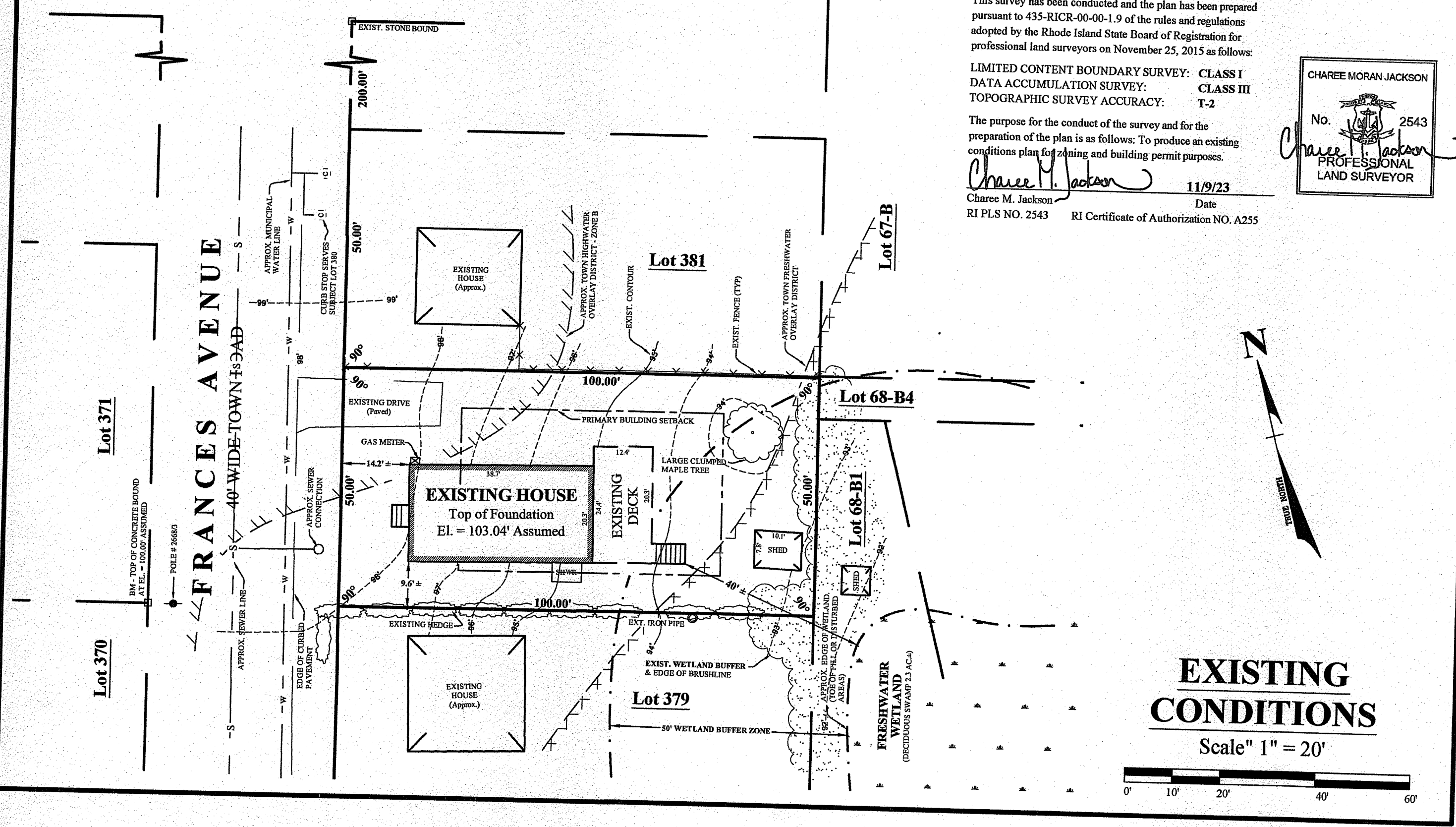


# ANGELL ROAD



**SURVEY CERTIFICATION:**  
 This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the rules and regulations adopted by the Rhode Island State Board of Registration for professional land surveyors on November 25, 2015 as follows:  
 LIMITED CONTENT BOUNDARY SURVEY: CLASS I  
 DATA ACCUMULATION SURVEY: CLASS III  
 TOPOGRAPHIC SURVEY ACCURACY: T-2

The purpose for the conduct of the survey and for the preparation of the plan is as follows: To produce an existing conditions plan for zoning and building permit purposes.

