

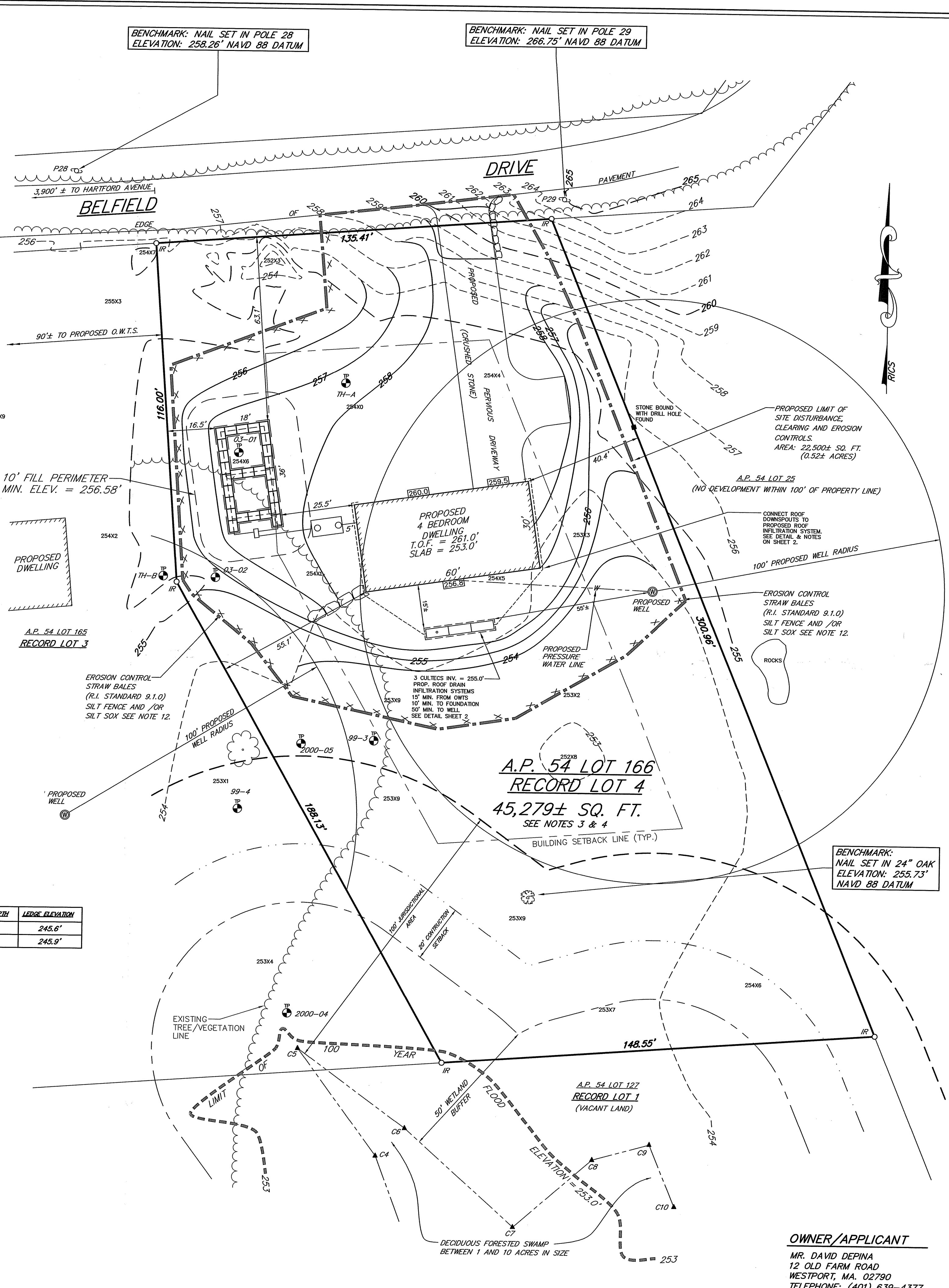
GENERAL NOTES

- SITE WILL BE SERVED BY A PRIVATE WELL.
- SITE IS LOCATED WITHIN ZONE AE (BASE FLOOD ELEVATION DETERMINED ELEVATION = 253.0 NAVD88) AND ZONE X (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN). REFER TO F.I.R.M. COMMUNITY-PANEL NUMBER 440070284H REVISED: OCT. 2, 2015.
- REFERENCE APPROVED WETLANDS NON-JURISDICTION APPLICATION NUMBER 17-0083 DATED AUGUST 31, 2017. THIS APPROVAL REPLACED APPLICATION NUMBER 04-0592. THIS APPLICATION IS MEANT TO REPLACE EXPIRED APPLICATION 17-0083.
- REFERENCE APPROVED O.W.T.S. APPLICATION #1816-0801 DATED JUNE 5, 2018. THIS APPLICATION IS MEANT TO REPLACE EXPIRED APPLICATION #1816-0801.
- REFERENCE APPROVED SUBDIVISION SUITABILITY APPLICATION 516-89 DATED AUGUST 9, 2005. AS A RESULT OF THE NEW WETLANDS APPLICATION REFERENCED IN NOTE 3 ABOVE THE SUBDIVISION WAS RECONFIGURED AND THE NUMBER OF LOTS WAS REDUCED FROM 5 TO A TOTAL OF 4 WITH ONLY THREE BEING DEVELOPED AT THIS TIME. AS A RESULT, LOTS 3, 4 AND 5 BECAME LOTS 2, 3 AND 4 IN SUBSEQUENT SUBDIVISIONS.
- TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED IN AUGUST 2023 USING CONVENTIONAL (TOTAL STATION) SURVEY METHODS. THE HORIZONTAL DATUM IS BASED UPON NAD 83 COORDINATES AND WAS OBTAINED USING GLOBAL POSITIONING SYSTEM DATA. THE BENCH MARK USED FOR THIS SURVEY IS BASED UPON THE NAVD 88 DATUM AND WAS OBTAINED USING GLOBAL POSITIONING SYSTEM DATA.
- THE WETLANDS EDGES (SWAMP LESS THAN AN ACRE IN SIZE AND A DECIDUOUS FORESTED SWAMP BETWEEN 1 AND 10 ACRES IN SIZE) WERE DELINEATED IN THE FIELD BY NATURAL RESOURCE SERVICES, INC. IN JULY 2023. THE FLAGS WERE LOCATED IN THE FIELD USING CONVENTIONAL GROUND SURVEY METHODS. THE SITE LIES WITHIN RIVER REGION 2 AS DEPICTED IN THE WETLANDS REGULATIONS.
- THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF PROPOSED LOTS OTHER THAN THOSE SHOWN ON PLAN.
- THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 100' OF THE PROPOSED SEWAGE DISPOSAL SYSTEMS OTHER THAN THOSE SHOWN ON PLAN.
- THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED SEWAGE DISPOSAL SYSTEMS OTHER THAN THOSE SHOWN ON PLAN.
- EXCEPT WHERE INDICATED SITE IS ENTIRELY WOODED.
- SILT SOCK, STRAW BALE OR SILT FENCE EROSION CHECKS SHALL BE INSTALLED AT ALL LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE D.E.M. WETLANDS PERMIT, O.W.T.S. PERMIT AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
- ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EACH STAGE OF CONSTRUCTION OF THE ON-SITE WASTEWATER TREATMENT SYSTEM MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
- THE SITE IS WITHIN A NATURAL HERITAGE AREA CENTERED ON SNAKE DEN STATE PARK. REFERENCE THE NATURAL HERITAGE SCREENING REPORT PROVIDED TO THIS DESIGNER BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE PROJECT NARRATIVE, BOTH ATTACHED TO THIS APPLICATION, FOR FURTHER DETAILS.

