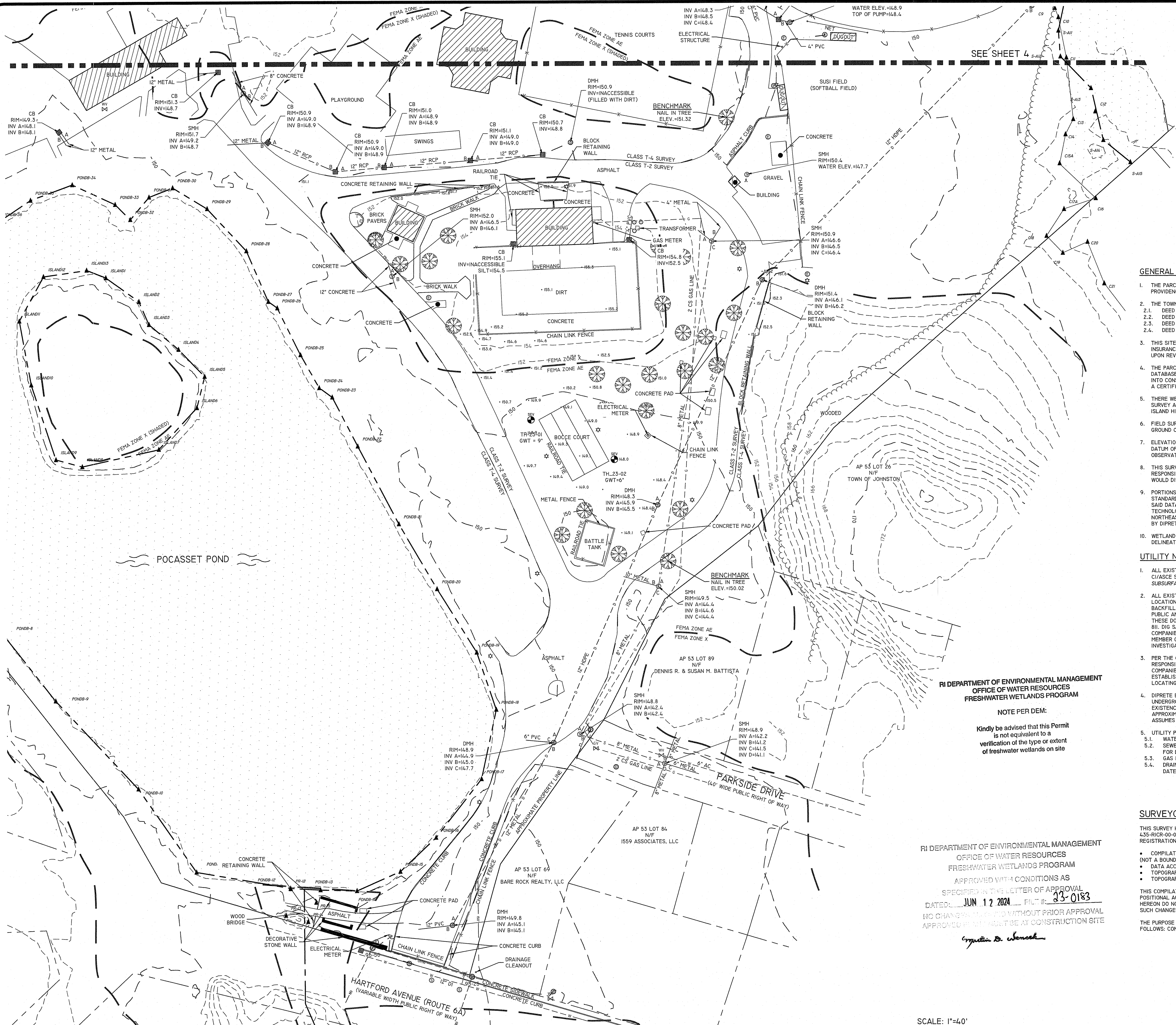
TOWN OF JOHNSTON  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919

DiPrete Engineering

Two Stafford Court Cranston, RI 02906  
Tel: 401-945-1000 Fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

c:\temp\proj\p03\1385-008-johnston-park\title.dwg (1385-008-ecw.dwg) Plotted: 6/27/2023



**GENERAL NOTES**

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 53, LOTS 24, 25, 71 AND 72 IN THE TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND.
2. THE TOWN OF JOHNSTON IS THE OWNER PER:
  - 2.1. DEED BOOK 64 PAGE 195, (AP 53, LOT 24)
  - 2.2. DEED BOOK 63 PAGE 455, (AP 53, LOT 25)
  - 2.3. DEED BOOK 60 PAGE 107, (AP 53, LOT 71)
  - 2.4. DEED BOOK 64 PAGE III, (AP 53, LOT 72)
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, X (SHADED) AND AE (ELEV. 151-152). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44070284H, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED RESIDENCE R-40 AND GENERAL BUSINESS B-2 BASED ON THE TOWN OF JOHNSTON GIS DATABASE. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY AND THERE ARE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS SHOWN ON THE RHODE ISLAND HISTORICAL CEMETERIES ONLINE DATABASE.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN JUNE AND JULY, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. PORTIONS OF THE CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
10. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY DIPRETE ENGINEERING ON MAY 11, 2023 AND JULY 20, 2023.

**UTILITY NOTES**

1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CLAUSE STANDARD 36-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES
  - 5.1. WATER INFORMATION OBTAINED FROM PROVIDENCE WATER GIS DATABASE.
  - 5.2. SEWER INFORMATION OBTAINED FROM THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)
  - 5.3. GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS DATABASE.
  - 5.4. DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THIS LETTER OF APPROVAL  
DATED: JUN 12 2024 FILE # 23-0183  
NO CHANGES TO BE MADE WITHOUT PRIOR APPROVAL  
APPROVED BY: [Signature]

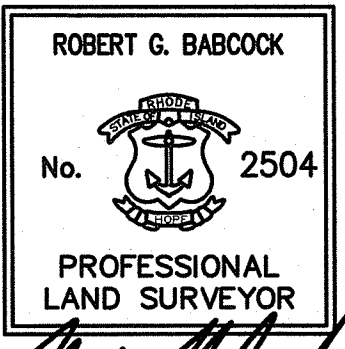
**SURVEYOR'S CERTIFICATE**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

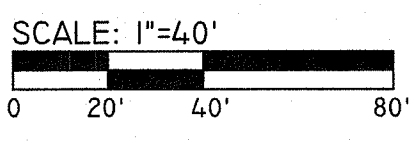
• COMPILED PLAN (NOT A BOUNDARY SURVEY)	CLASS IV
• DATA ACCUMULATION SURVEY (PLANIMETRIC)	CLASS III
• TOPOGRAPHIC SURVEY	CLASS T-2
• TOPOGRAPHIC SURVEY	CLASS T-4

THIS COMPILED PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: COMPILED PLAN WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.