*Charee M. Jackson* 11/9/23  
 Charee M. Jackson Date  
 RI PLS NO. 2543 RI Certificate of Authorization NO. A255

CHAREE MORAN JACKSON  
 No. 0600 2543  
*Charee M. Jackson*  
 PROFESSIONAL LAND SURVEYOR

### ZONING NOTES:

- TOTAL AREA = 5,000 SQ. FT.
- ZONING CLASSIFICATION IS A R-10 RESIDENTIAL HIGH DENSITY ZONE.
- NON-CONFORMING BUILDING SETBACKS ARE: FRONT - 25', SIDE - 8', REAR - 20'
- THIS PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE AS DESIGNATED ON THE FEMA FLOOD INSURANCE RATE MAPS.
- THIS PARCEL IS PARTIALLY LOCATED WITHIN THE HIGH WATER TABLE OVERLAY DISTRICT - ZONE B. THIS PARCEL IS ALSO PARTIALLY LOCATED WITHIN THE WETLAND OVERLAY DISTRICT.
- OVERLAY DISTRICT SITE COVERAGE ALLOWED IS 25% (25% x 5000 sq. ft. = 1,250 sq. ft.)
- NON-CONFORMING BUILDING COVERAGE ALLOWED IS 25% PLUS ALLOWANCE FOR DECKS IN R10 ZONE (See Conformance Computations).
- FLOOR AREA RATIO ALLOWED IS FAR RATIO FACTOR 0.40 FOR TIER 4. (0.40 x 5000 sq. ft. = 2000 sq. ft.)

**Existing Site Coverage**

House	= 785.6 sq. ft.
Deck, Stairs	= 347.9 sq. ft.
Shower	= 24.8 sq. ft.
Shed	= 78.8 sq. ft.
Drive	= 197.0 sq. ft.
<b>TOTAL</b>	<b>= 1,434.1 sq. ft. (28.7%)</b>

**Proposed Site Coverage**

House Foundation	= 820.8 sq. ft.
2nd Story Cantilever	= 250.7 sq. ft.
Porch & Stairs	= 58.8 sq. ft.
Shed	= 78.8 sq. ft.
<b>TOTAL</b>	<b>= 1,209.1 sq. ft. (24.1%)</b>

**Existing Building Coverage**

House	= 785.6 sq. ft.
Deck, Stairs	= 347.9 sq. ft.
Shower	= 24.8 sq. ft.
Shed	= 78.8 sq. ft.
<b>TOTAL</b>	<b>= 1,237.1 sq. ft. (24.7%)</b>

**Proposed Building Coverage**

House Foundation	= 820.8 sq. ft.
2nd Story Cantilever	= 250.7 sq. ft.
Porch & Stairs	= 58.8 sq. ft.
Open Deck	= 144.0 sq. ft.
Shed	= 78.8 sq. ft.
<b>TOTAL</b>	<b>= 1,333.1 sq. ft. (27.1%)</b>