GROUND WATER & LEDGE DEPTH TABLE

TEST PIT	GROUNDWATER DEPTH	EXISTING GROUND	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
03-01	2.0'	254.6'	252.6'	9.0'	245.6'
03-02	2.3'	254.8'	252.5'	9.0'	245.9'

- LEGEND**
- A.P. ASSESSOR'S PLAT
 - UTILITY POLE
 - EXISTING CONTOUR ELEVATION
 - PROPOSED CONTOUR ELEVATION
 - WATER LINE
 - EXIST. TREE LINE
 - 100 YEAR FLOOD HAZARD ZONE
 - FLAGGED WETLAND EDGE
 - 50' PERIMETER WETLAND
 - PROP. LIMIT OF DISTURBANCE
 - PROP. EROSION CONTROL
 - PROP. BOULDER RET. WALL
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - SOIL EVALUATION TEST PIPE
 - STONE BOUND FOUND
 - IRON ROD WITH SURVEY CAP SET

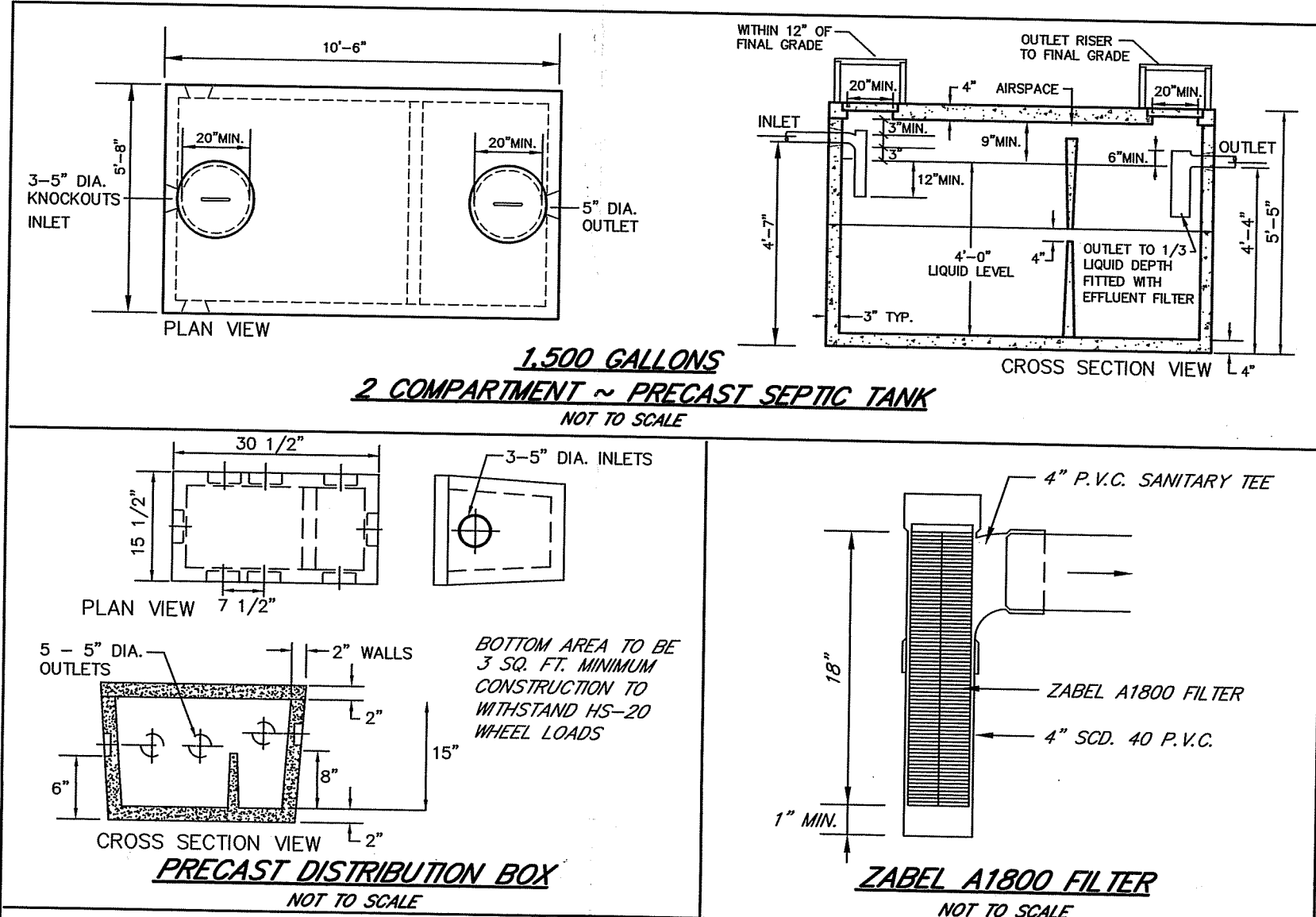


DESIGN CRITERIA

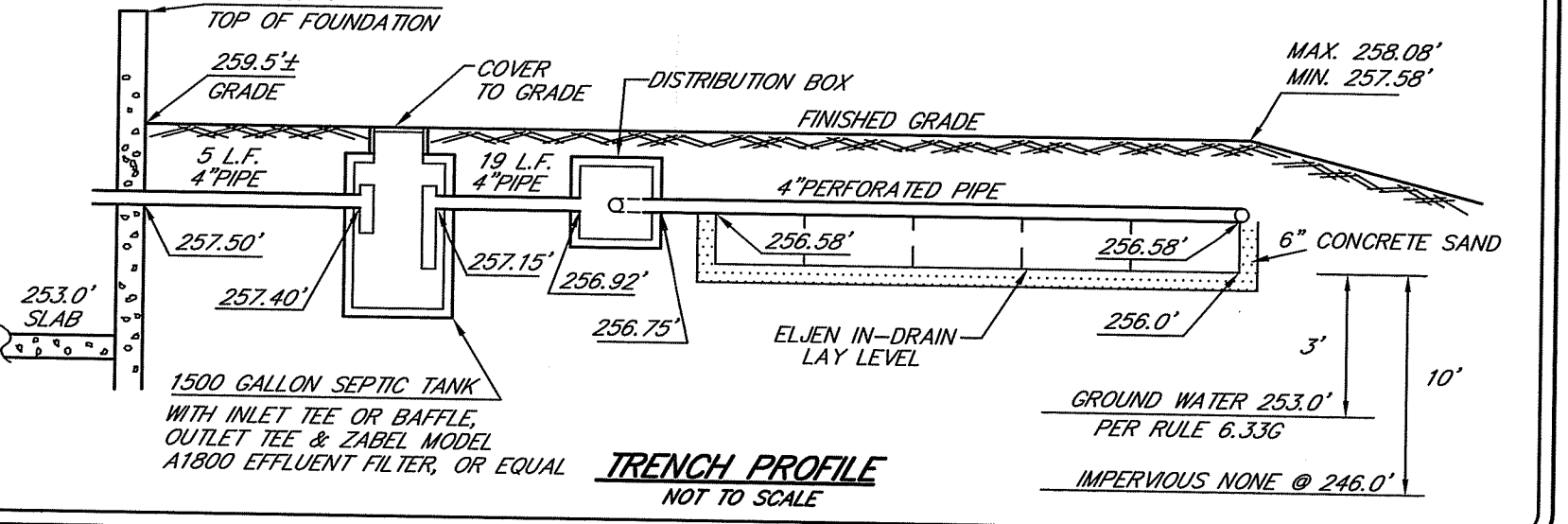
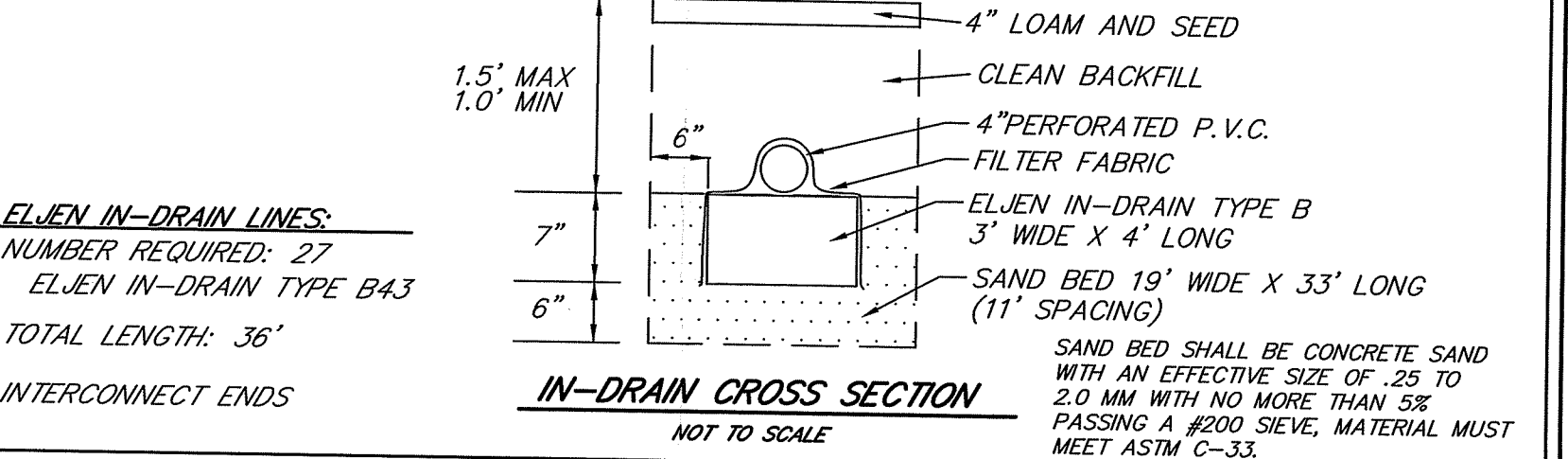
SEWAGE FLOW - 4 BEDROOMS - 115 GALLONS PER BEDROOM UNIT
 PERCOLATION RATE - SOIL CATEGORY 1m - .61 GALLONS/SQ. FT./DAY
 TOTAL DAILY FLOW - 115 GALLONS/DAY/BEDROOM - 115 X 4 = 460 GALLONS PER DAY
 MINIMUM REQUIRED LEACH FIELD AREA:
 460 GALLONS PER DAY (MAX.) ÷ .61 GALS./SQ. FT./DAY = 754.1 SQ. FT.
 LEACH FIELD AREA PROVIDED: 27 ELIEN UNITS X 4 X 7 = 756 SQ. FT.
 LEACH FIELD DESIGN POINT: ELEVATION 255.0±