08/22/2023  
ROBERT G. BABCOCK, RIFLS #2504, CDA #LS.000A160



**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-915-1000 fax 401-464-6606 www.diprete-eng.com

NO.	DATE	REVISION/DESCRIPTION	BY:
0	MAY 14 2024	EXISTING CONDITIONS PLAN	J.L.S.

Office of Water Resources

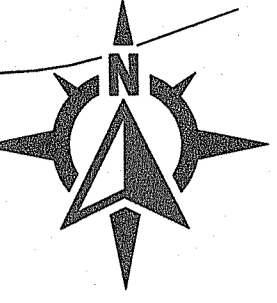
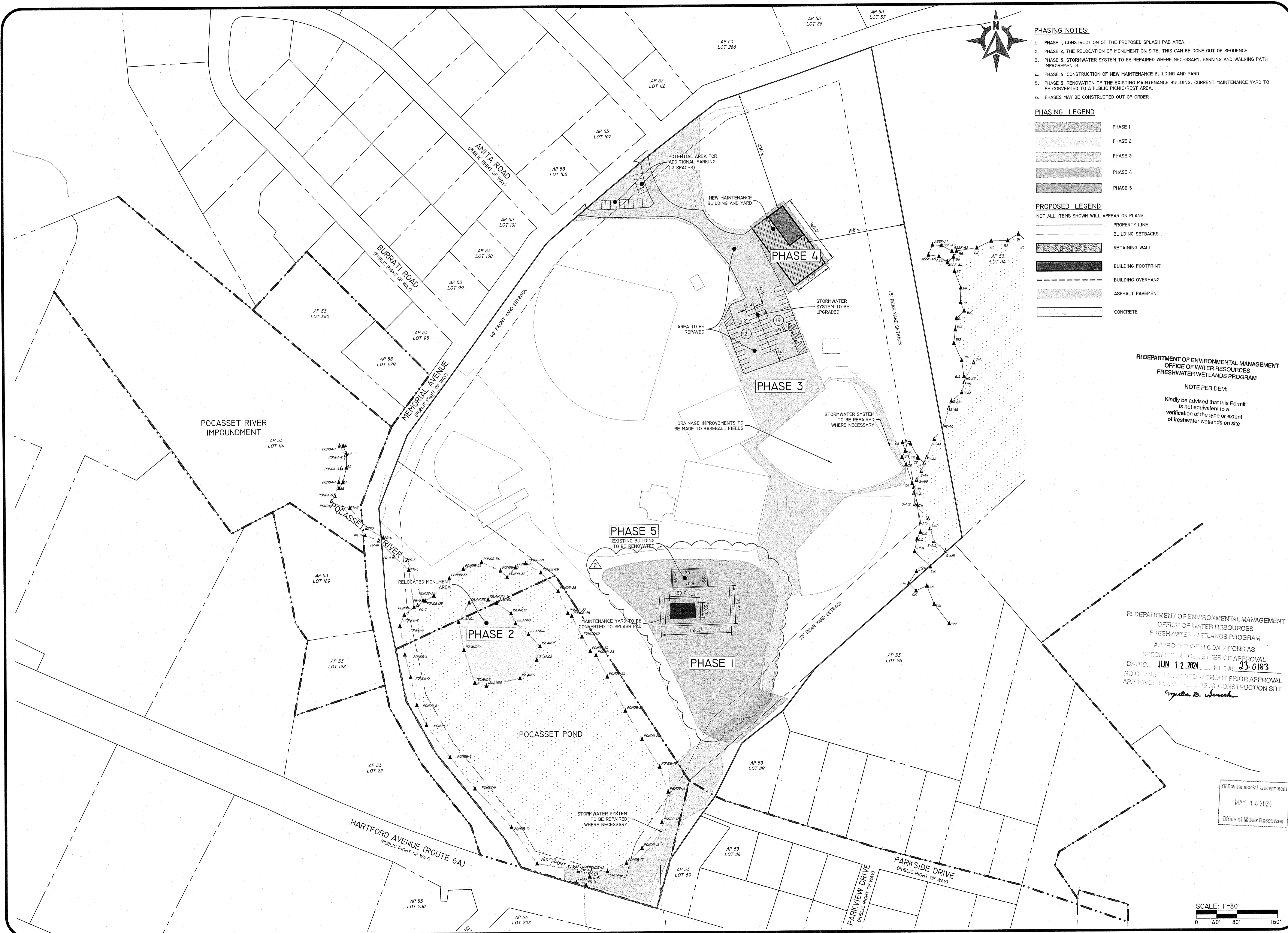
**EXISTING CONDITIONS PLAN**  
JOHNSTON MEMORIAL PARK  
ASSESSORS PLAT 53 & LOTS 24, 25, 71 & 72  
JOHNSTON, RHODE ISLAND

PREPARED FOR:  
**TOWN OF JOHNSTON**  
1365 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919

DE JOB NO: 1945-006 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET 5 OF 11

Z:\DEVELOPMENT\PROJECTS\198-008 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\198-008-105 SITE PLAN.dwg PLOTTER: 5/14/2024



**PHASING NOTES:**

1. PHASE 1, CONSTRUCTION OF THE PROPOSED SPLASH PAD AREA.
2. PHASE 2, THE RELOCATION OF MONUMENT ON SITE. THIS CAN BE DONE OUT OF SEQUENCE
3. PHASE 3, STORMWATER SYSTEM TO BE REPAIRED WHERE NECESSARY, PARKING AND WALKING PATH IMPROVEMENTS.
4. PHASE 4, CONSTRUCTION OF NEW MAINTENANCE BUILDING AND YARD.
5. PHASE 5, RENOVATION OF THE EXISTING MAINTENANCE BUILDING. CURRENT MAINTENANCE YARD TO BE CONVERTED TO A PUBLIC PICNIC/REST AREA.
6. PHASES MAY BE CONSTRUCTED OUT OF ORDER

**PHASING LEGEND**

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PHASE 5

**PROPOSED LEGEND**

- NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS
- PROPERTY LINE
  - BUILDING SETBACKS
  - RETAINING WALL
  - BUILDING FOOTPRINT
  - BUILDING OVERHANG
  - ASPHALT PAVEMENT
  - CONCRETE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

**NOTE PER DEM:**

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JUN 12 2024 FILE # 23-0183

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Signature*

RI Department of Environmental Management  
MAY 14 2024  
Office of Water Resources

SCALE: 1"=80'  
0 40 80 160'

**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-644-6006 www.diprete-eng.com

Boston • Providence • Newport

**BRIAN P. THALMANN**  
No. 14100  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND WORKMANSHIP IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 5.