**Proposed Hardscape**

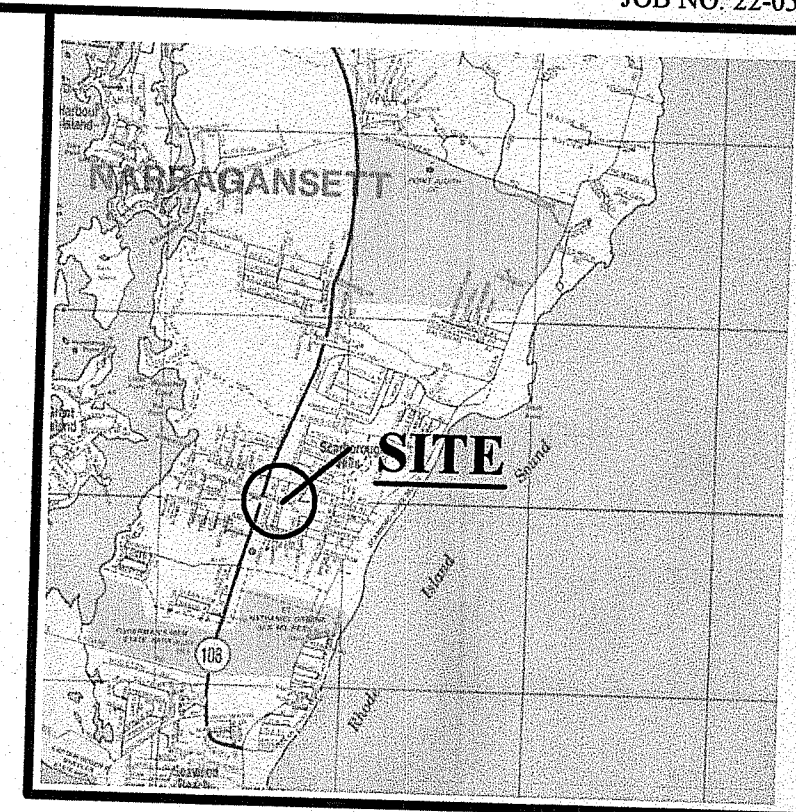
House Foundation	= 820.8 sq. ft.
2nd Story Cantilever	= 250.7 sq. ft.
Porch & Stairs	= 58.8 sq. ft.
Open Deck	= 144.0 sq. ft.
Shed	= 78.8 sq. ft.
Driveway	= 625.0 sq. ft.
<b>TOTAL</b>	<b>= 1,978.1 sq. ft. (39.8%)</b>

**Proposed Hardscape in Front Yard**

Driveway	= 625.0 sq. ft.
<b>TOTAL</b>	<b>= 600.0 sq. ft.</b>

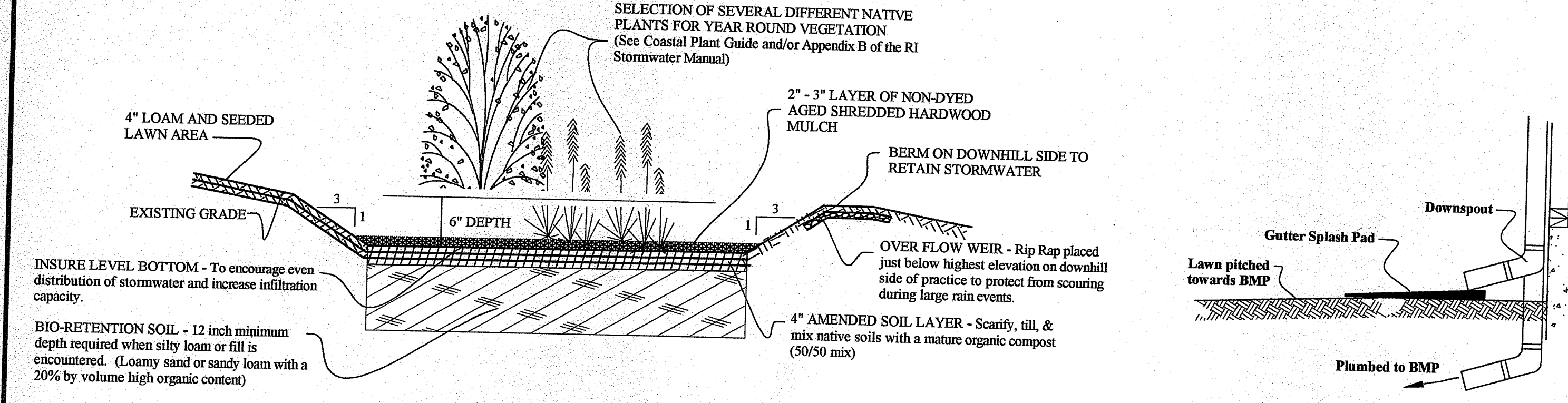
**Proposed Softscape in Front Yard**

1250 sq. ft. = 625 sq. ft. = 625 sq. ft.
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## EXISTING CONDITIONS