PLAN REFERENCE

FINAL SUBMISSION . . . FOR MINOR SUBDIVISION "BELFIELD ACRES"
 ASSESSOR'S PLAT 54 LOT 127 BELFIELD DRIVE JOHNSTON, RHODE ISLAND
 SCALE: 1"=80' DATE: SEPTEMBER 28, 2022 PROJECT NO.: SS1836
 DRAWING NO.: SS4990 SHEETS 1 & 2 OF 2
 RECORDED IN THE TOWN OF JOHNSTON LAND EVIDENCE RECORDS IN BOOK 3 AT PAGES 397 & 398.



- DESIGN AND CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
 - THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
 - THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
 - THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
 - ALL TREES, STUMPS, AND BRUSH WITHIN A 10' PERIMETER AROUND THE SYSTEM MUST BE CLEARED.
 - THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
 - ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH CLEAN, COARSE GRAVEL. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
 - MAINTAIN TRENCH INVERT ELEVATION FOR 10' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
 - INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT.
 - SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 6.23 (B).
 - ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN. ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
 - ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
 - WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. DUE, HOWEVER, TO THE POSSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
 - ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



OWNER/APPLICANT
 MR. DAVID DEPINA
 12 OLD FARM ROAD
 WESTPORT, MA. 02790
 TELEPHONE: (401) 639-4377

SCITUATE SURVEYS, INC.
 410 TIROGUE AVENUE
 COVENTRY, CT 06231-8101
 LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 20 40 60

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

DATE OF BOUNDARY SURVEY: 08/28/23
 NOT A BOUNDARY SURVEY

DATE OF SURVEY/OTHER DATA ACQUISITION SURVEY: 08/28/23
 MEASUREMENTS: 1/4"

MEASUREMENTS: 1/4"

CLASS: II

VERTICAL CONTROL STATION: 1762

REPORTING SURVEY ACCURACY: 1:4

STATEMENT OF FIDELITY: I, the undersigned, being a duly qualified and licensed Professional Land Surveyor in the State of Rhode Island, do hereby certify that I am the author of this plan and that it is a true and correct copy of the original survey and that I am not an associate or partner of the person named as the author of this plan.