NO.	DATE	DESCRIPTION	BY:
1	05-14-2024	REVISED SPLASH PAD LOCATION	BY: [Signature]
2	06-07-2024	ADDED FIN. # REVISED SHEETS 9 & 10	BY: [Signature]
3	06-07-2024	ADDED FIN. # REVISED SHEETS 9 & 10	BY: [Signature]

DESIGN BY: L.P.P. DESIGN BY: L.B.III

**SITE PHASING PLAN**  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND

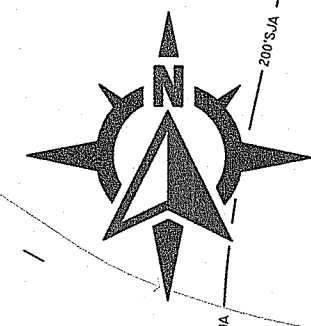
PREPARED FOR:  
TOWN OF JOHNSTON  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL: 401-531-6616

RI Environmental Management  
MAY 14 2024  
Office of Water Resources

SHEET 6 OF 11



Z:\DIPRETE\PROJECTS\1982-008 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\1982-008-PLAN.DWG PLOTTED: 5/14/2024



**DEVELOPMENT DATA:**

TOTAL SITE AREA: 27.5+ ACRES  
TOTAL NUMBER OF BUILDINGS: 7 (EX)

**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	R-40 REQUIRED	PROVIDED
MINIMUM LOT AREA:	N/A	N/A
MINIMUM FRONTAGE AND LOT WIDTH:	140	277'± ON HARTFORD 236± ON MEMORIAL
MINIMUM FRONT YARD:	40	N/A
MINIMUM SIDE YARD:	35'	198±
MINIMUM REAR YARD:	75'	35'
MAXIMUM STRUCTURE HEIGHT:	35'	UNKNOWN
MAXIMUM LOT COVERAGE:	15%	50%

**PARKING REGULATIONS:**

PARKING USE:	OTHER
PARKING REQUIREMENT:	4 SPACES PER 1,000 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	13,800 SF
REQUIRED PARKING CALCULATIONS:	13,800 X 4/1000 = 52 SPACES
TOTAL PARKING SPACES PROVIDED:	120+ SPACE

**GENERAL NOTES:**

1. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
2. EXISTING RIGHTS OF WAY, PATHS, AND PARKING AREAS ARE OF VARIABLE WIDTH.

**PROPOSED LEGEND**

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE
	BUILDING SETBACKS
	RETAINING WALL
	BUILDING FOOTPRINT
	BUILDING OVERHANG
	ASPHALT PAVEMENT
	CONCRETE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

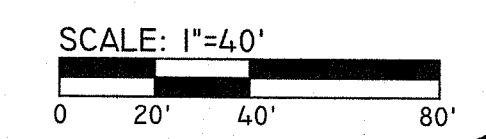
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

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DATED: **JUN 12 2024** FILE # **23-0183**

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Stephen D. Wenzel*



**Diprete Engineering**

Two Stafford Court Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-641-0006 www.diprete-eng.com

**BRIAN P THALMANN**



THIS PLAN WAS PREPARED BY THE ENGINEER OR ARCHITECT OR PROFESSIONAL ENGINEER OR ARCHITECT UNLESS SHOWN OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES.

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NO.	DATE	DESCRIPTION	BY:
1	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
2	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
3	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
4	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
5	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
6	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
7	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
8	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
9	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]
10	05-15-2024	PHASE 1 AND PHASE 2 PLAN	BY: [Signature]

**SITE LAYOUT PLAN**  
**JOHNSTON MEMORIAL PARK**  
ASSESSOR'S PLAT E3, LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND

PREPARED FOR: **JOHNSTON TOWN OF JOHNSTON**  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-6618

Z:\NEW\PROJECTS\1982-008 MEMORIAL AVENUE PARK\AUTOCAD DRAWINGS\1982-008-PLAN DWG PLUTTEE 5/11/2024



**GENERAL NOTES:**

1. TRENCHES MUST BE BACKFILLED AT THE END OF EACH WORK DAY.
2. ANTI-SEEPAGE COLLARS MUST BE PLACED AT THE MIDPOINT OF THE PROPOSED DRAINAGE LINE AND AT EACH THIRD POINT OF THE PROPOSED SEWAGE LINE.
3. ALL JOINTS AND CONNECTIONS TO MANHOLES MUST BE WATERTIGHT BOOTS AND CONNECTIONS. MORTAR JOINTS ARE NOT PERMITTED.
4. SPLASH PAD CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER REGARDING MODIFICATIONS OF THE FILL LOCATED BENEATH THE SPLASH PAD AND APRON AREA.

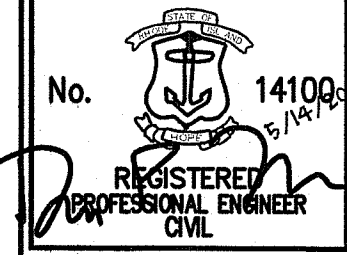


**DiPrete Engineering**

Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-664-6606 www.diprete-eng.com

Boston • Providence • Newport

**BRIAN P THALMANN**



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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

NO.	DATE	DESCRIPTION	BY:
1	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
2	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
3	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
4	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
5	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
6	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
7	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
8	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
9	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
10	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
11	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
12	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
13	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
14	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
15	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
16	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
17	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
18	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
19	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III
20	11-15-2023	PHASE 1 AND PHASE 2 PLAN	L.B.III