Scale" 1" = 20'



### RAIN GARDEN TYPICAL

### DOWNSPOUT & SPLASH PAD TYPICAL

### RAIN GARDEN REQUIREMENTS

Location	Treatment	Vegetation	Construction	Maintenance
<ul style="list-style-type: none"> <li>Rain gardens should be located in areas with less than a 12% slope (i.e. a 12 foot drop over a horizontal distance of 100 feet or a 6 foot drop over a distance of 50 feet).</li> <li>Rain gardens should be located at least 10 ft from foundations to avoid basement seepage.</li> <li>Rain gardens should be located at least 15 ft from onsite wastewater treatment systems and at least 25 ft from private drinking water wells (see Table 5 for additional setbacks).</li> </ul>	<ul style="list-style-type: none"> <li>The bottom of a rain garden should be level to encourage the even distribution of stormwater and increase infiltration capacity.</li> <li>Rain gardens should be 4 to 8 inches deep with a 2 - 4 inch amended soil layer and a 2 - 3 inch layer of non-dyed aged shredded hardwood mulch.</li> <li>The amended soil layer of a rain garden should be a 50/50 mixture of the excavated native soils and mature organic compost.</li> </ul>	<ul style="list-style-type: none"> <li>Select native plants for rain gardens using the Coastal Plant Guide (<a href="https://www.dem.ri.gov/dem/ri-coastal-plants">https://www.dem.ri.gov/dem/ri-coastal-plants</a>) or Appendix B of the RI Stormwater Design and Installation Standards Manual. See example planting plans below.</li> </ul>	<ul style="list-style-type: none"> <li>A crushed stone entrance should be installed at the inflow to prevent channeling.</li> <li>A berm to detain stormwater should be constructed along the downhill side of the rain garden, perpendicular to the slope of the lawn.</li> <li>Be sure that the soil within the rain garden area does not become compacted by construction activities (i.e. heavy machinery). If soil becomes severely compacted it may need to be tilled and amended to maintain proper drainage.</li> </ul>	<ul style="list-style-type: none"> <li>Rain gardens shall be inspected following at least the first two precipitation events of at least 1.0 inch to ensure that the system is functioning properly. Thereafter, the rain garden shall be monitored and maintained to assure proper functioning, plant growth and survival. Plants shall be replaced on an as-needed basis during the growing season.</li> <li>Site/sediment shall be removed from the rain garden when the accumulation exceeds one inch, or when water ponds on the surface of the rain garden for more than 48 hours). The top few inches of material shall be removed and shall be replaced with fresh soil mixture and mulch.</li> <li>Pruning or replacement of woody vegetation shall occur when dead or dying vegetation is observed.</li> <li>Soil erosion gullies shall be repaired when they occur.</li> <li>Fertilizer or pesticides shall not be applied within rain gardens.</li> <li>Perennial plants and ground covers shall be replaced as necessary to maintain an adequate vegetated ground cover. Annual plants may also be used to maintain ground cover.</li> </ul>

### RAIN GARDEN SIZE CRITERIA:

LOCATION	BOTTOM WIDTH	TOTAL LENGTH	REQUIRED BOTTOM AREA
# 1	5 ft.	20 ft.	75 sq. ft.
# 2	5 ft.	26 ft.	105 sq. ft.