ANGELO M. RAIMONDI
 No. 1762
 PROFESSIONAL LAND SURVEYOR

PLAN OF PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM

RECORD LOT 4 - BELFIELD ACRES

ASSESSOR'S PLAT 54 LOT 166

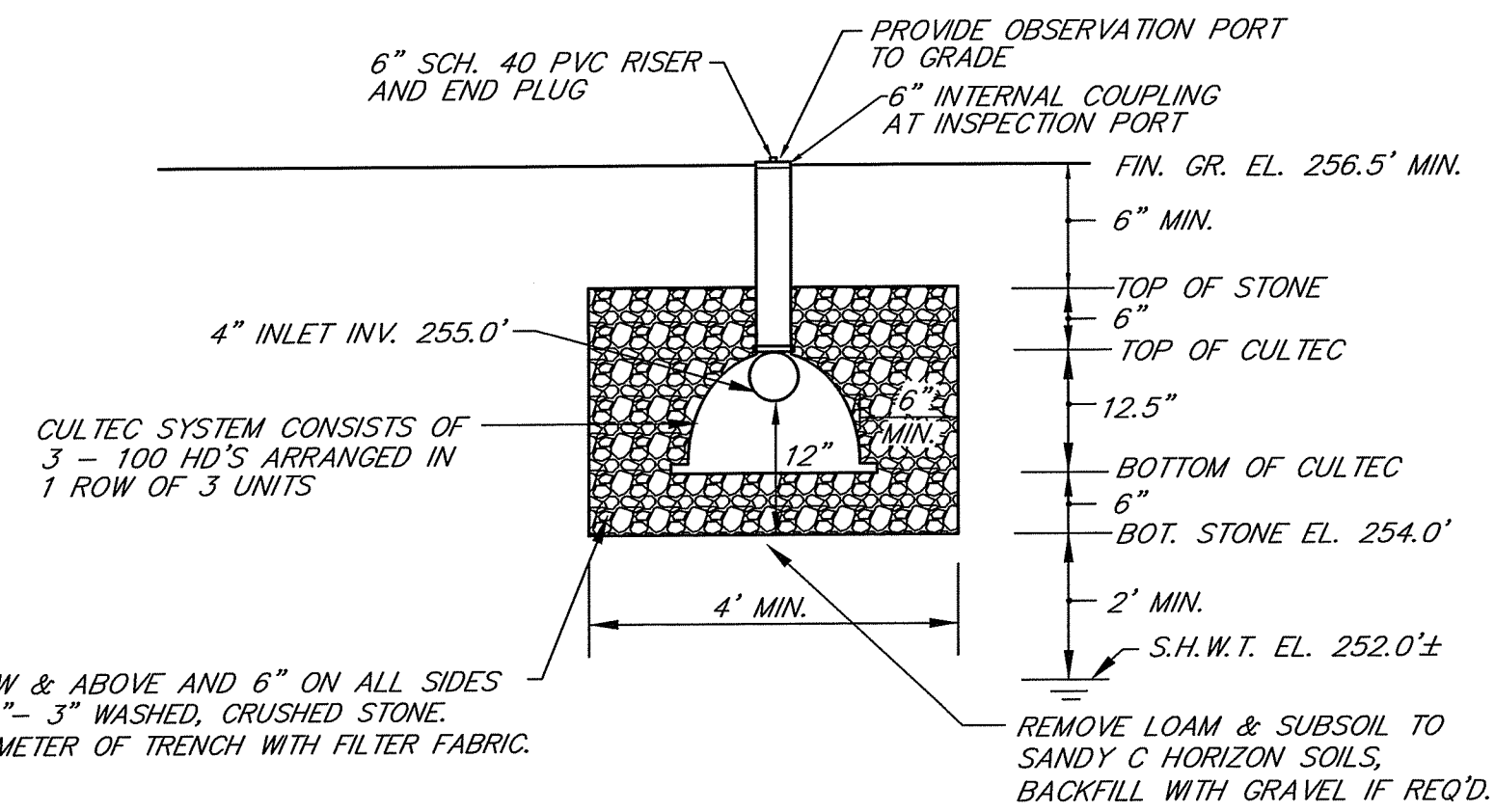
BELFIELD DRIVE
 JOHNSTON, RHODE ISLAND

PREPARED FOR: DAVID DEPINA

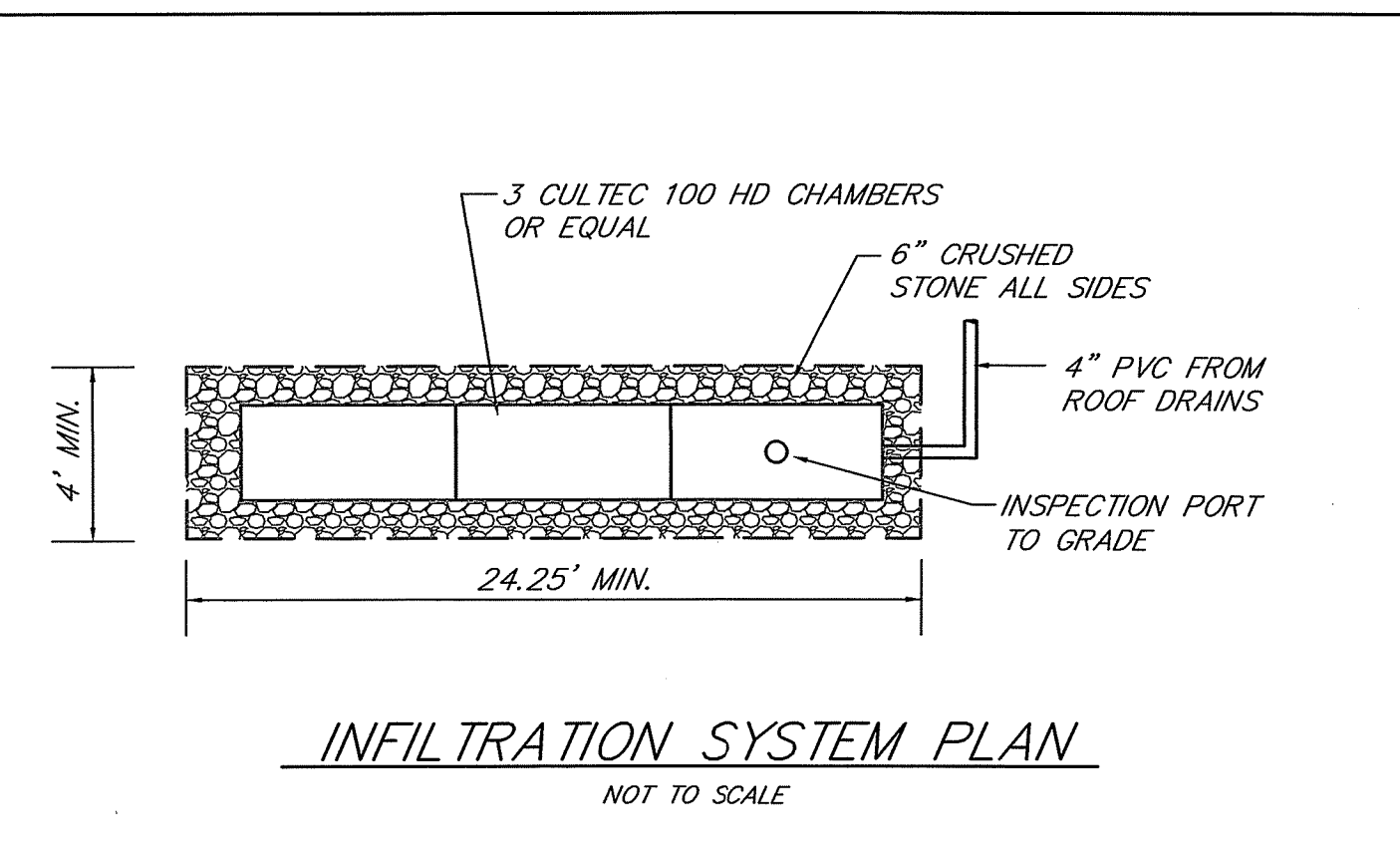
Office of Water Resources
 OCT 27 2023

PROJECT NO.: SS1936.01 SHEET 1 OF 2
 DRAWING NO.: SS5084

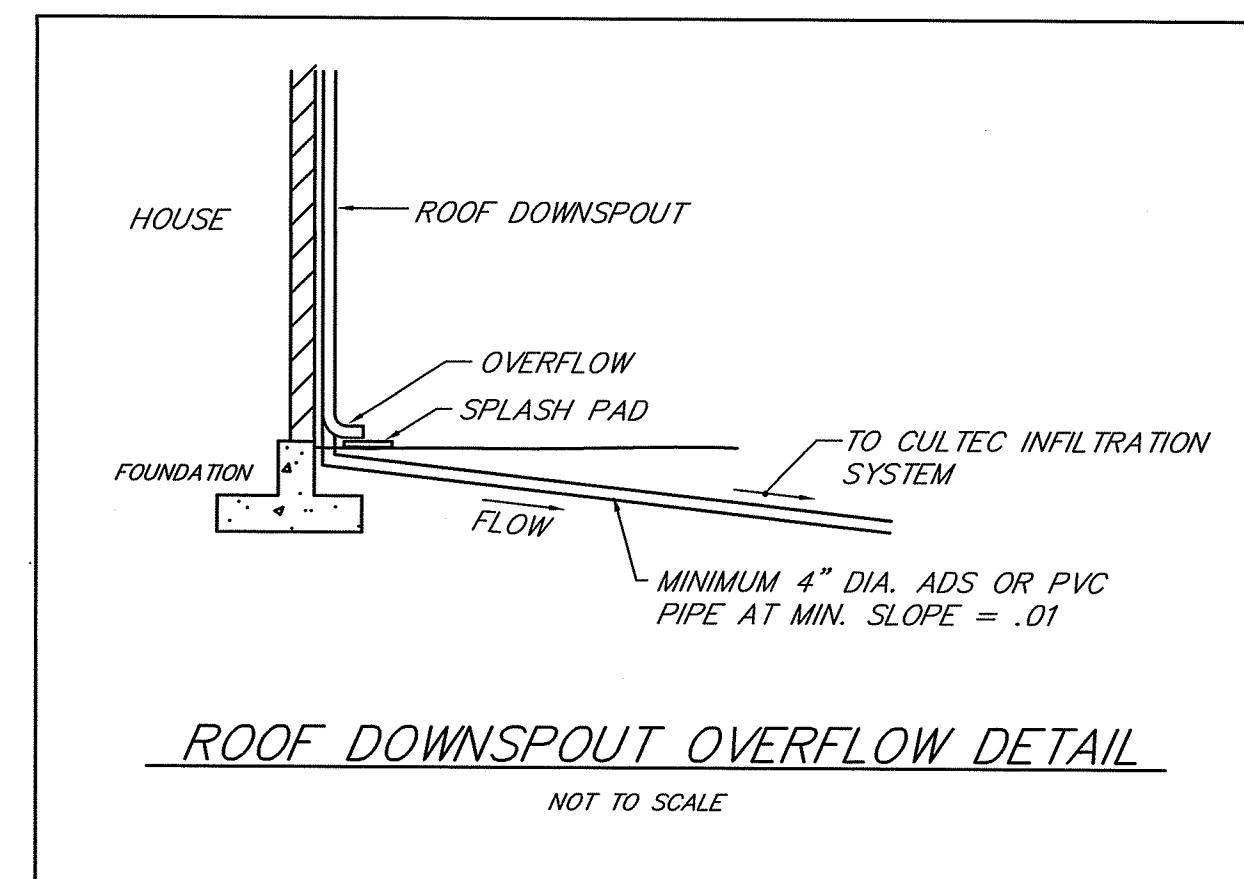
SCALE: 1"=20' DATE: AUGUST 29, 2023 REVISION:



INFILTRATION SYSTEM SECTION
NOT TO SCALE



INFILTRATION SYSTEM PLAN
NOT TO SCALE



ROOF DOWNSPOUT OVERFLOW DETAIL
NOT TO SCALE

ROOF INFILTRATION NOTES

1. ROOF INFILTRATION SYSTEM AREA SHALL BE PROTECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO PREVENT COMPACTION OF BOTTOM AREA.
2. INFILTRATION SYSTEM LOCATIONS AND ELEVATIONS MUST BE SET AND VERIFIED BY THE PROJECT SURVEYOR PRIOR TO INSTALLATION.
3. INFILTRATION SYSTEM INSTALLATION MUST BE INSPECTED BY THE PROJECT ENGINEER.
4. INFILTRATION SYSTEM CHAMBERS SHALL BE CULTEC RECHARGER 100 HD UNITS OR EQUAL WITH 6" OF STONE BELOW AND ABOVE, AND 6" ON ALL SIDES.