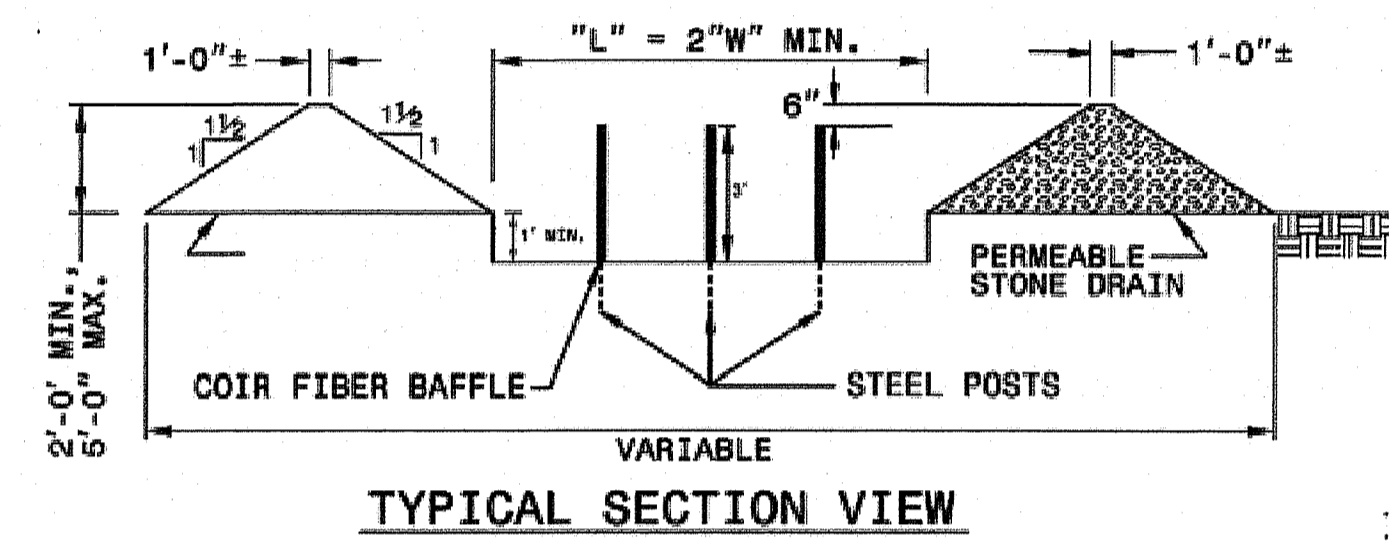
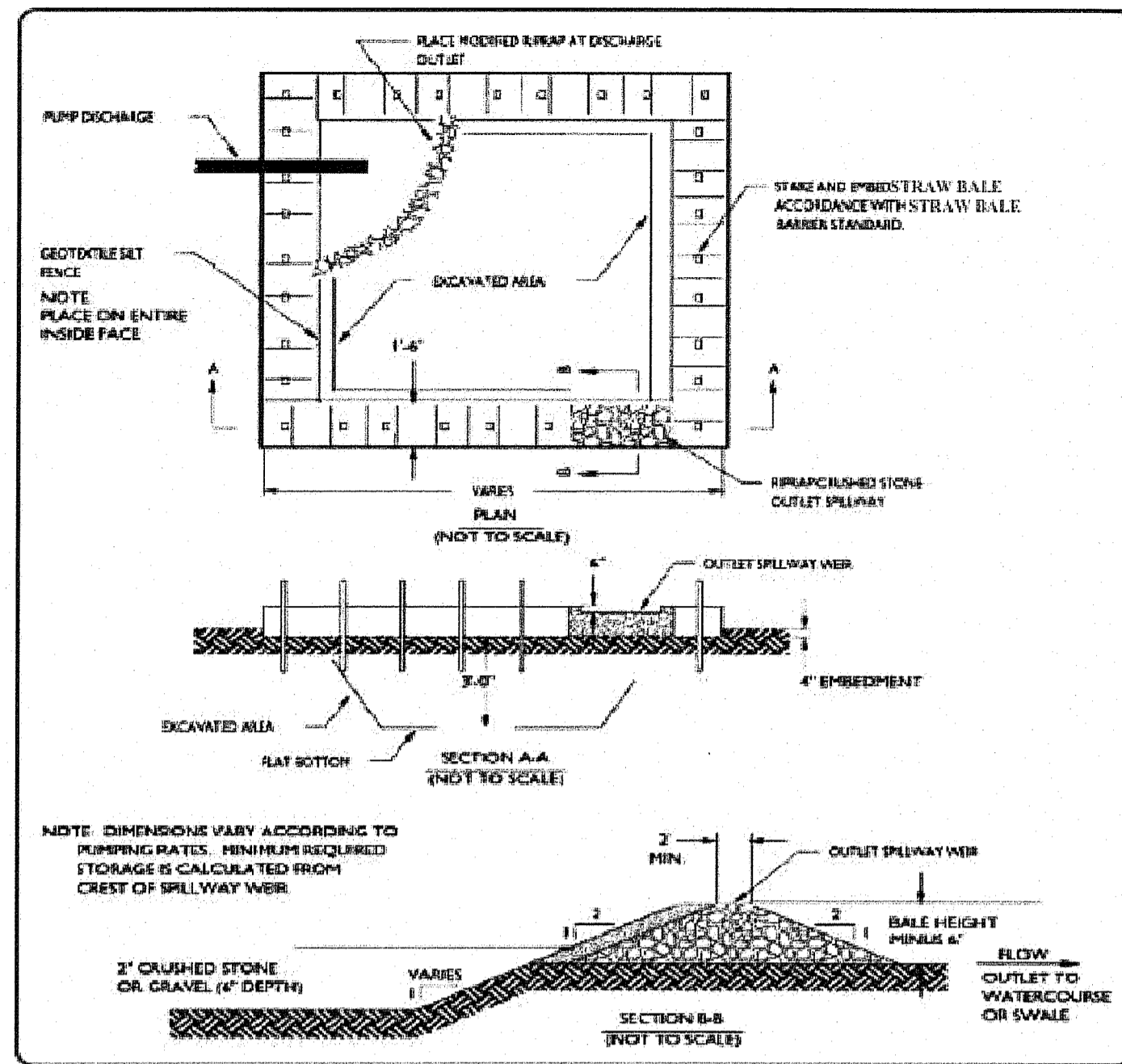
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THIS LETTER OF APPROVAL  
DATED: **JUN 12 2024** FILE #: **23-0183**  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED BY: *[Signature]*

SCALE: 1"=20'  
0 10' 20' 40'

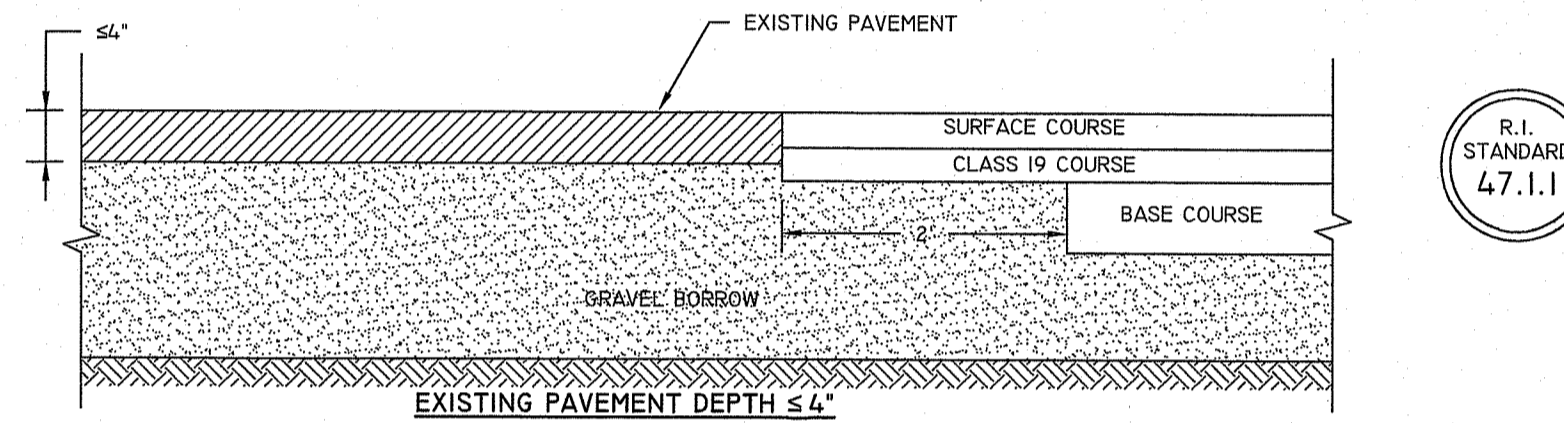
**GRADING AND UTILITIES PLAN**  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 53 LOTS 24, 25, 71, 72  
JOHNSTON, RHODE ISLAND