Computation Method Used:  
 Prescriptive, Table 7 of Single-Family Lot Development Guidance Document  
 Soil Evaluation Texture: SANDY LOAMS  
 Garden Depth = 6 inches

**NOTE:**  
 THE CONSTRUCTION OF THE RAIN GARDEN SHALL FOLLOW THE STANDARDS IN THE RI STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT & THE UNIVERSITY OF WISCONSIN PUBLICATION "RAIN GARDENS: A HOW-TO MANUAL FOR HOMEOWNERS".

### SEDIMENT & EROSION CONTROL:

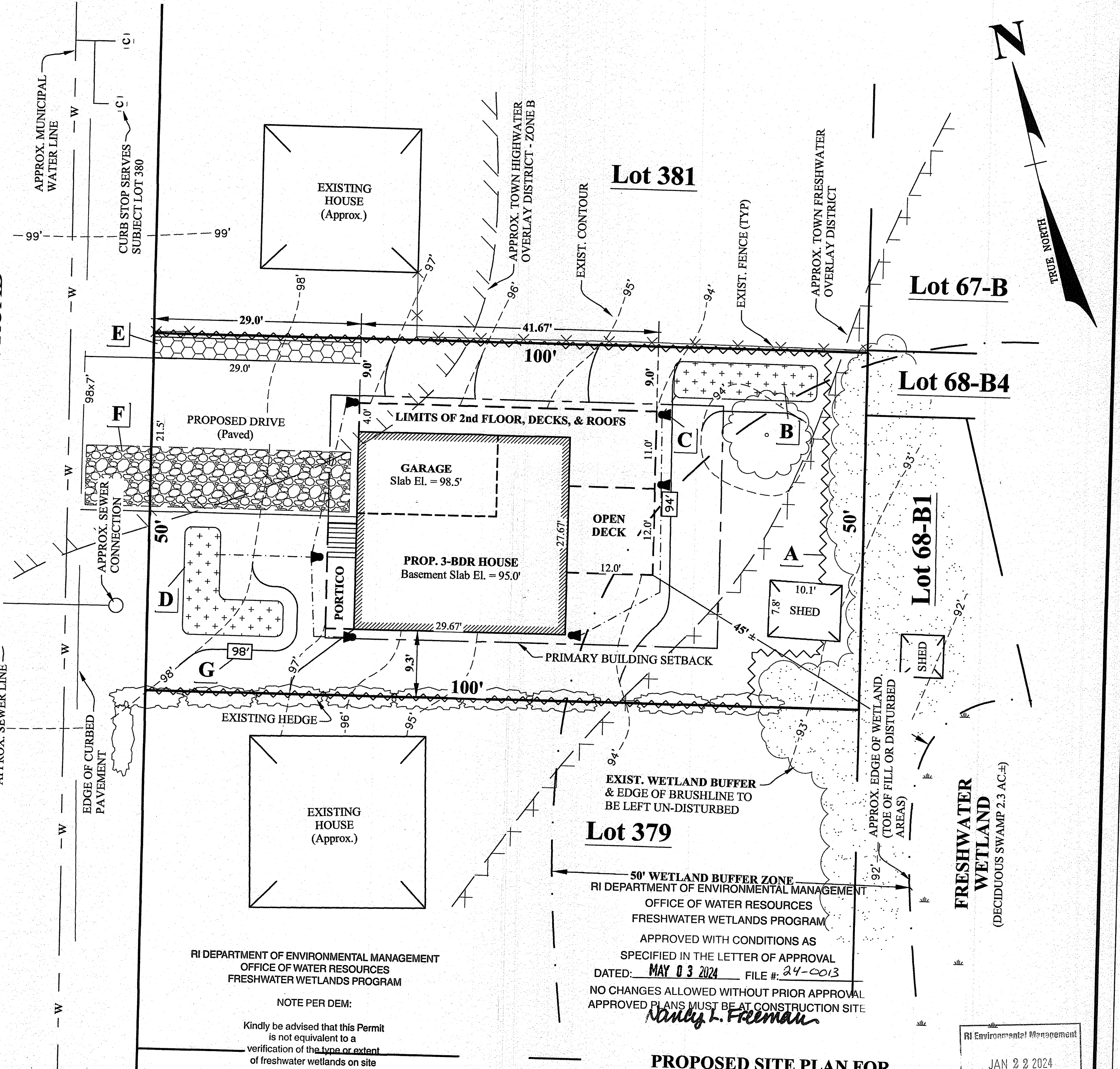
- PROPER EROSION & SEDIMENT CONTROL PRACTICES MUST BE IMPLEMENTED DURING ALL PHASES OF CONSTRUCTION AND UNTIL THE SITE IS SATISFACTORILY STABILIZED.
- ALL CONTROL PRACTICES SHOULD BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL. THE STRAW WATTLE BARRIERS SHALL BE CHECKED REGULARLY AND MAINTAINED THROUGHOUT ALL CONSTRUCTION PHASES.
- ALL DISTURBED AREAS SHALL BE LOAMED, SEEDED, AND STABILIZED PRIOR TO THE REMOVAL OF THE STRAW WATTLE.
- ALL STUMPS, BRUSH, WOOD FROM TREE CLEARING, RUBBLE, AND SPOIL MATERIAL SHALL BE REMOVED OFF-SITE AND DISPOSED OF AT A PROPER DISPOSAL SITE.
- ALAN & IRENE COLEMAN, OWNER OF LOT 188, A.P. S, IS ASSIGNED THE RESPONSIBILITY FOR THE EROSION AND SEDIMENT CONTROL MEASURES AND INFORMING ALL PARTIES WORKING ON THE CONSTRUCTION SITE OF THE EROSION AND SEDIMENT CONTROL REQUIREMENTS AND OBJECTIVES. THE ABOVE NAMED PERSON SHALL NOTIFY RI DEM & THE TOWN OF NARRAGANSETT OF ANY TRANSFER OF THIS RESPONSIBILITY.

### SERSC LEGEND

- A** - SILT FENCE & LIMIT OF DISTURBANCE - The actual location of the LOD is along the property lines. The line as shown hereon is pictorial. Place before and during construction for a sediment and construction barrier. Remove when all disturbed areas have been stabilized, loamed and seeded.
- B** - PROPOSED RAIN GARDEN # 1 - See Details
- C** - DOWNSPOUT WITH SPLASH PAD (Typ.) - The proposed house shall have roof water collected by gutters and downspouts to direct stormwater to splash pads at all outlets.
- D** - PROPOSED RAIN GARDEN # 2 - See Details
- E** - PROPOSED INFILTRATION TRENCH - The proposed driveway shall be tipped towards the infiltration trench for proper stormwater treatment. The minimum depth of crushed stone is 12 inches with a minimum bottom area of 96 sq. ft.
- F** - CONSTRUCTION ENTRANCE - A stone construction access pad will be installed off the existing curb cut to act as a wheel cleaning blanket for the construction vehicles. This construction pad shall be placed prior to the start of any excavation and shall remain in place until the construction site has been stabilized. All road surfaces shall be cleaned of sediment at the end of each day.
- G** - PROPOSED CONTOUR (Typical)

# FRANCES AVENUE

## 40' WIDE TOWN ROAD



### Lot 379

50' WETLAND BUFFER ZONE  
 RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: MAY 03 2024 FILE #: 24-0013  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

CHAREE M. JACKSON  
 No. 0600 0600  
*Charee M. Jackson*  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

**PROPOSED SITE PLAN FOR  
 LOT 380 of A.P. K  
 14 FRANCES AVENUE  
 IN THE TOWN OF  
 NARRAGANSETT, RI  
 PROPERTY OF  
 ALAN & IRENE COLEMAN**  
 952 JANET LANE LAFAYETTE, CA 94549  
 NOVEMBER 2023  
 SCALE: 1" = 10'

RI Environmental Management  
 JAN 22 2024  
 CIVIL ENGINEER

**JACKSON SURVEYING, Inc.**  
 SURVEYING & ENGINEERING  
 P.O. BOX 454 CHARLESTOWN, RI 02813 PH. (401) 364-3130