5. STONE AROUND CHAMBERS SHALL BE 1 1/2" TO 3" WASHED, CRUSHED STONE.
6. FILTER FABRIC LINER SHALL BE MIRAF 180-N 4 OR AMOCO 4552 OR EQUAL.
7. ROOF DRAINS SHALL BE 4" PVC OR ADS AT S=.01 (MIN.).
8. INFILTRATION SYSTEMS SHALL BE LOCATED A MINIMUM OF 10' FROM FOUNDATIONS AND PROPERTY LINES.
9. INFILTRATION SYSTEMS SHALL BE LOCATED A MINIMUM OF 15' FROM ALL OWTS COMPONENTS.

MAINTENANCE NOTES

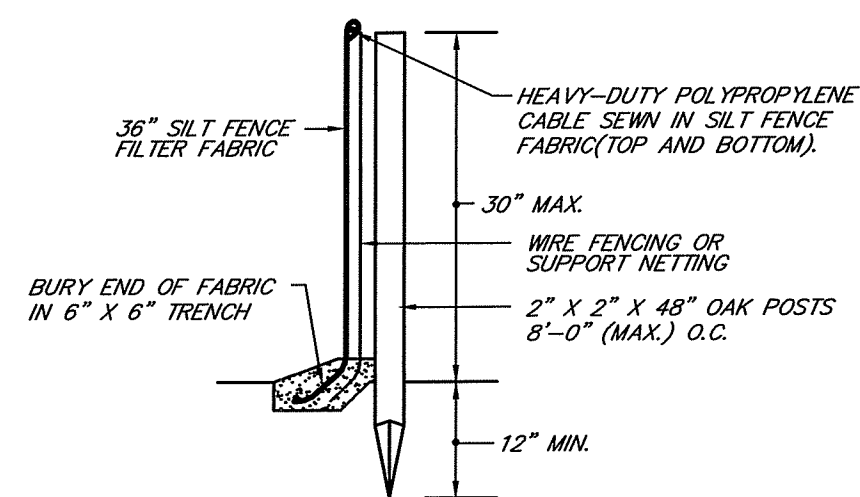
1. THE INFILTRATION CHAMBERS SHALL BE PERIODICALLY INSPECTED AND MAINTAINED DURING CONSTRUCTION AND A MINIMUM OF TWICE PER YEAR UPON COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL DRAINAGE FACILITIES, AS PER THEIR RESPECTIVE PROGRAMS, UNTIL FINAL ACCEPTANCE BY THE OWNER.
3. UPON FINAL ACCEPTANCE OF INSTALLATION, THE LOT OWNER SHALL BE RESPONSIBLE FOR ALL DRAINAGE INSPECTION AND MAINTENANCE.
4. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM-UIC PROGRAM.
5. ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF CONTAMINANTS TO THE DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE RIDEM WILL REQUIRE THE PROPERTY OWNER TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT THE QUALITY OF THE GROUNDWATER.