PREPARED FOR:  
**TOWN OF JOHNSTON**  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-5618

Figure 1. Pumping Settling Basin – Excavated with Straw Bale Barrier

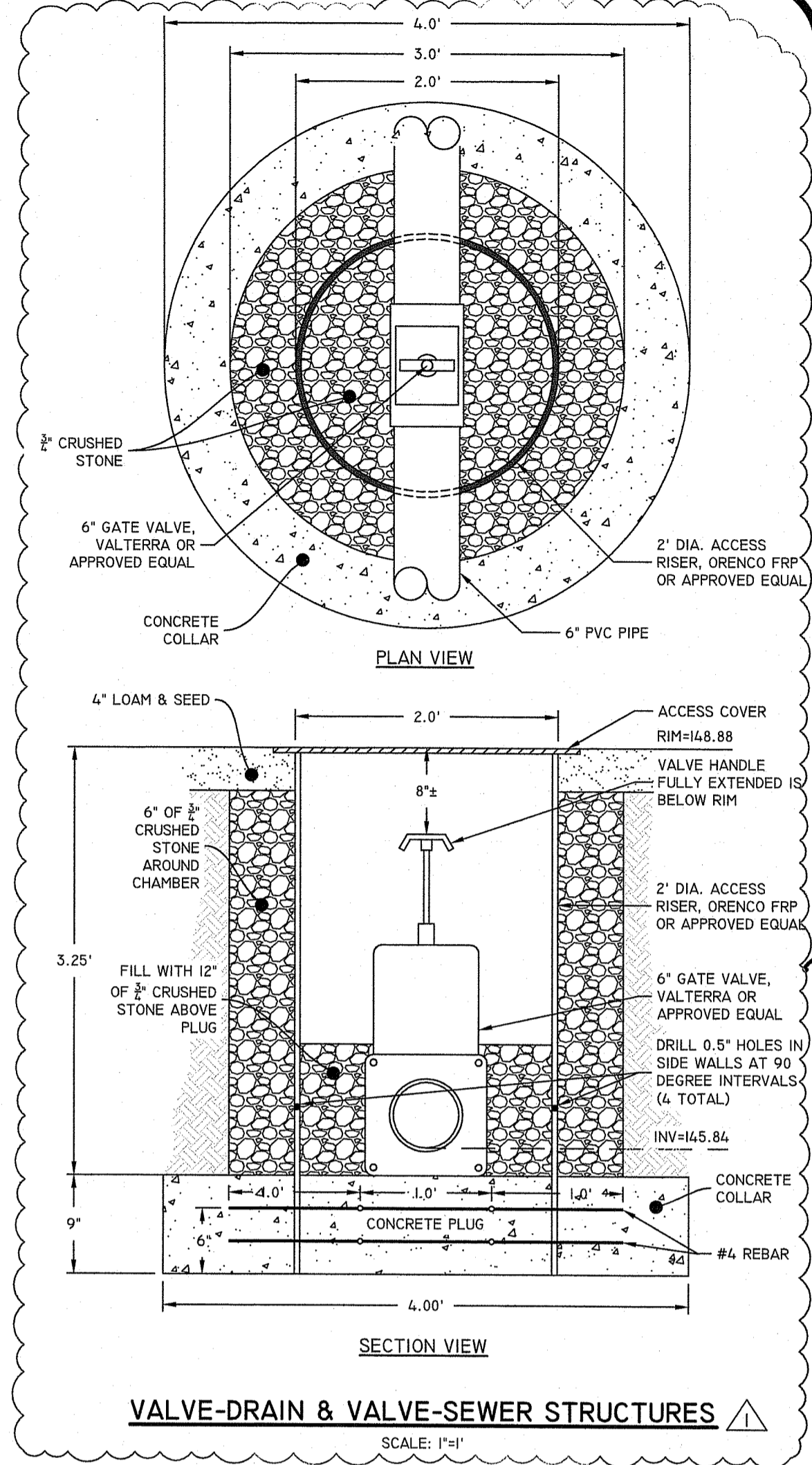


(Credit: NC DOT)



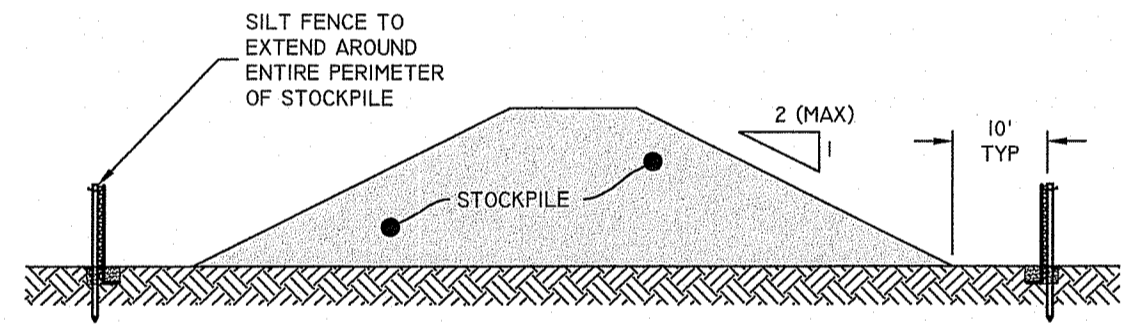
TRANSVERSE PAVEMENT CUT AND MATCH

NOT TO SCALE



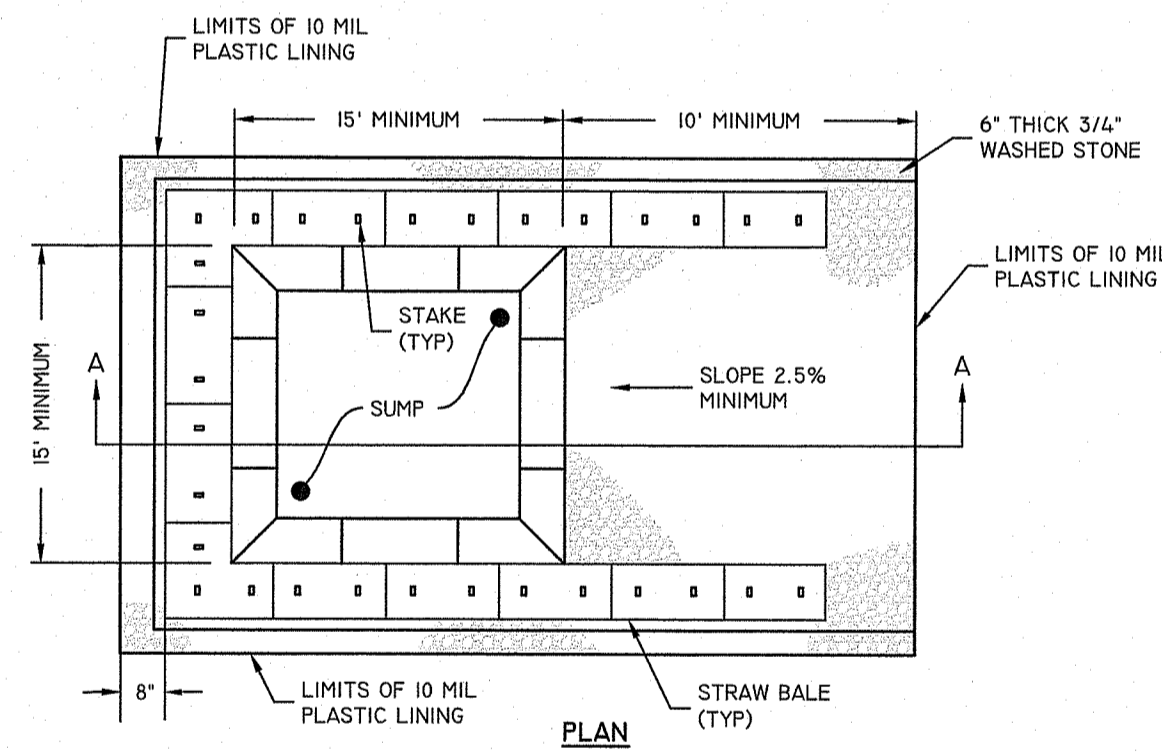
VALVE-DRAIN & VALVE-SEWER STRUCTURES

SCALE: 1"=1'



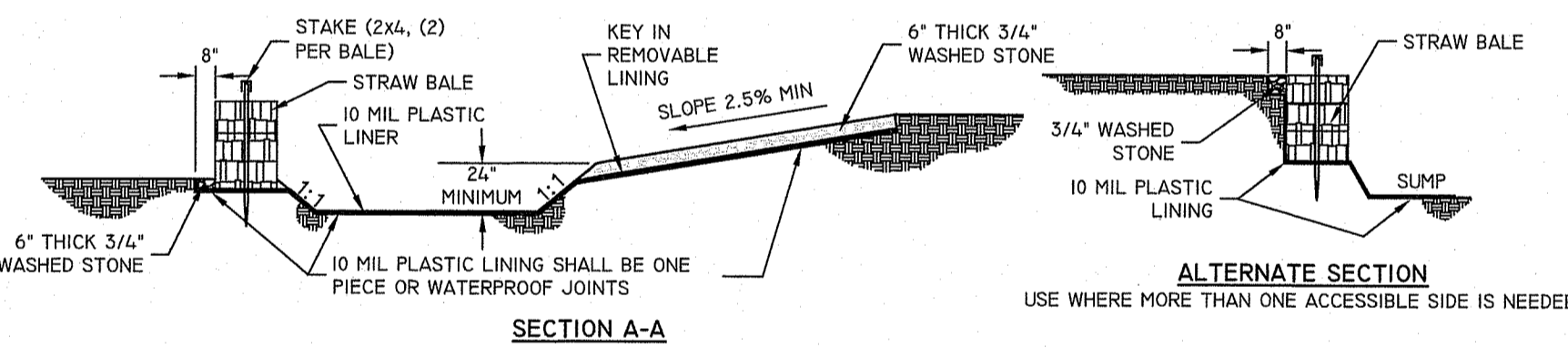
STOCKPILE PROTECTION

NOT TO SCALE



CONCRETE WASHOUT AREA

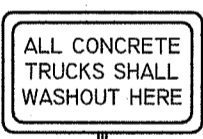
NOT TO SCALE



SECTION A-A

NOTES:

1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

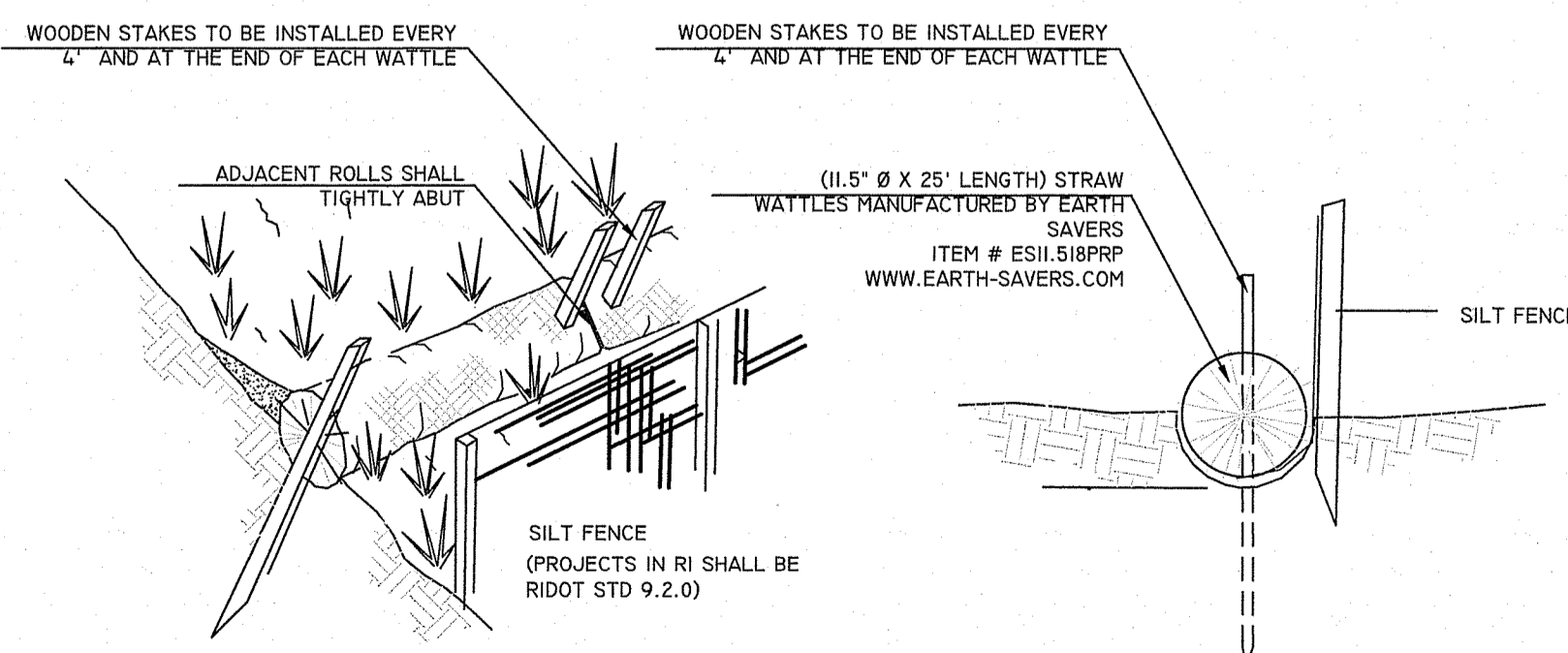


WASHOUT SIGN

- NOTES:
1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 'STOCKPILE AND STAGING AREA MANAGEMENT' OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
  2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
  3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
  4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
  5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

STOCKPILE PROTECTION

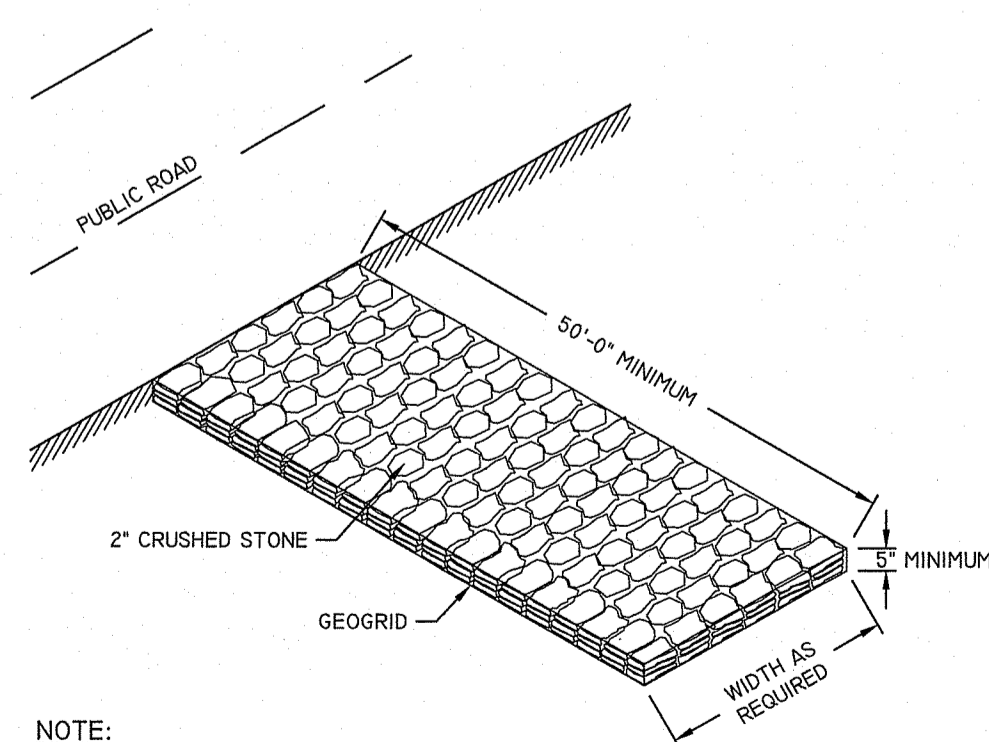
NOT TO SCALE



SILT FENCE/STRAW WATTLE SEDIMENT BARRIER

NOT TO SCALE

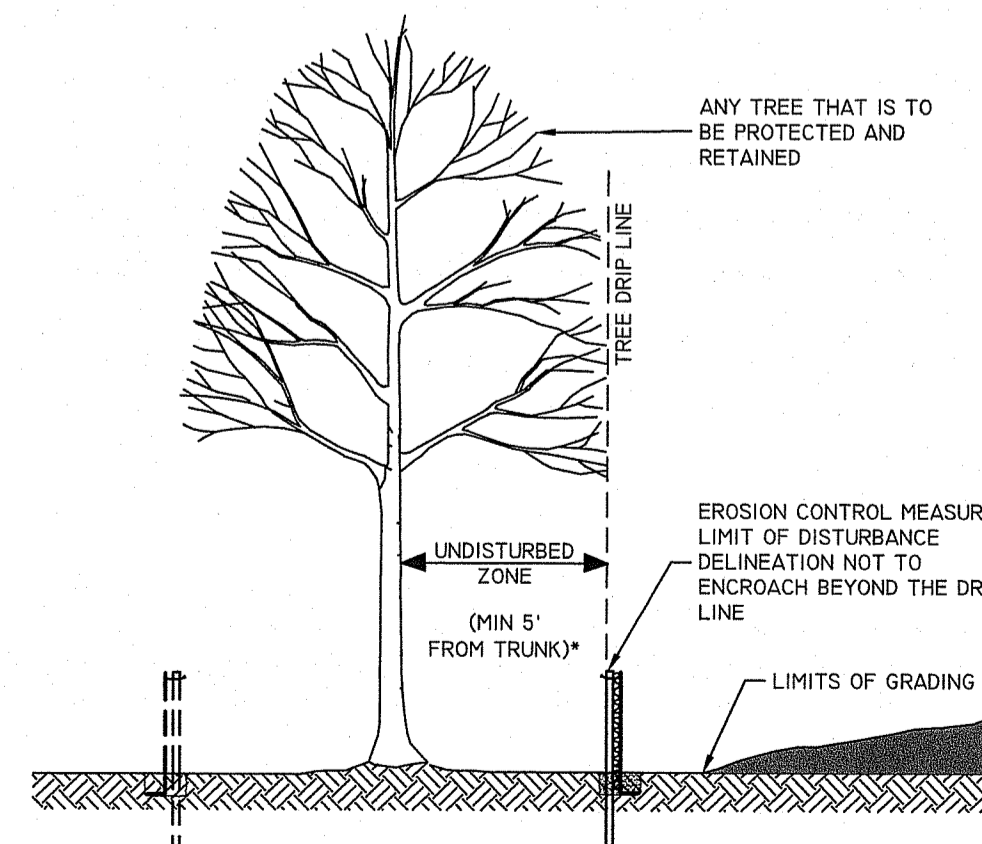
- NOTES:
1. EROSION CONTROL BARRIER TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
  2. FOR SOFT SOILS, DIG A 3 TO 5 INCH TRENCH; FOR HARD SOILS, DIG A 2 TO 3 INCH TRENCH.
  3. INSTALL WOOD STAKES FOR EVERY 4' (MAX) OF STRAW WATTLE, AS WELL AS ADDITIONAL WOOD STAKE ON EACH END OF EACH STRAW WATTLE.
  4. MINIMUM WOOD STAKE DIMENSIONS TO BE 1"x2"x24" (SOFT SOIL) AND 1"x2"x18" (HARD SOIL).



CONSTRUCTION ACCESS

NOT TO SCALE

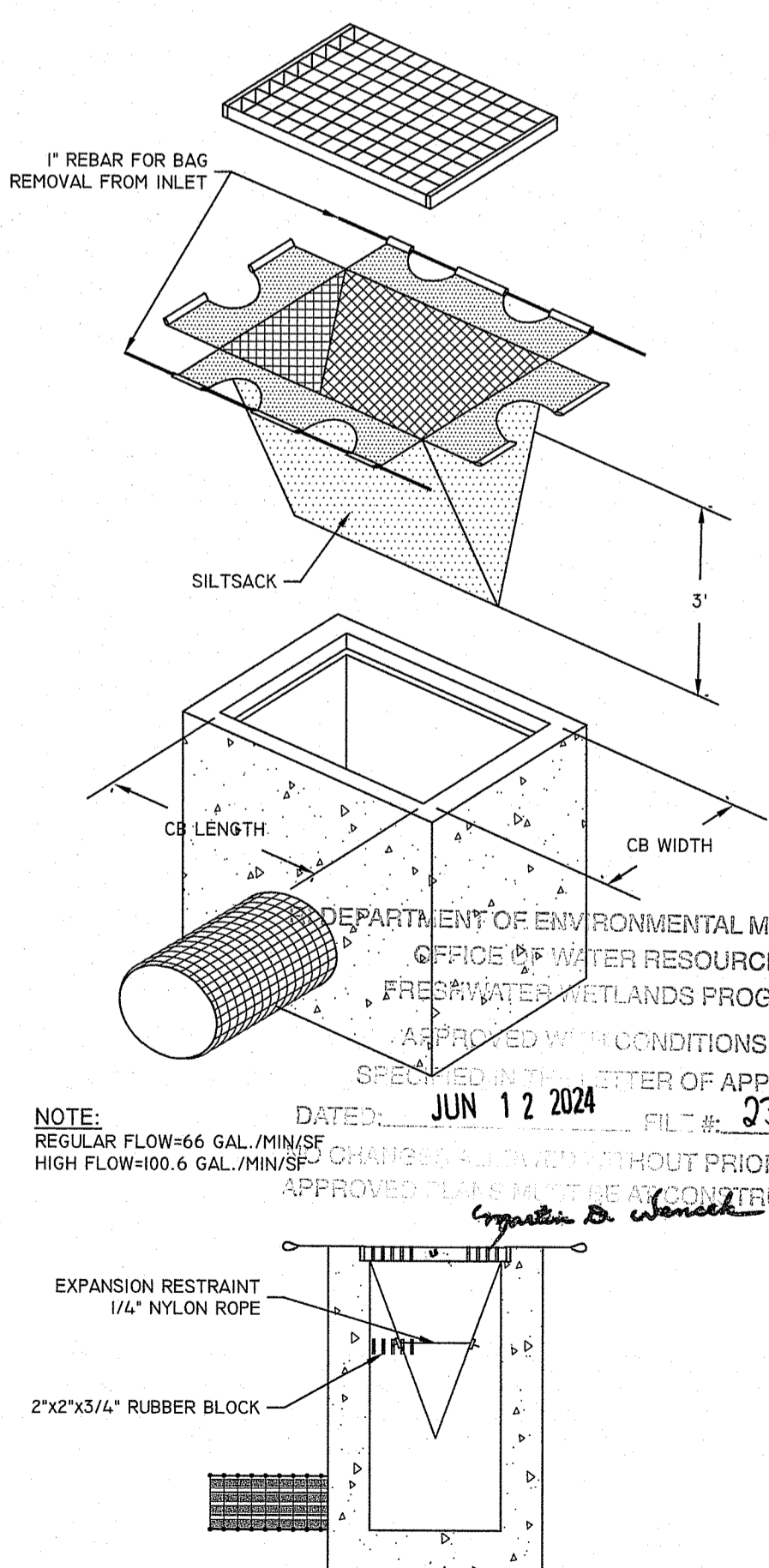
- NOTE:
- SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.



TREE PROTECTION DETAIL

NOT TO SCALE

- \*LIMIT OF DISTURBANCE IS AT THE DRIP LINE OF OUTERMOST BRANCH OR 5' FROM TRUNK, WHICHEVER IS GREATER.



SILT SACK DETAIL

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN LETTER OF APPROVAL DATED JUN 12 2024  
REGULAR FLOW=66 GAL./MIN/SPR. CHANGES TO ANY OF THE ABOVE WITHOUT PRIOR APPROVAL APPROVED BY: [Signature]  
PREPARED FOR: JOHNSTON MEMORIAL PARK ASSESSOR'S PLAT 63 LOTS 24, 25, 71, 72  
TOWN OF JOHNSTON, RHODE ISLAND  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
TEL 401-351-6616

DESIGN BY: L.B.I.II  
DRAWN BY: L.P.P.  
MAY 14 2024  
City of Johnston

Diprete Engineering  
Two Stafford Court Cranston, RI 02920  
Tel 401-943-1000 Fax 401-943-6006 www.diprete-eng.com

BRIAN P THALMANN  
No. 14100  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
THESE PLANS WERE PREPARED BY DIPRETE ENGINEERING, INC. UNDER THE SUPERVISION OF BRIAN P. THALMANN, REGISTERED PROFESSIONAL ENGINEER, CIVIL. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHOD, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.  
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES, SEE UTILITY MAPS ON SHEET 3.

DETAIL SHEET - I  
JOHNSTON MEMORIAL PARK  
ASSESSOR'S PLAT 63 LOTS 24, 25, 71, 72  
TOWN OF JOHNSTON, RHODE ISLAND  
1385 HARTFORD AVENUE, JOHNSTON, RHODE ISLAND 02919  
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