ROOF INFILTRATION SYSTEM SIZING

ROOF INFILTRATION SYSTEM BASED ON A ROOF AREA OF 2,000 S.F.
 REQ'D. WATER QUALITY TREATMENT VOL. = 2,000' X 1" / 12" = 166.7 C.F.
 STORAGE VOL. OF CULTECS = 1.87 S.F. X 23.25' = 43.5 C.F.
 STORAGE VOL. OF STONE = (4' X 24.25' X 2' - 43.5 C.F.) X .33 = 49.7 C.F.
 INFILTRATION VOL. = 24.25' X 4' X 8.27" / 12" X 3 = 200.5 C.F.
 TOTAL TREATMENT VOL. = 49.7 + 200.5 = 250.2 C.F. > 166.7

WATER QUALITY TREATMENT NOTES

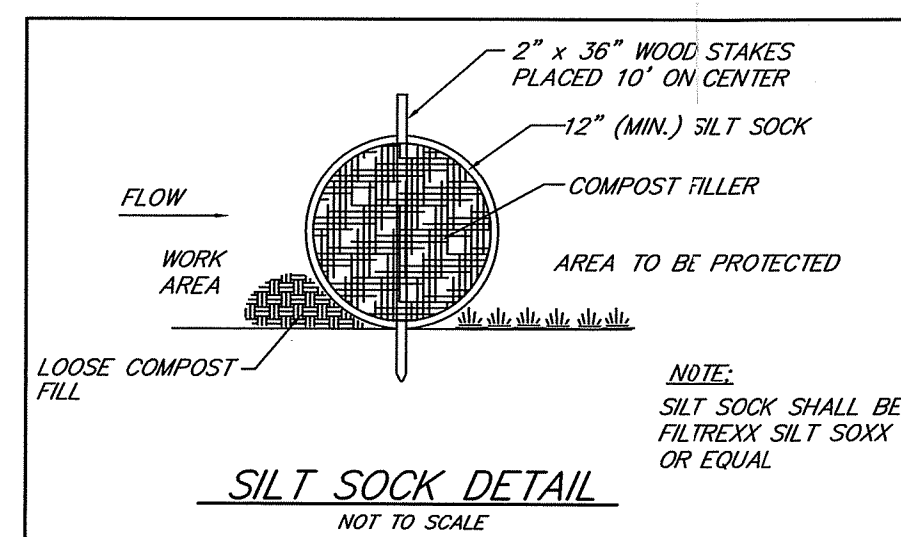
1. THE ROOF INFILTRATION SYSTEM IS DESIGNED TO PROVIDE WATER QUALITY TREATMENT BASED ON A ROOF AREA UP TO 2,000 S.F. A LARGER ROOF AREA WILL REQUIRE REDESIGN OF WATER QUALITY TREATMENT.
2. PROPOSED ROOF INFILTRATION SYSTEM SHOWN CONSISTS OF THREE CULTEC UNITS SERVING THE ROOF AREA (2,000 S.F.). SYSTEM SIZE SHALL BE PROPORTIONATELY RE-SIZED TO HANDLE DIFFERENT ROOF AREAS.



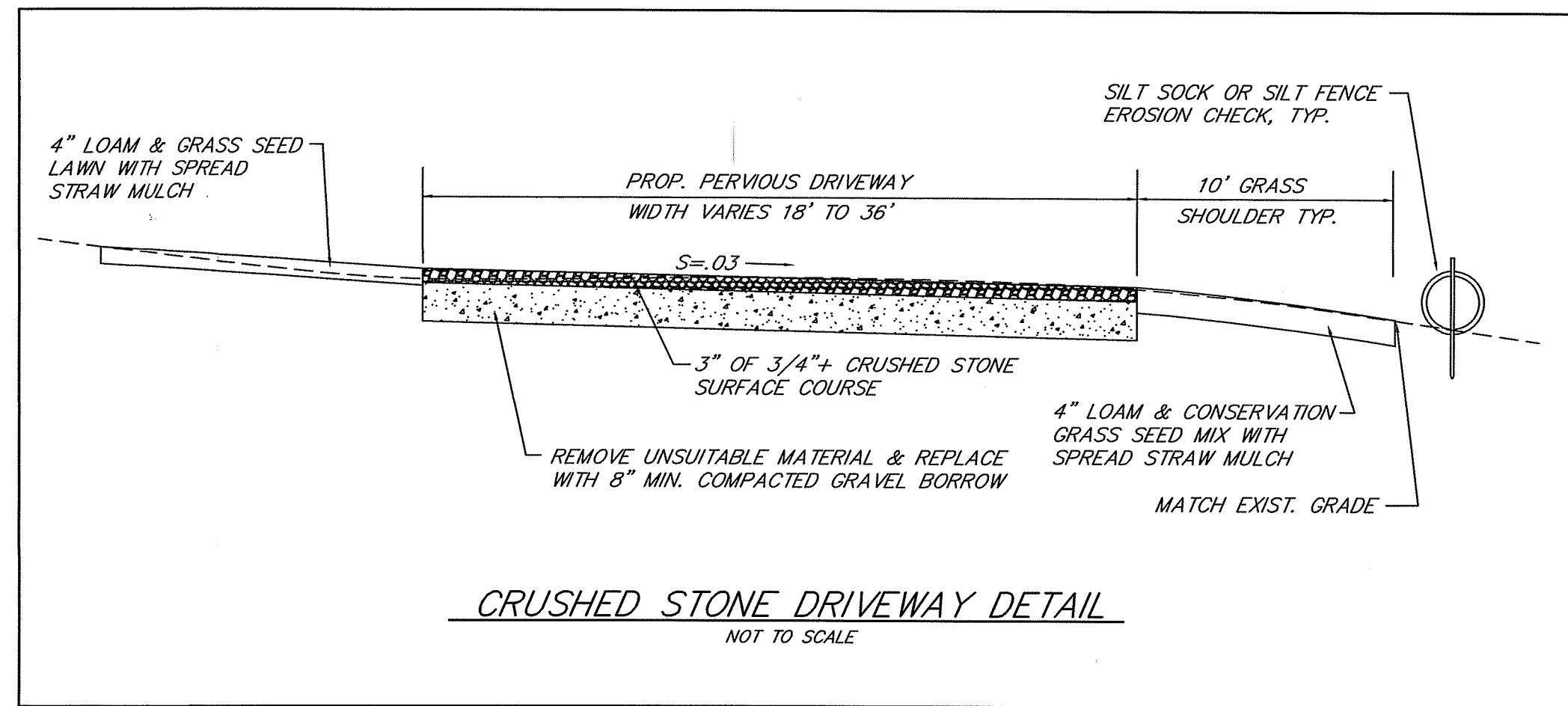
INSTALLATION NOTES:

1. SET POSTS MINIMUM DEPTH 12" AND EXCAVATE 6" X 6" TRENCH UPSLOPE ALONG LINE OF POSTS.
2. STAPLE WIRE FENCING TO THE POSTS.
3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND TO TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.
5. BARRIER HEIGHT NOT TO EXCEED 30". LOCATE 6 FEET FROM TOE OF SLOPE. OVERLAP FILTER FABRIC 6" AT POSTS. POST SPACING MAXIMUM 8 FEET.

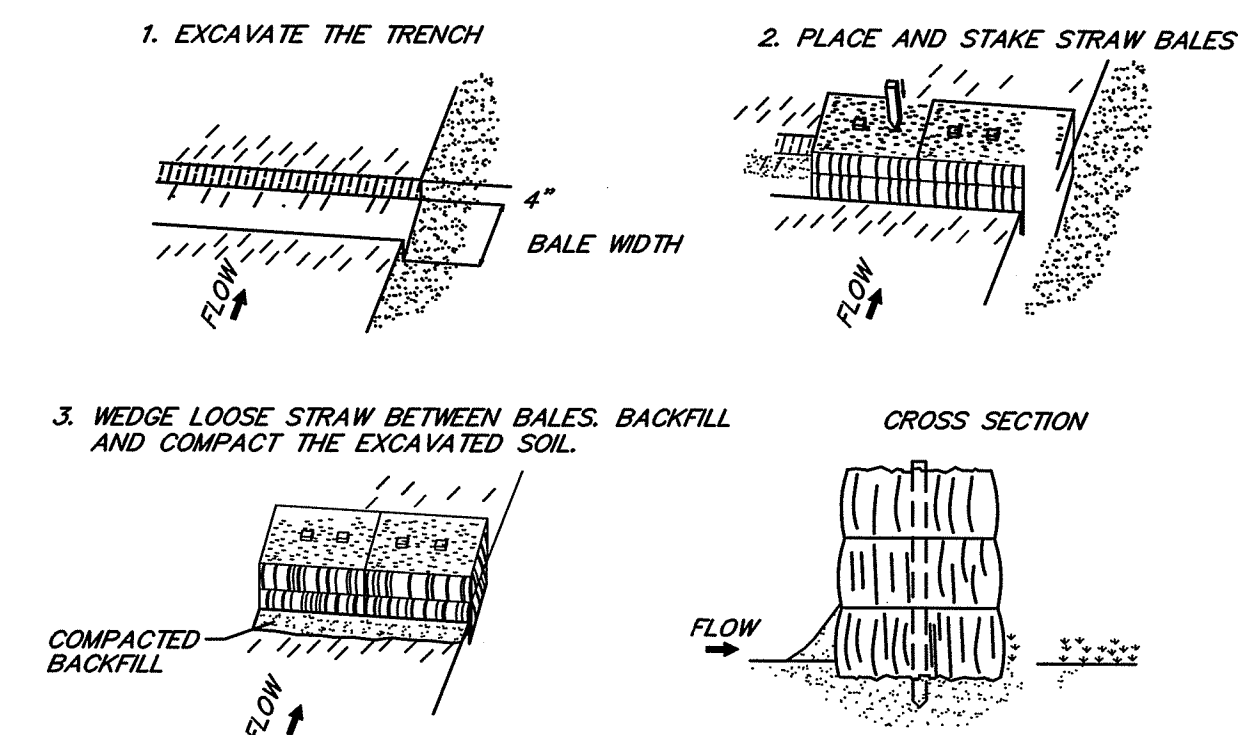
SILT FENCE DETAIL
NOT TO SCALE



SILT SOCK DETAIL
NOT TO SCALE



CRUSHED STONE DRIVEWAY DETAIL
NOT TO SCALE



STAKED BALED STRAW EROSION CHECK DETAIL
NOT TO SCALE

PLAN OF PROPOSED IMPROVEMENTS & ON-SITE WASTEWATER TREATMENT SYSTEM
RECORD LOT 4 - BELFIELD ACRES
ASSESSOR'S PLAT 54 LOT 166
 BELFIELD DRIVE
 JOHNSTON, RHODE ISLAND
 PREPARED FOR: DAVID DEFINA

SCITUATE SURVEYS, INC.
 410 TIOGUE AVENUE
 COVENTRY, RHODE ISLAND 02816
 401-821-8101
 LAND SURVEYING/MAPPING/SITE PLANNING

SCITUATE SURVEYS, INC. CON. HAS A.D. 1762
 IF THIS MAP DOES NOT BEAR AN ORIGINAL SIGNATURE AND "MET" STAMP, THEN IT IS NOT AN AUTHENTICATIVE VERSION.

ANGELO M. RAIMONDI
 No. 1762
 PROFESSIONAL
 LAND SURVEYOR

SCALE: AS NOTED DATE: AUGUST 29, 2023 REVISION: