

# SITE PLANS

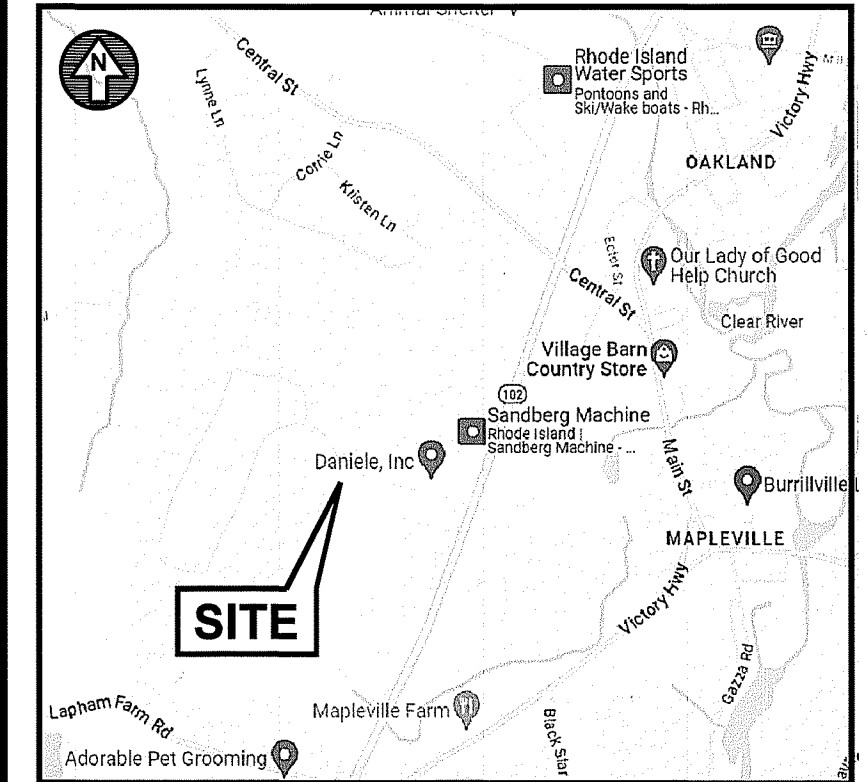
## FOR

# PROPOSED INDUSTRIAL BUILDING

### A.P. 213 LOT 16

## CHARCUTERIE DRIVE

## BURRILLVILLE, RHODE ISLAND



**LOCATION MAP**  
APPROXIMATE SCALE: 1"=2,000'

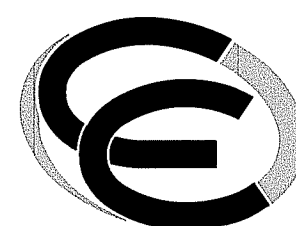
### INDEX OF DRAWINGS

DRAWING No.	PLAN
	COVER
C1.0	GENERAL NOTES and LEGEND
C2.0	AERIAL MAP
C3.0	EXISTING CONDITIONS PLAN
C4.0	SITE PLAN
C5.0	SOIL EROSION and SEDIMENT CONTROL PLAN
C6.1-C6.5	MISCELLANEOUS DETAILS PLAN Nos. 1-5
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS

**OWNER AND APPLICANT:**

CHRISTOPHER DUNNING  
136 LAKE VIEW DRIVE  
CHEPACHET, RI 02814

**CIVIL ENGINEERS AND LAND SURVEYORS:**



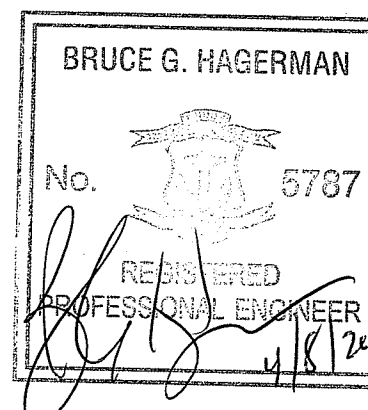
- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

**Crossman Engineering**

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700

Email: ce@crosmaneng.com

JANUARY 2024  
SHEET 1 of 13



**WETLAND BIOLOGIST:**

NATURAL RESOURCE SERVICES, INC.  
P.O. BOX 311  
HARRISVILLE, RI 02830  
PHONE: (401) 568-7390

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: APR 26 2024 FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

RI Environmental Management  
APR 12 2024  
Office of Water Resources

**AGENCY REVIEW SUBMISSION**

**REVISIONS:**

No.:	DATE:	DESCRIPTION:
1	3/18/24	RIDEM COMMENTS
2	4/8/24	RIDEM COMMENTS

**GENERAL NOTES**

1. THERE MAY BE ADDITIONAL UNKNOWN UTILITIES ON SITE. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE PLANS MAY NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS.
2. FOR ALL EXCAVATION, PLACEMENT OF FILL, BITUMINOUS PAVEMENT, CURB, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DECEMBER 2022, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" WITHIN THE R.I.D.O.T. SPECIFICATIONS ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:  
[HTTP://WWW.DOT.RI.GOV/BUSINESS/BLUEBOOK.PHP](http://www.dot.ri.gov/business/bluebook.php)
3. FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED OCTOBER 21, 2022, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING ITEMS OUTSIDE THE SCOPE OF WORK.
6. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.
7. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS, GRADES AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

**LAYOUT NOTE**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE OWNER.

**EXISTING UTILITY NOTES**

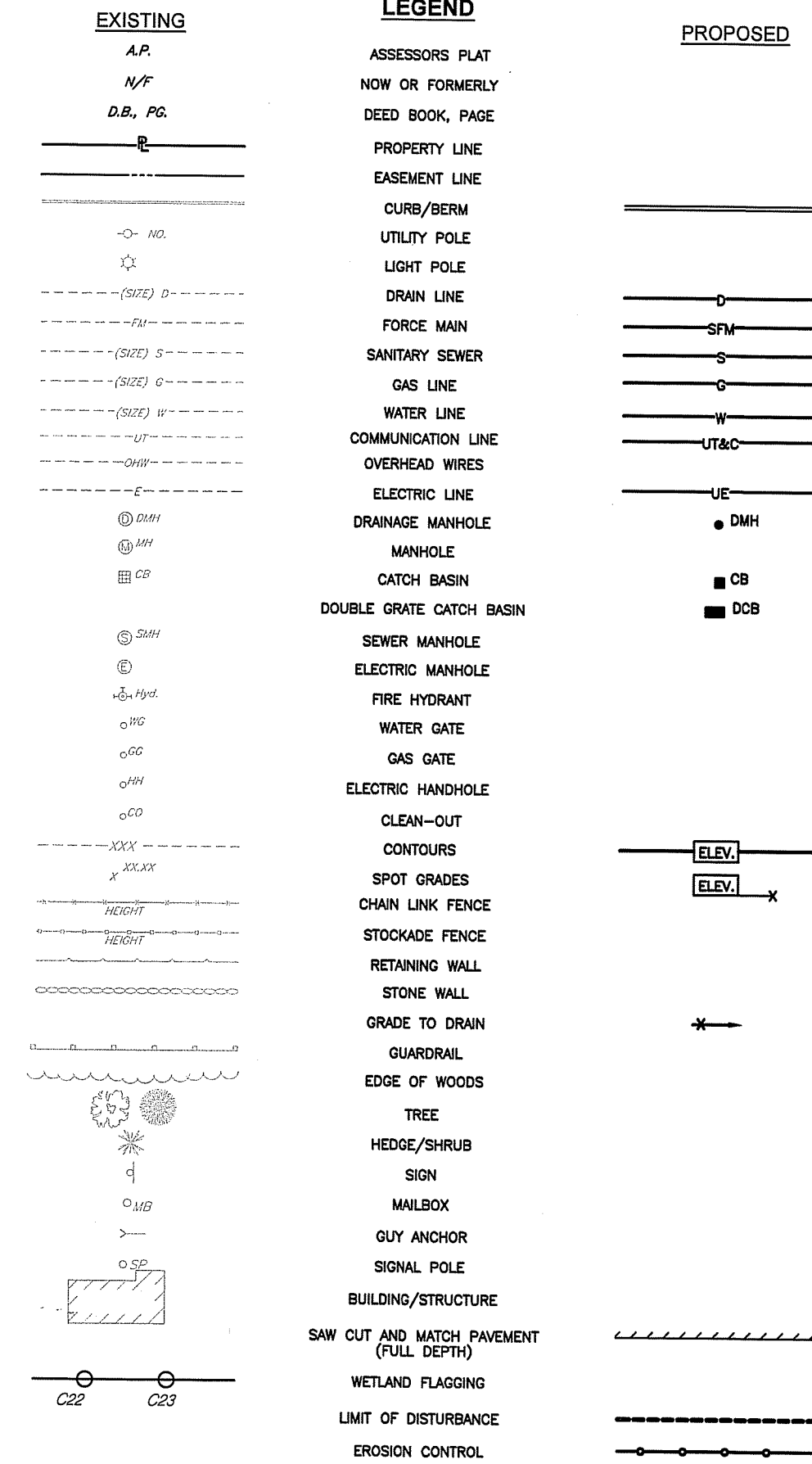
1. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.
2. ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.
3. THE CONTRACTOR SHALL BE AWARE THAT THERE MAY BE AN UNDERGROUND UTILITIES INCLUDING ELECTRIC ON SITE WITHIN THE SIDEWALK LOCATION. THE CONTRACTOR SHALL CONTACT DIG SAFE AND THE APPLICABLE UTILITY COMPANIES TO COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS ON SITE.

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES**

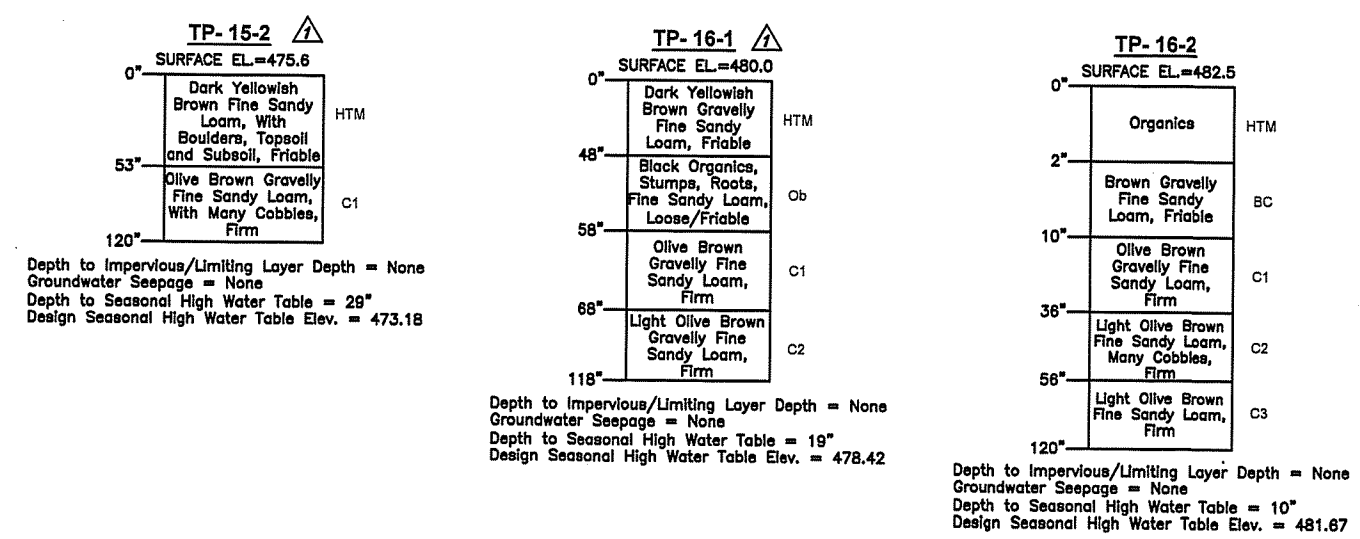
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION IF REQUIRED. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE PEDESTRIAN AND VEHICLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO PEDESTRIAN OR VEHICLE TRAFFIC.
3. THE CONTRACTOR IS REQUIRED TO COORDINATE WORK WITH PCF VENTURES PRIOR TO CONSTRUCTION.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
6. SPECIAL CARE SHALL BE GIVEN TO THE CONSTRUCTION OF THE SIDEWALK AREAS USED BY PEDESTRIANS. CONTRACTOR SHALL CLOSE OFF SIDEWALKS TO PREVENT POTENTIAL HAZARD CONDITIONS TO PEDESTRIANS UNAWARE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROTECTION AROUND WORK AREAS.

**FLOOD ZONE NOTE**

THE SITE IS LOCATED IN FEMA FLOOD ZONE X (AREAS DETERMINED TO BE AS BEING AREAS OF MINIMAL FLOODING, OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MAP NUMBER 4407C01356, EFFECTIVE MARCH 2, 2009.



**TEST PIT DATA**  
TEST PIT DATA REPORTED BY BRUCE HAGERMAN, R.I. PE#5787 ON OCTOBER 31, 2017.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
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*Nancy L. Freeman*

RI Environmental Management  
APR 12 2024  
Office of Water Resources

**Crossman Engineering**  
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 1 George Lavan Drive, Suite 200, North Attleboro, MA 02783, Phone (508) 695-1700  
Email: cel@crossmaneng.com

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BRUCE G. HAGERMAN  
No. 5787  
REGISTERED PROFESSIONAL ENGINEER  
*Bruce G. Hagerman* 4/8/24

PROPERTY OWNER:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:  
**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

**GENERAL NOTES AND LEGEND**

DATE: JANUARY 2024 SCALE: NO SCALE

DWG. NAME: 2778-02-NOTE REV2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/18/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER  
**C1.0**  
SHEET: 2 OF: 13



**Crossman Engineering**

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Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700

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**BRUCE G. HAGERMAN**  
No. 5787  
REGISTERED PROFESSIONAL ENGINEER  
*[Signature]* 4/8/24

PROPERTY OWNER:

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136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

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**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
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BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

DRAWING TITLE:

**AERIAL MAP**

DATE: JANUARY 2024 SCALE: 1" = 150'

DWG. NAME: 2778-03-AERIAL REV2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/18/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER

**C2.0**

SHEET: 3 OF 13



**200' ABUTTERS LIST**

A.P. 195 LOT 14  
TOWN OF BURRILLVILLE  
105 HARRISVILLE MAIN STREET  
BURRILLVILLE, RI 02830

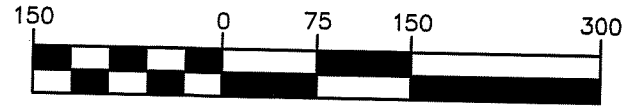
A.P. 195 LOT 15  
TOWN OF BURRILLVILLE  
105 HARRISVILLE MAIN STREET  
BURRILLVILLE, RI 02830

A.P. 213 LOT 10  
TOWN OF BURRILLVILLE  
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
105 HARRISVILLE MAIN STREET  
BURRILLVILLE, RI 02830  
FRESHWATER WETLANDS PROGRAM  
A.P. 213 LOT 15  
ADJACENT PROPERTIES CONDITIONS AS SHOWN ON THE ROAD OF APPROVAL GREENVILLE, RI 02828

DATED: APR 26 2024 FILE #: 24-0014  
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*Nancy L. Freeman*

RI Environmental Management  
APR 12 2024  
Office of Water Resources



GRAPHIC SCALE

( IN FEET )  
1 inch = 150 ft.

**Notes:**

- The purpose of this plan is to depict the existing conditions of Lot 16 on Plat 213.
- Field survey work performed by Crossman Engineering in April of 2017.
- Utility note: Any utilities shown hereon are plotted from field location of visible above ground structures. Any underground utility information shown hereon must be verified in the field prior to any excavation or construction on this site. The contractor or users of this plan should contact digsafe prior to any work. Crossman Engineering assumes no responsibility for the accuracy or completeness of the information shown.
- The horizontal datum is the Rhode Island state plane coordinate system (NAD83) and the vertical datum is NAVD88 utilizing gps rtk network control.
- Abutters information taken from the town of Burrillville, RI tax assessors records in January of 2024. This information is not intended to be a certification of title or ownership for the properties shown. Parcels are subject to any easements, restrictions, or conditions of record.

**Lot Zoning Information:**

Lot 16 is currently zoned GI

The minimum lot size in the GI zone is not specified

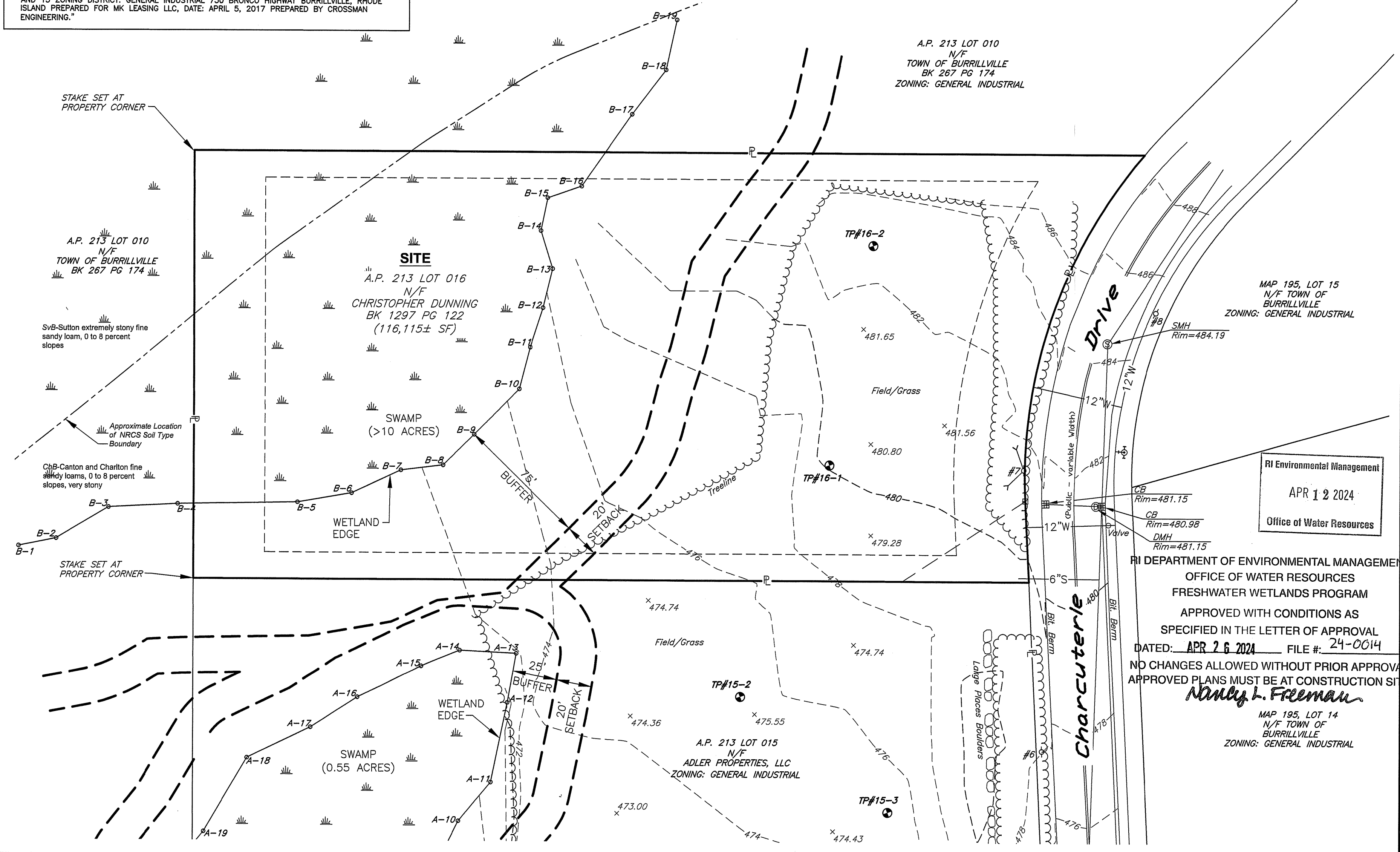
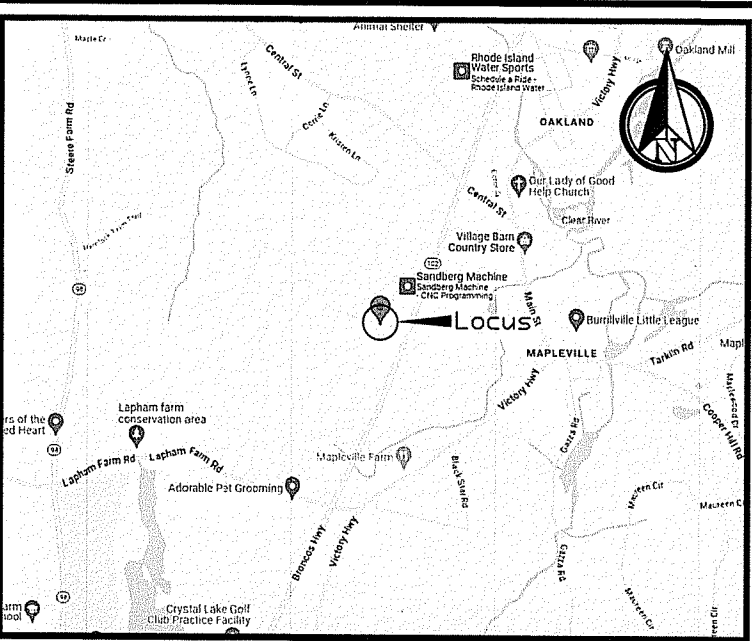
The minimum frontage in the GI zone is 200'

The minimum structure setbacks in the GI zone are 40' front yard, 15' for each story over one side yard, and 40' rear yard.

**PLAN REFERENCES**

- "FINAL MINOR SUBDIVISION PLAN ASSESSOR'S PLAT 213 LOT 3 SITUATED ON BRONCO HIGHWAY (ROUTE 102) BURRILLVILLE, RHODE ISLAND SCALE 1"=100' DATE: SEPTEMBER, 2005 PREPARED FOR MK LEASING, LLC PREPARED BY CROSSMAN ENGINEERING, INC."
- "EXISTING CONDITIONS AND SOILS MAP SUBDIVISION A.P. 213, LOT 3 BRONCO HIGHWAY-RT. 102 BURRILLVILLE, RHODE ISLAND SCALE 1"=80', DATE: JANUARY 2004, REVISION 1: OCTOBER, 2004, PREPARED FOR M.K. LEASING, LLC, PREPARED BY CROSSMAN ENGINEERING, INC."
- "CONCEPTUAL SITE PLANS FOR PROPOSED INDUSTRIAL BUILDING ASSESSOR'S PLAT 213 LOTS 3 AND 15 ZONING DISTRICT: GENERAL INDUSTRIAL 730 BRONCO HIGHWAY BURRILLVILLE, RHODE ISLAND PREPARED FOR MK LEASING LLC, DATE: APRIL 5, 2017 PREPARED BY CROSSMAN ENGINEERING."

LEGEND	
— P —	PROPERTY LINE
A.P.	ASSESSOR'S PLAT
N/F	NOW OR FORMERLY
D.B., P.G.	DEED BOOK, PAGE
---	CONTOUR LINE
x	SPOT GRADE
---	DRAINAGE MANHOLE
---	CATCH BASIN
---	CURB INLET
---	FLARED END
---	SEWER MANHOLE
---	MANHOLE
---	TELEPHONE MANHOLE
---	UTILITY POLE
---	GUY ANCHOR
---	LIGHT POLE
---	FIRE HYDRANT
○ WG	WATER GATE
○ GG	GAS GATE
---	GAS METER
---	ELECTRIC METER
---	ELECTRIC HANDHOLE
---	BOLLARD
---	BUILDING FACE
---	STEEL POST WOOD FENCE
---	EDGE OF WATER
---	DRAIN LINE
---	SEWER LINE
---	WATER LINE
---	GAS LINE
---	ELECTRIC LINE
---	OVERHEAD WIRE
---	TELEPHONE LINE
A-S	VETLAND FLAG
+	SIGN



**Crossman Engineering**

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**Certification**

This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-19 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015 as follows:

'Not a Boundary Survey'  
Data Accumulation  
Survey-Topographic  
Measurement Specification III

The purpose for the conduct of the survey and for the preparation of the plan is to delineate the boundaries of the parcel and determine encroachments, if any.

Ronald N. Tubman, PLS # 1939  
Certificate of Authorization # A257



**Existing Conditions Plan**

Assessor's Plat 213  
Lot 016

Charcuterie Drive  
Mapleville, RI 02839

Drawn & Prepared For:

**Christopher Dunning**

136 Lake View Dr.  
Chepachet, RI 02814

Date: January 25, 2024 Scale: 1" = 40'

File Name: 2778 Working 20240125

Field: \_\_\_\_\_ Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

NW & BC: \_\_\_\_\_ TH: \_\_\_\_\_ RT: \_\_\_\_\_

Number	Remarks	Date

Project Number: **2778** Sheet: **1/1**

RI Environmental Management  
APR 12 2024  
Office of Water Resources

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OFFICE OF WATER RESOURCES  
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*Nancy L. Freeman*  
MAP 195, LOT 14  
N/F TOWN OF BURRILLVILLE  
ZONING: GENERAL INDUSTRIAL

**WATER SERVICE NOTE:**

METER AND BACKFLOW PREVENTER SHALL BE LOCATED WITHIN A UTILITY ROOM INSIDE THE NEW BUILDING.

**SEWER SERVICE NOTE:**

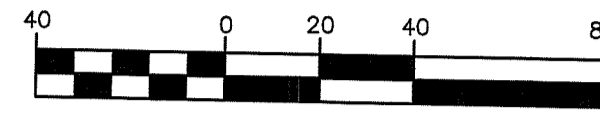
THE NEW BUILDING WILL NOT CONTAIN ANY FLOOR DRAINS AND WILL NOT DISCHARGE ANY INDUSTRIAL WASTEWATER.

**PARKING SUMMARY:**

30-156(a) REQUIRED NUMBER OF PARKING SPACES:  
 -OFFICE SPACE (2 SPACES/250 SF) = 300 SF/250 SF = 2 SPACES  
 -ALL OTHER USES (2 SPACES/3 EMPLOYEES) = 2 SPACES  
 -TOTAL NUMBER OF SPACES REQUIRED = 4 SPACES  
 PROPOSED NUMBER OF PARKING SPACES = 5 SPACES

**BURRILLVILLE ZONING REQUIREMENTS:**

ZONING DISTRICTS: GENERAL INDUSTRIAL DISTRICT OAKLAND/MAPLEVILLE FIRE DISTRICT		
PROPOSED USE: 30-71(7)(8)-AUTOMOTIVE RESTORATION (Auto Body or Paint Shop)		
A.P. 213, LOT 16	REQUIRED	PROVIDED
MINIMUM LOT AREA	NONE	116,115± SF
MIN. LOT FRONTAGE	200'	255.86'
FRONT YARD SETBACK	40'	42.3'±
SIDE YARD SETBACK	15'	74.9'±
REAR YARD SETBACK	40'	357.6'±
MAXIMUM STRUCTURE HEIGHT	MAIN=35' ACCESSORY=35'	<35'
MAXIMUM BUILDING COVERAGE	25%	3.1%
MINIMUM DISTANCE FROM RESIDENTIAL OR FARMING DISTRICT	100'	>100'



GRAPHIC SCALE

( IN FEET )  
1 inch = 40 ft.



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**BRUCE G. HAGERMAN**  
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 REGISTERED PROFESSIONAL ENGINEER

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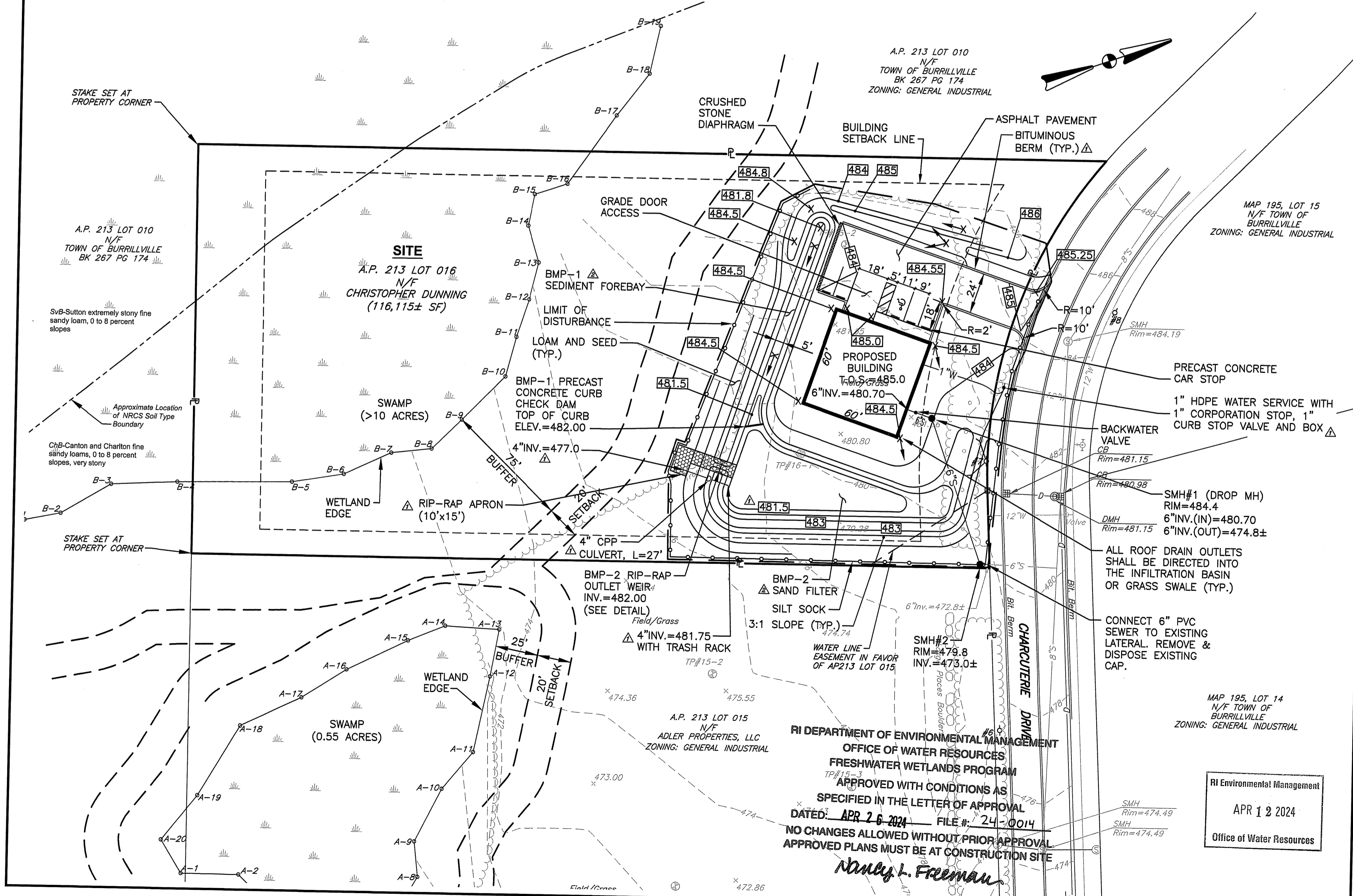
PREPARED FOR:  
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 136 LAKE VIEW DRIVE  
 CHEPATCHET, RI 02814

DRAWING TITLE:  
**SITE PLAN**

DATE: JANUARY 2024 SCALE: 1"=40'  
 DWG. NAME: 2778-05-SITE REV2.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	3/16/24
	2	RIDEM COMMENTS	4/9/24

DRAWING NUMBER  
**C4.0**  
 SHEET: 5 OF 13



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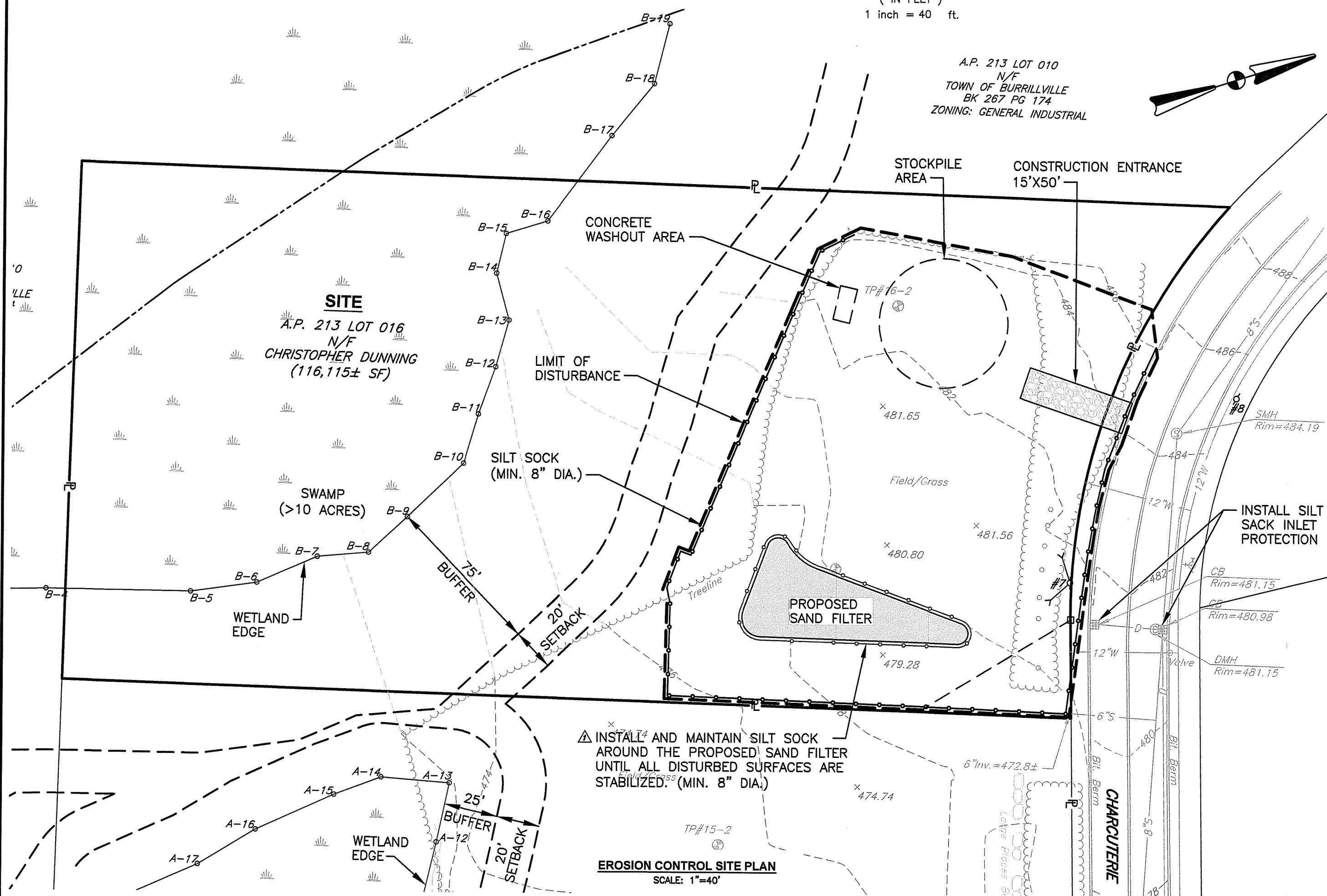
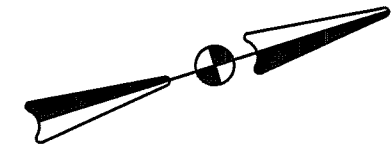
RI Environmental Management  
 APR 12 2024  
 Office of Water Resources



**GRAPHIC SCALE**

( IN FEET )  
1 inch = 40 ft.

A.P. 213 LOT 010  
N/F  
TOWN OF BURRILLVILLE  
BK 267 PG 174  
ZONING: GENERAL INDUSTRIAL



INSTALL AND MAINTAIN SILT SOCK AROUND THE PROPOSED SAND FILTER UNTIL ALL DISTURBED SURFACES ARE STABILIZED. (MIN. 8" DIA.)

**EROSION CONTROL SITE PLAN**  
SCALE: 1"=40'

**NOTES:**

- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS: FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- CONTRACTOR SHALL INSTALL SILT SOCK INLET PROTECTION OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES AS NOTED ON THE SITE PLANS. REMOVE AFTER CONSTRUCTION.
- SILT SOCK SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION AS NOTED ON THE PLANS. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE OWNER, LOCAL MUNICIPALITY, STATE AGENCIES OR ENGINEER DURING CONSTRUCTION.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING ROADWAYS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTING CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

**RECEIVING WATER DATA:**

- WATERSHED BODY NAME - CHEPACHET RIVER AND TRIBUTARIES, RI 0001002R-03.
- IMPAIRMENTS: ENTEROCOCCUS.
- TMDL: ENTEROCOCCUS, 9/22/11.
- GROUNDWATER CLASSIFICATION - GA

**ADDITIONAL CONTROLS:**

- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO NOTIFY LOCAL AUTHORITIES AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF WASTE MANAGEMENT, OF ANY HAZARDOUS MATERIAL SPILL.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN THE SITE IN AN ORDERLY AND CLEAN STATE. ALL CONSTRUCTION WASTE SHALL BE STORED IN APPROPRIATE CONTAINERS PRIOR TO REMOVAL AND CONTACT WITH PRECIPITATION SHALL BE KEPT TO A MINIMUM.
- GENERAL MAINTENANCE PROCEDURES ARE OUTLINED IN THE ACCOMPANYING SITE PLANS. IN ADDITION, THE OPERATOR AND CONTRACTOR ARE REQUIRED TO INSPECT ALL EROSION CONTROLS ON THE SITE AT LEAST EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER A RAIN EVENT, WHICH GENERATES 0.25 INCHES OF RAIN IN A TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
- CONCRETE WASHOUT SHALL BE PERFORMED USING ONE OF THE METHODS LISTED IN SECTION 3 OF THE RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. THE WASHOUT AREAS ARE DESIGNATED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- VEHICLE AND EQUIPMENT WASHING ON-SITE DURING CONSTRUCTION IS NOT ALLOWED.
- A SPILL RESPONSE KIT SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.

**PROJECT DATA:**

- LIMIT OF DISTURBANCE AREA = 0.85 ACRES.
- THE SITE IS NOT LOCATED WITHIN A RIDEM NATURAL HERITAGE AREA. (SOURCE: RIDEM)
- THE SITE IS PARTIALLY LOCATED WITHIN A NON-COMMUNITY WELLHEAD PROTECTION AREA. (SOURCE: RIDEM)

**SITE CONSTRUCTION SEQUENCE AND SCHEDULE:**

- INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY SOIL DISTURBANCE.
- PRIOR TO CONSTRUCTION CLEARLY MARK AREAS TO BE LEFT UNDISTURBED.
- CLEARING OF TREES AND VEGETATION AS SHOWN ON THE SITE PLANS.
- TOP SOIL TO BE STRIPPED AND STOCKPILED.
- ESTABLISH EROSION CONTROLS AROUND STOCKPILES (SILT SOCK). COVER STOCKPILES THAT WILL REMAIN FOR LONGER THAN ONE MONTH.
- ROUGH GRADING.
- BUILDING CONSTRUCTION.
- FINAL GRADING AND INSTALL FINAL PAVING.
- INSTALL LOAM AND SEED.
- ESTIMATED DURATION OF SOIL EXPOSURE: 12 MONTHS

RI Environmental Management  
APR 12 2024  
Office of Water Resources

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL**

DATED: APR 26 2024 FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED BY: [Signature]

**DUST CONTROL NOTES:**

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE ENGINEER OR OWNER THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS RECOMMENDED BY THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK") TO CONTROL DUST:  
A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

**INSPECTION/MAINTENANCE NOTES:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPAIR / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL EROSION CONTROLS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER, MUNICIPAL REPRESENTATIVES, STATE AGENCIES OR ENGINEER.
- THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, REVISED 2014 (LATEST REVISION), MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS. MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE THE SITE IS STABLE.

**GENERAL PROJECT WIDE NOTES:**

- SILT SOCK AND SILT SACK IN CATCH BASINS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY, ROADWAYS, WETLANDS AND WATERWAYS.
- THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL SILT SOCK OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE; THE AREA BEYOND THE DRIPLINE SHALL BE FENCED OR ROPED OFF TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
- AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEDED, RESEEDING, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED SILT SOCK OR COVERED.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING, COVERED WITH TARPS, OR APPROVED EQUAL.
- SILT FENCE MAY BE USED IN LIEU OF THE SILT SOCK WHERE APPROVED BY THE ENGINEER.

**EROSION CONTROL AND SOIL STABILIZATION PROGRAM:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, EXISTING RACEWAY, ADJACENT PROPERTY, AND ROADWAYS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, RIPRAP OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED SILT SOCKS OR COVERED.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, FIBER MATTING OR COVERED WITH TARPS.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL EROSION CONTROLS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR STATE AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- THE CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED USING SILT SOCKS OR SILT SOCK INLET PROTECTION, AS NOTED.
- ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY SILT SOCKS OR SILT SACKS.
- SILT SOCK MAY BE INSTALLED ON THE EXISTING PAVEMENT/IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY. IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FIBREX FILTER SOCKS IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- POLYMERS, FLOCCULANTS, OR OTHER TREATMENT CHEMICALS MUST NOT BE USED ON THIS PROJECT FOR DUST, SEDIMENTATION AND EROSION CONTROL. WATER WILL BE USED FOR DUST CONTROL AND EROSION WILL BE CONTROLLED USING THE PROPOSED EROSION CONTROLS, AND TEMPORARY STABILIZATION TECHNIQUES.

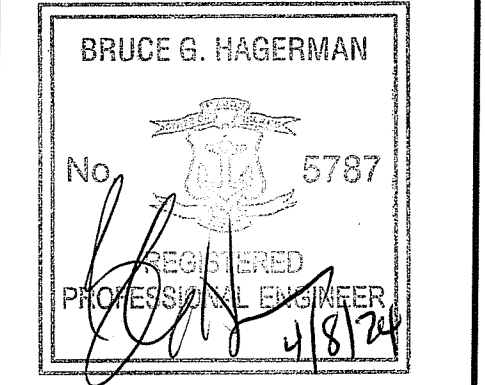


**Crossman Engineering**

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700

Email: ce@crossmaneng.com

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PROPERTY OWNER:

**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:  
**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

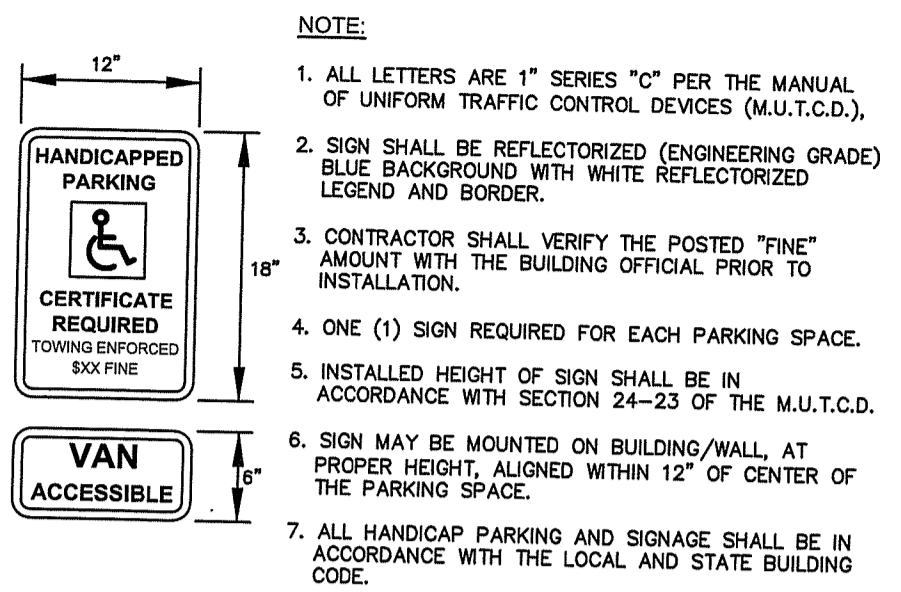
DRAWING TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

DATE: JANUARY 2024 SCALE: AS NOTED

DWG. NAME: 2778-06-SOIL REV2.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/18/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER  
**C5.0**  
SHEET: 6 OF 13

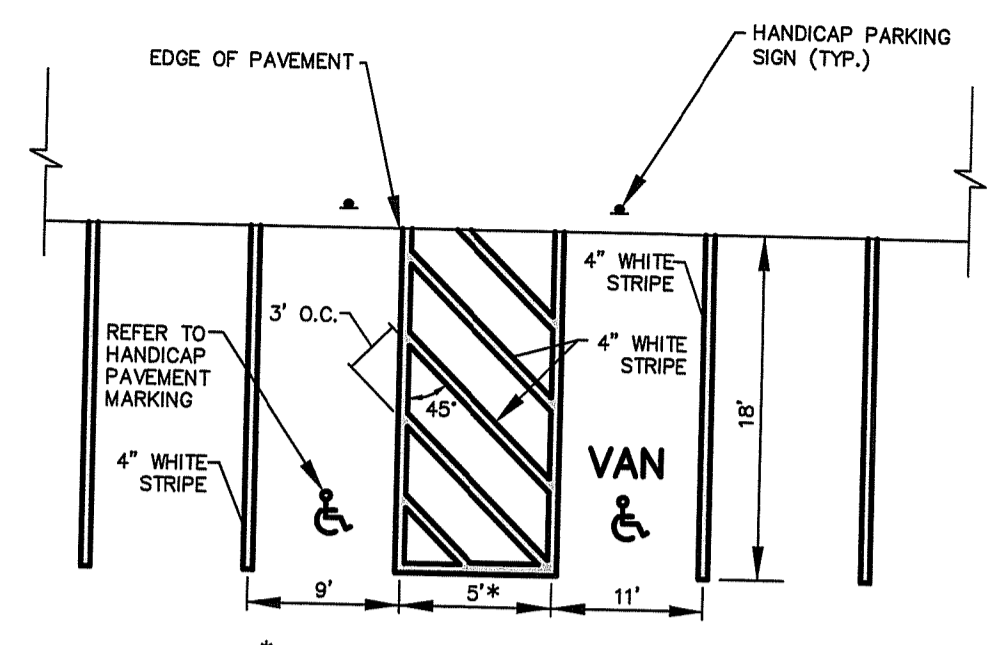


- NOTE:**
1. ALL LETTERS ARE 1" SERIES "C" PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.),
  2. SIGN SHALL BE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
  3. CONTRACTOR SHALL VERIFY THE POSTED "FINE" AMOUNT WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
  4. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
  5. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE M.U.T.C.D.
  6. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, ALIGNED WITHIN 12" OF CENTER OF THE PARKING SPACE.
  7. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE.

**SIGN NOTES:**

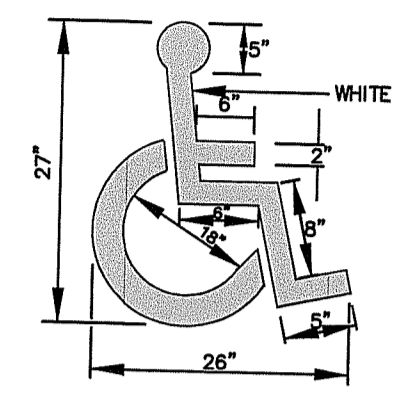
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN.) AND INSTALLED IN CONFORMANCE WITH MUTCD AND LOCAL STANDARDS AND SPECIFICATIONS.
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN.)
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8"x8"x6" SQUARE BOX FORM.

**PROPOSED HANDICAPPED PARKING SIGNS**  
NOT TO SCALE



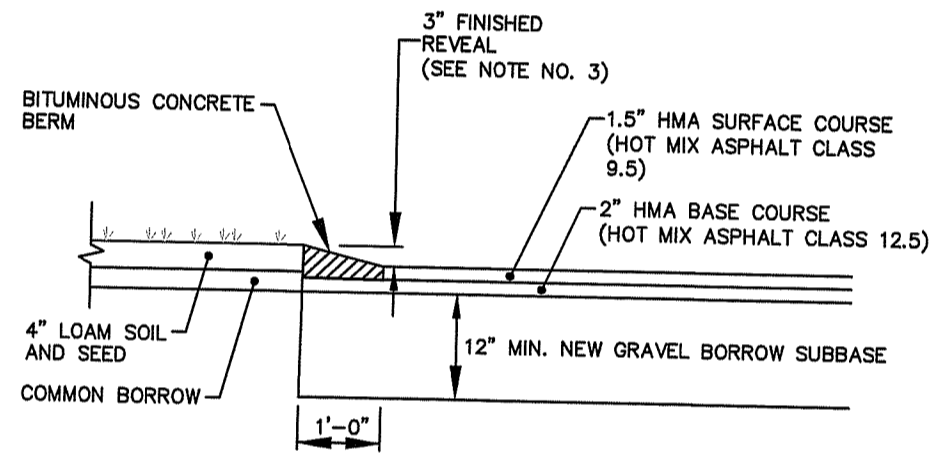
- NOTE:**
1. ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

**TYPICAL HANDICAP PARKING STALLS**  
NOT TO SCALE



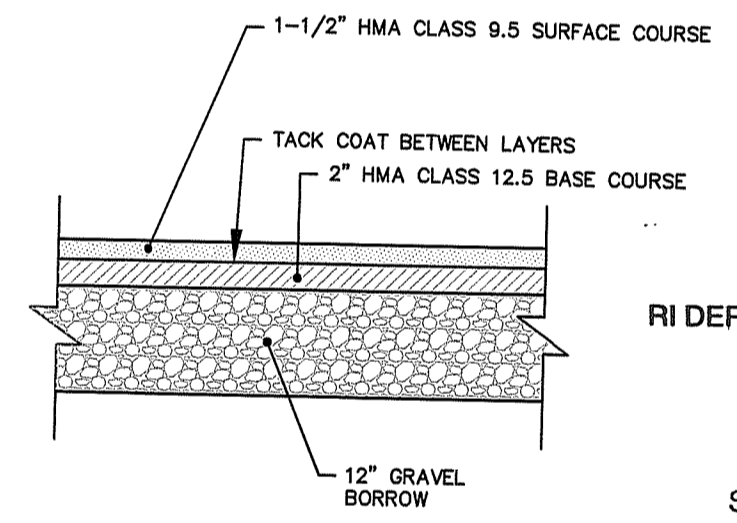
- NOTE:**
1. ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

**HANDICAP PAVEMENT MARKING**  
NOT TO SCALE



- NOTES:**
1. BITUMINOUS CONCRETE BERM SHALL BE MONOLITHICALLY PLACED WITH THE INSTALLATION OF THE SURFACE COURSE. ALL COSTS TO INSTALL THE BITUMINOUS BERM SHALL BE INCLUDED IN THE BID PRICE FOR THE HMA SURFACE COURSE.
  2. THE BITUMINOUS CONCRETE BERM SHALL BE HAND ROLLED.
  3. IF APPROVED IN WRITING BY THE TOWN PRIOR TO INSTALLATION, A HAND VIBRATING COMPACTOR CAN BE USED WHERE BERM IS INSTALLED OTHER THAN DRIVEWAY BERM. THE FINAL FINISHED REVEAL SHALL BE 3" MINIMUM.

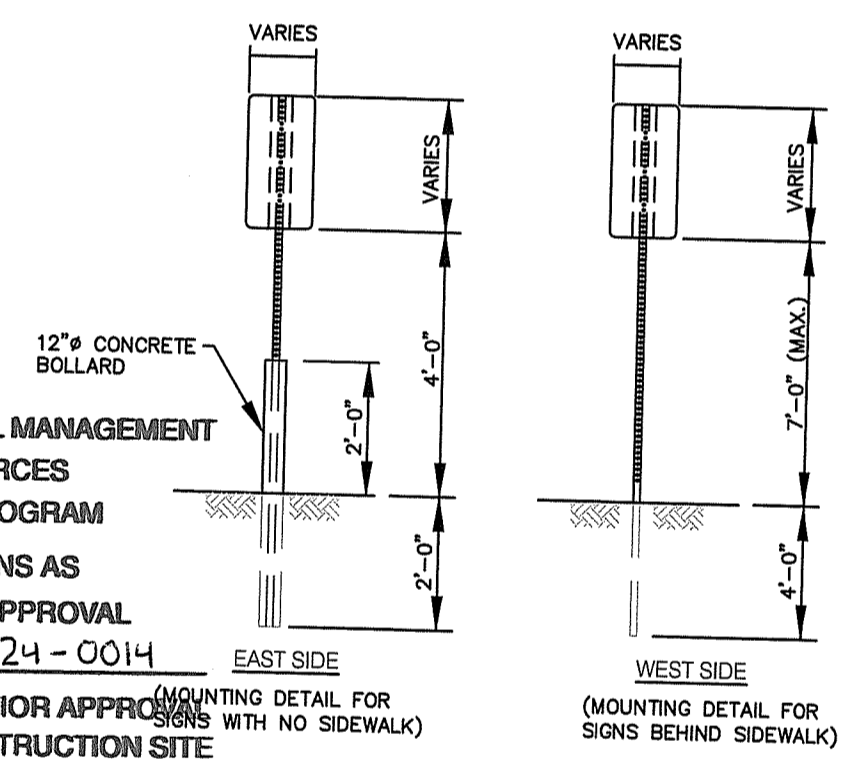
**BITUMINOUS CONCRETE BERM**  
NOT TO SCALE



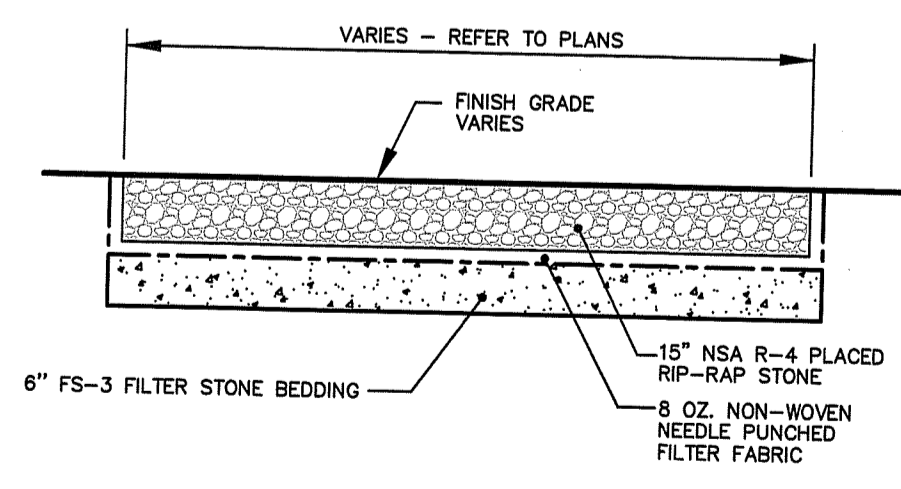
**TYPICAL BITUMINOUS PAVEMENT STRUCTURE SECTION**  
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: **APR 26 2024** FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

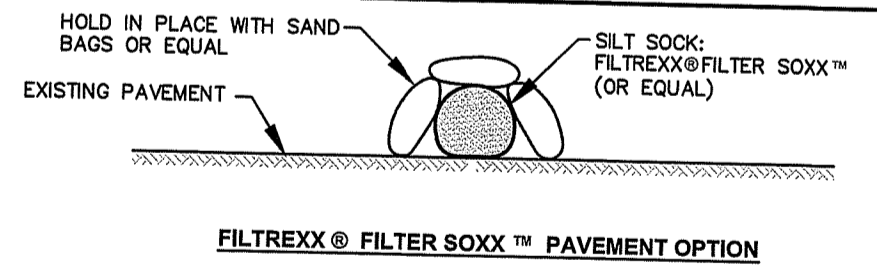
*Nancy L. Freeman*



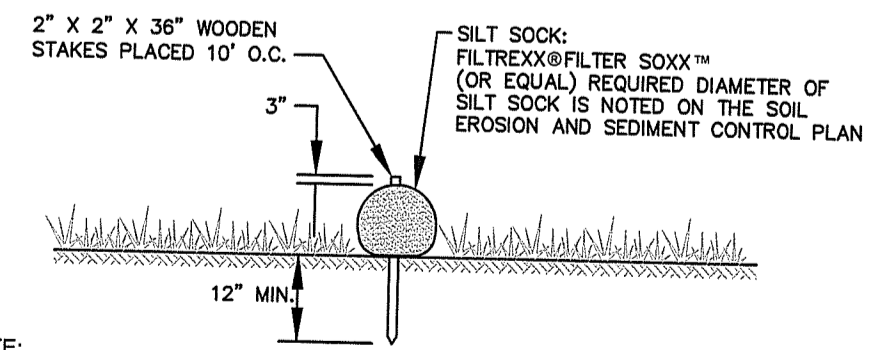
**HANDICAP SIGN MOUNTING DETAIL**  
NOT TO SCALE



**RIP-RAP INLET PROTECTION AND SLOPE**  
TYPICAL SECTION  
NOT TO SCALE

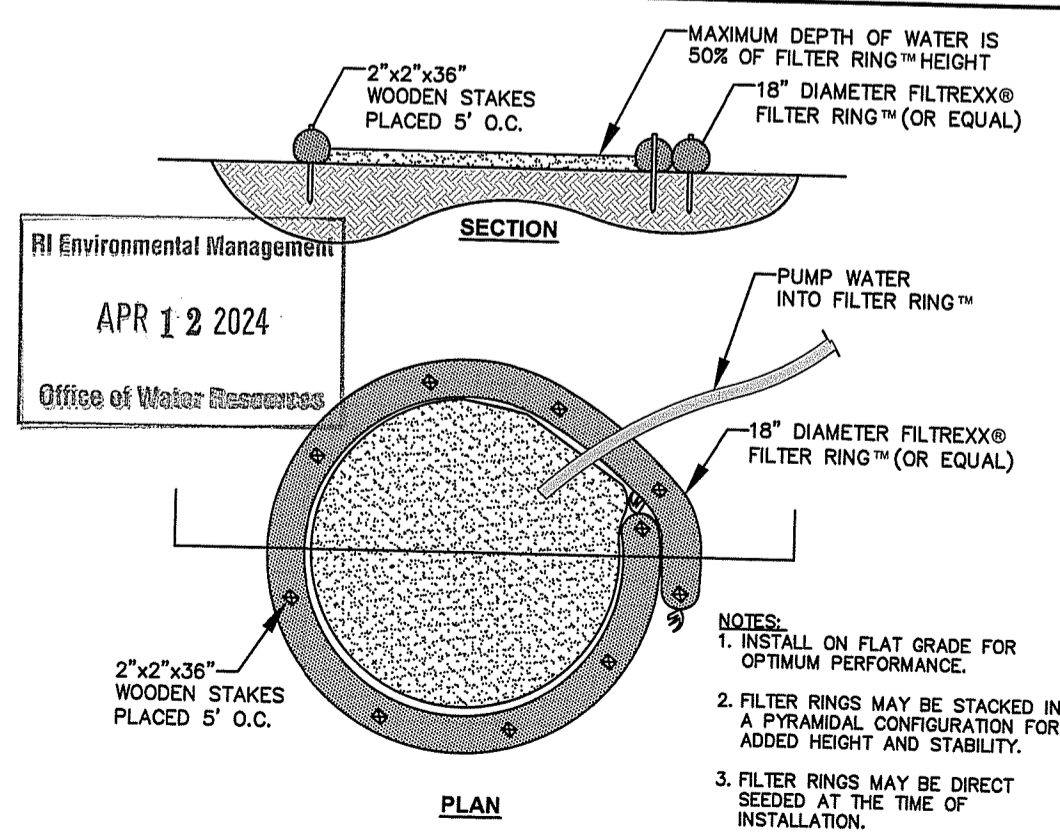


**FILTREXX® FILTER SOXX™ PAVEMENT OPTION**



- NOTE:**
1. SILT FENCE MAY BE USED IN LIEU OF SILT SOCK.
  2. CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS (OR EQUAL) AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.
  3. ALL MATERIAL SHALL MEET FILTREXX SPECIFICATIONS.
  4. COMPOST MATERIAL CAN BE DISPERSED ON SITE OR LEGALLY DISPOSED OFFSITE AS REQUESTED BY THE OWNER.

**SILT SOCK PERIMETER EROSION CONTROL DETAIL**  
NOT TO SCALE



**DEWATERING BASIN DETAIL**  
NOT TO SCALE

- NOTES:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
  2. FILTER RINGS MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
  3. FILTER RINGS MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
  4. THIS TYPICAL INSTALLATION SHALL BE USED FOR DEWATERING OPERATIONS.
  5. DEWATERING FILTER BAGS MAY BE USED IN LIEU OF THE FILTER RING.



**Crossman Engineering**

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
Email: ce@crosmaneng.com

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**BRUCE G. HAGERMAN**  
No. 5787  
REGISTERED PROFESSIONAL ENGINEER

PROPERTY OWNER:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:  
**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRELLVILLE, RHODE ISLAND

PREPARED FOR:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

DRAWING TITLE:  
**MISCELLANEOUS DETAILS  
PLAN NO. 1**

DATE: JANUARY 2024 SCALE: AS NOTED

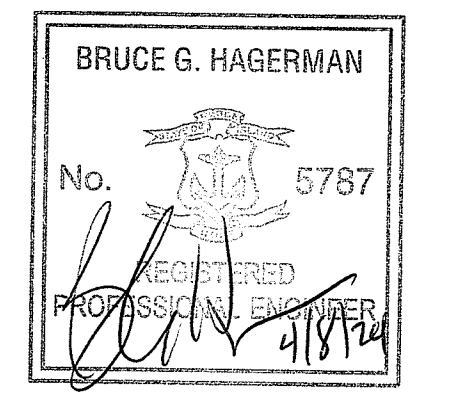
DWG. NAME: 2778-07-DET01 REV2.dwg

**REVISIONS**

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/18/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER:  
**C6.1**  
SHEET: 7 OF 13

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PROPERTY OWNER:  
**CHRISTOPHER DUNNING**  
 136 LAKE VIEW DRIVE  
 CHEPATCHET, RI 02814

PROJECT TITLE:  
**PROPOSED INDUSTRIAL BUILDING**  
 A.P. 213, LOT 16  
 CHARCUTERIE DRIVE  
 BURRILLVILLE, RHODE ISLAND

PREPARED FOR:  
**CHRISTOPHER DUNNING**  
 136 LAKE VIEW DRIVE  
 CHEPATCHET, RI 02814

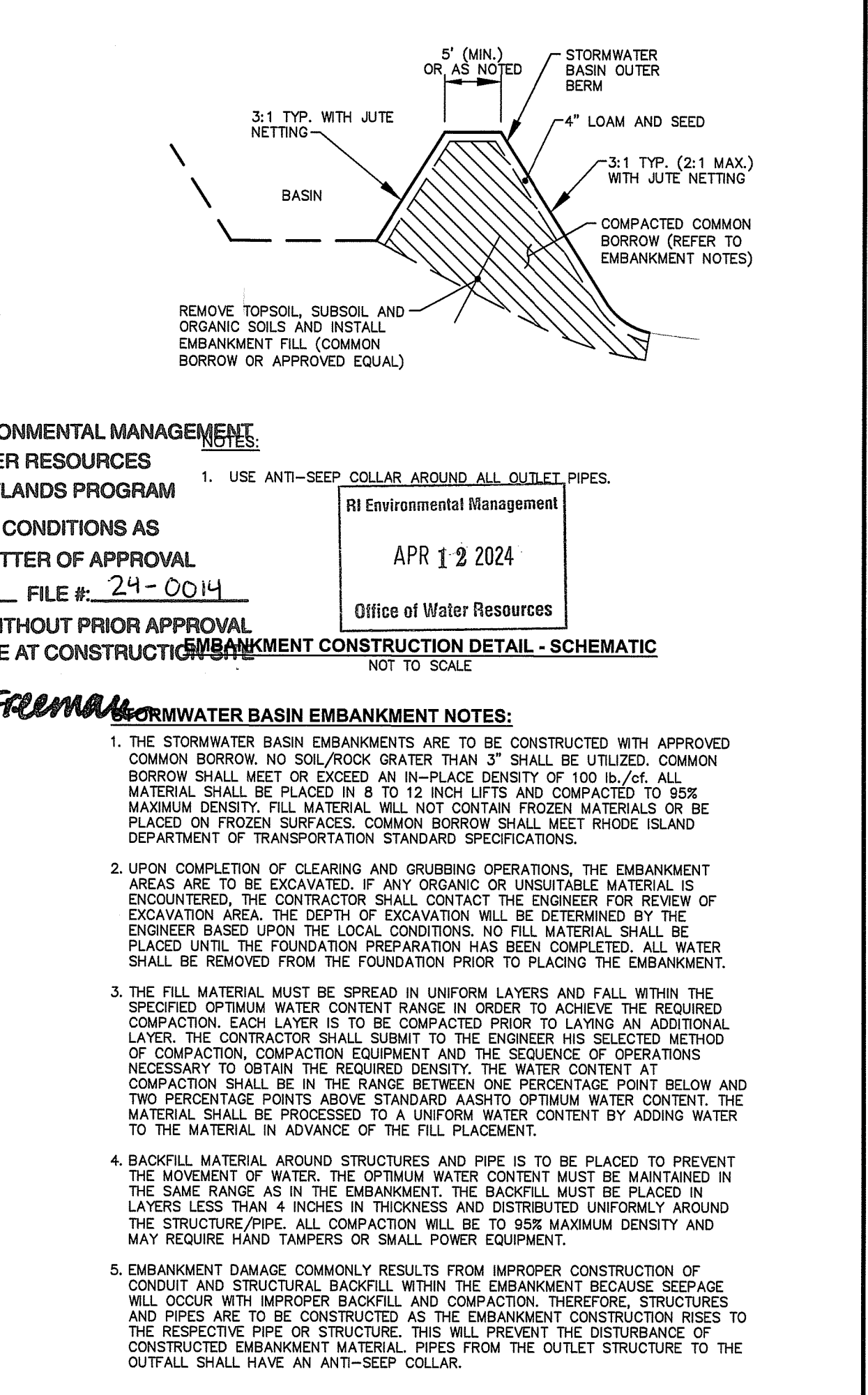
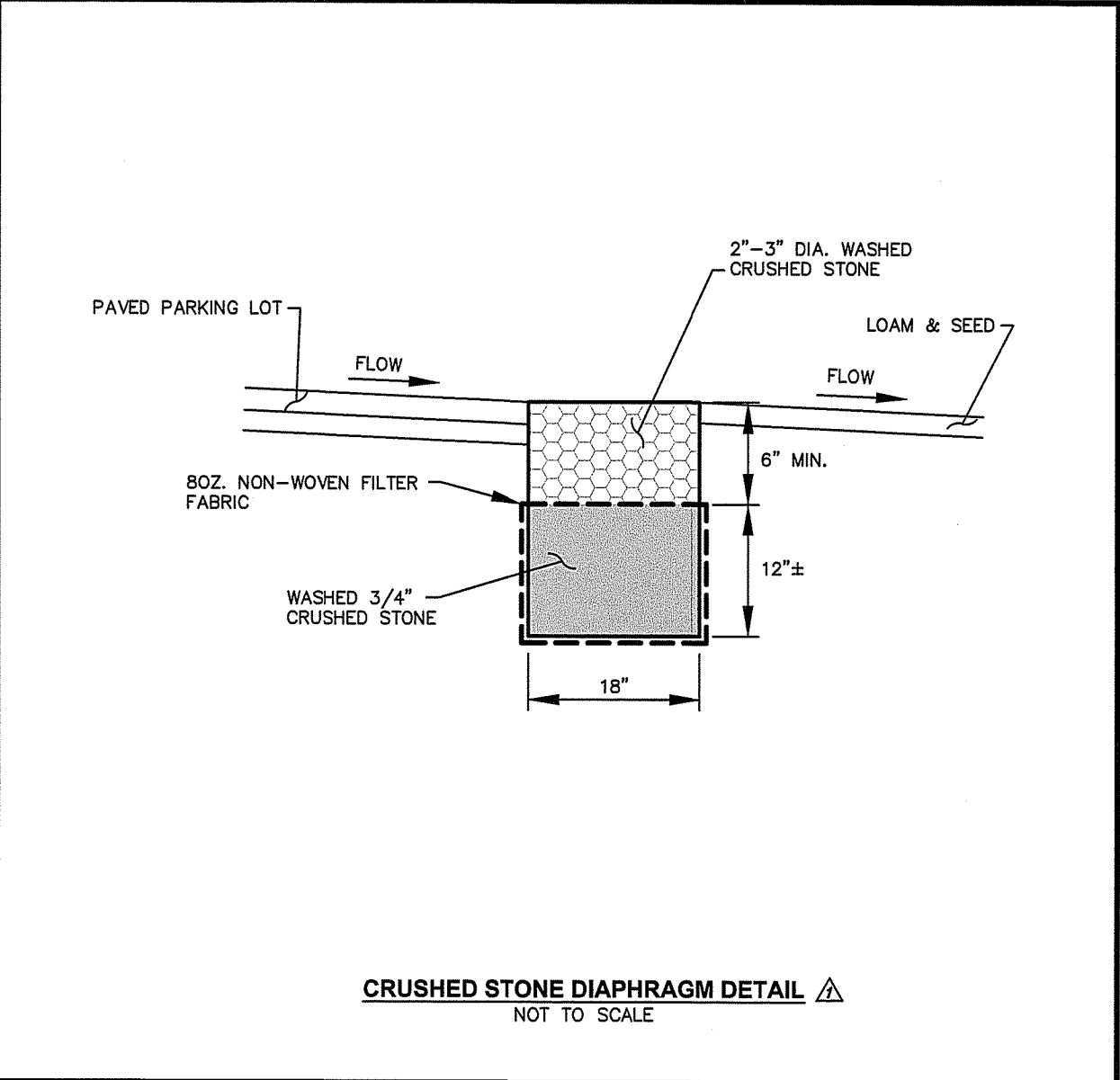
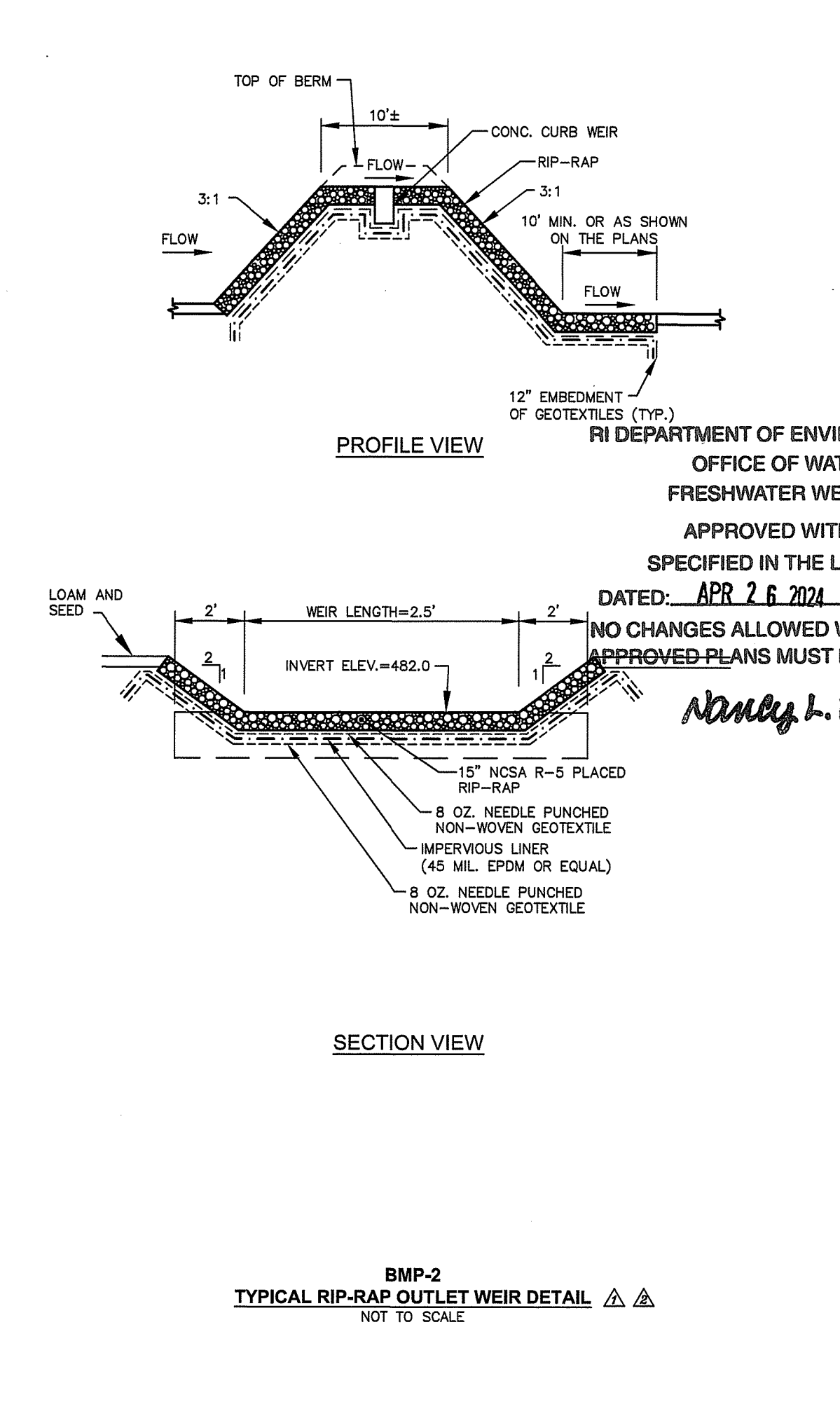
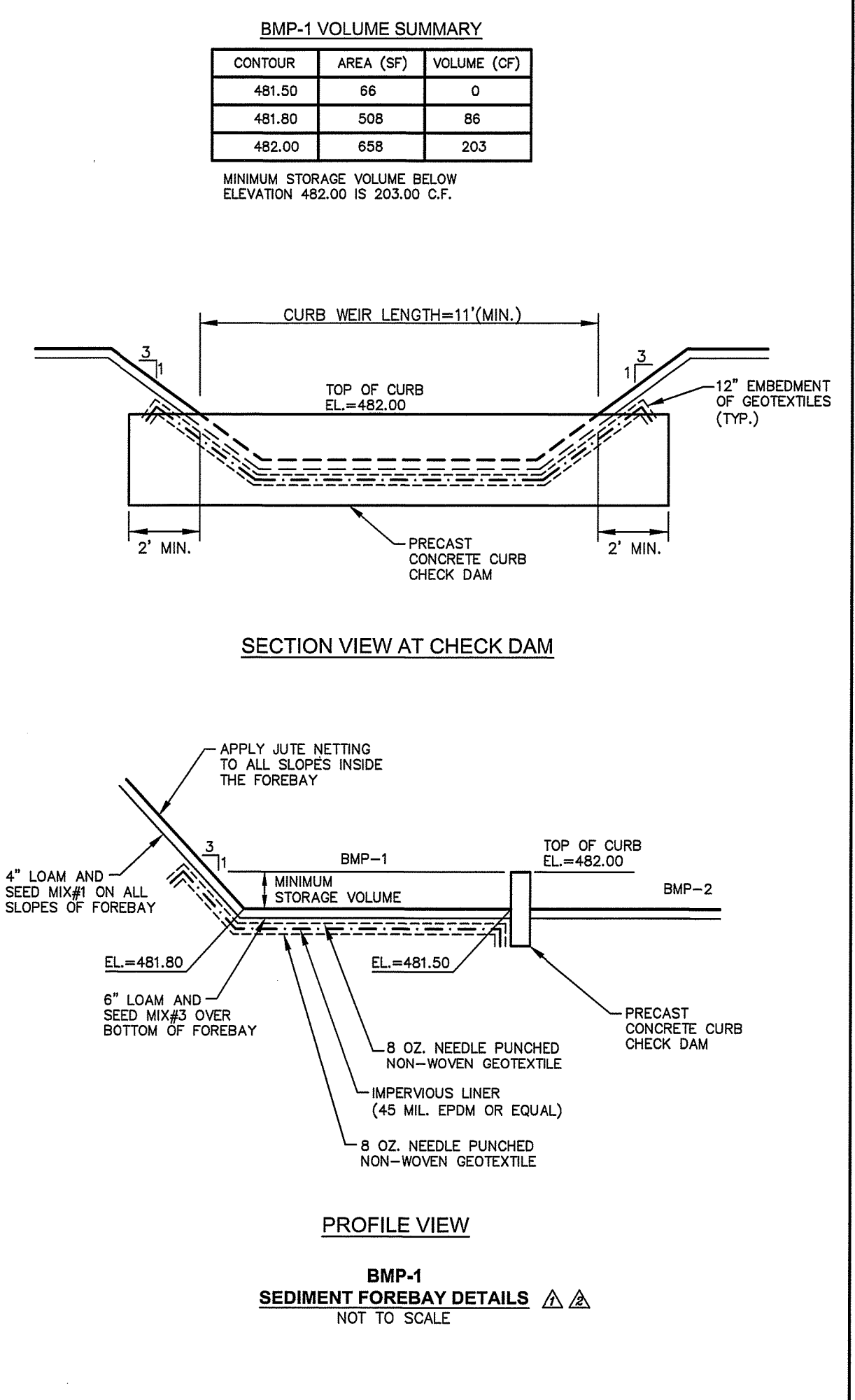
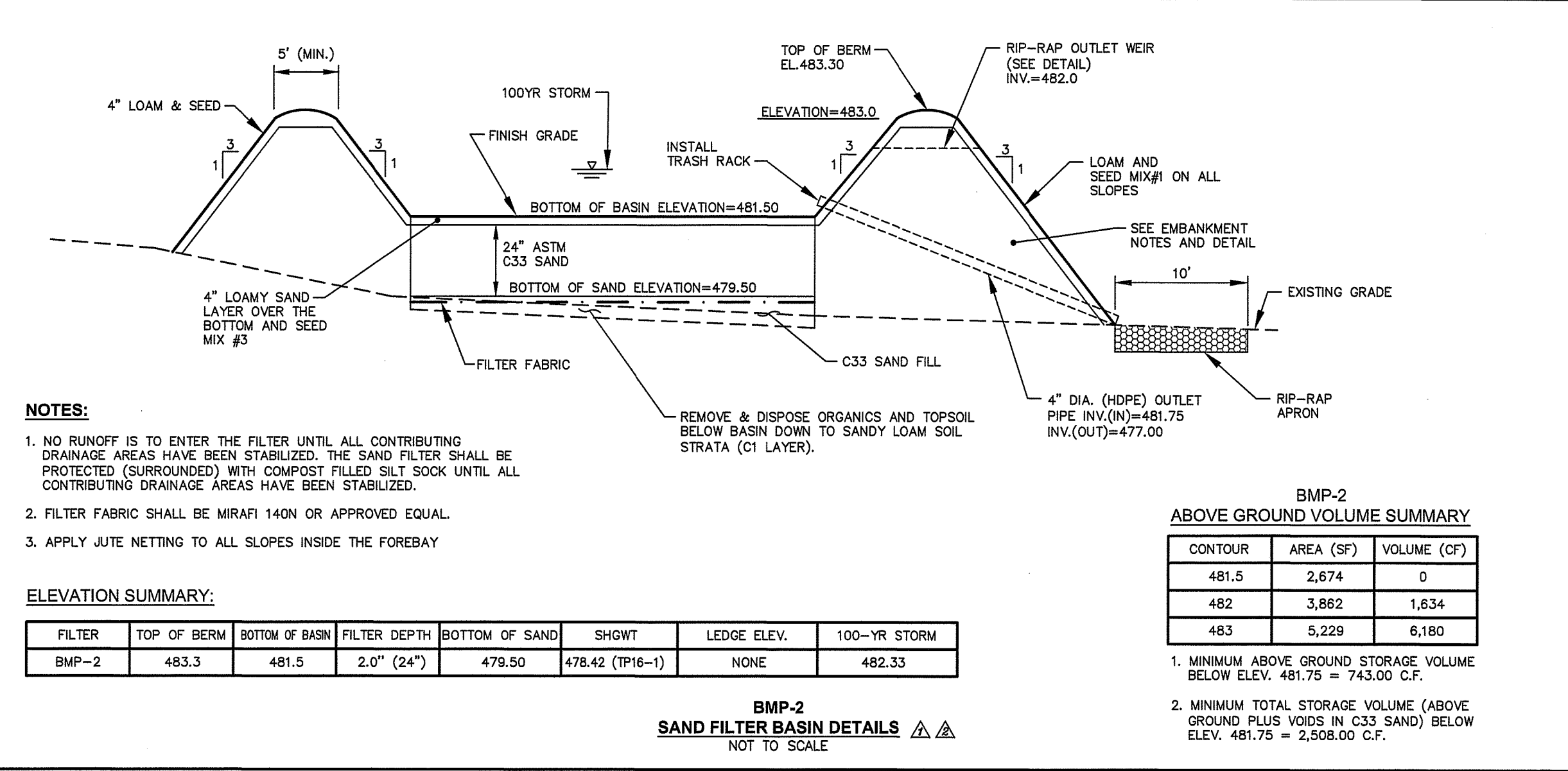
DRAWING TITLE:  
**MISCELLANEOUS DETAILS  
 PLAN NO. 2**

DATE: JANUARY 2024  
 SCALE: AS NOTED

DWG. NAME: 2778-08-DET02 REV2.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	3/18/24
△	2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER  
**C6.2**  
 SHEET: 8 OF 13





**GENERAL WATER NOTES:**

- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CLASS 52 (AMERICAN MANUFACTURER ONLY) AND SHALL MEET THE REQUIREMENTS OF HARRISVILLE FIRE DISTRICT AND ANSI/AWWA C151/A21.51.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST BLOCKS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- CONCRETE THRUST, ANCHOR, OR BEARING BLOCKS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC. WHEN A THRUST BLOCK CANNOT BE PLACED AGAINST UNDISTURBED EARTH, A MECHANICAL RESTRAINED JOINT PIPE MAY BE UTILIZED.
- PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO HARRISVILLE FIRE DISTRICT REQUIREMENTS, AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS SET FORTH IN THE RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT.
- ALL GATE VALVES, FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- WATER PIPE SHALL BE LOCATED AT A DEPTH OF COVER EQUAL TO 5'-0". A MINIMUM OF 10- FEET HORIZONTAL OR 18- INCH VERTICAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES, OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES, OR VICE VERSA. WHERE THE ABOVE SEPARATION DISTANCES CANNOT BE ACHIEVED, THE SANITARY SEWER/STORM DRAIN PIPE SHALL BE ENCASED WITHIN A DUCTILE IRON CARRIER PIPE FOR A DISTANCE EQUAL TO 10- FEET ON EITHER SIDE OF THE AREA OF CONCERN. CONCRETE ENCASEMENT IS NOT ALLOWED. UTILITY SEPARATION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE HARRISVILLE FIRE DISTRICT AND ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5. COMPACTION MUST BE ACCOMPLISHED IN 6" LIFTS. A METALIZED DETECTABLE IDENTIFICATION TAPE 2.5" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- GATE VALVES TO BE AMERICAN DARLING RESILIENT VALVE SEAT MODEL CRS-80 OR AN APPROVED EQUAL.
- CURB BOXES TO BE ERIC STYLE OR AN APPROVED EQUAL.
- FIRE HYDRANTS TO BE AMERICAN DARLING B-84-B OR AN APPROVED EQUAL.
- DOMESTIC WATER SERVICE PIPE SHALL BE H.D.P.E. CONFORMING TO ASTM D1248, TYPE III, GRADE P34, CLASS A, CATEGORY 5, COLOR BLUE WITH NATURAL CLEAR CENTER. AWWA C901, 200PSI (CTS). THE SERVICE PIPE SHALL BE INSTALLED IN ONE CONTINUOUS LENGTH FROM THE MAIN TO THE BUILDING.
- THE FINAL LOCATIONS FOR ALL INTERIOR PIPING, BACK FLOW PREVENTORS AND VALVES SHALL BE VERIFIED WITH THE PLUMBING AND FIRE SPRINKLER SYSTEM SUB-CONTRACTORS.
- THE MANUFACTURER AND MODEL OF BACK FLOW PREVENTORS ARE TO BE VERIFIED BY THE APPROPRIATE PLUMBING AND FIRE SPRINKLER SUB-CONTRACTORS; AND MUST BE APPROVED FOR USE BY THE HARRISVILLE FIRE DISTRICT PRIOR TO ORDERING.
- AS-BUILT DRAWINGS MUST BE FURNISHED BY THE CONTRACTOR TO, AND APPROVED BY, HARRISVILLE FIRE DISTRICT PRIOR TO WATER SERVICE ACTIVATION.
- THE CONTRACTOR MUST INSTALL TEMPORARY BLOW-OFFS AT ALL DEAD-ENDS INSIDE THE PROPOSED BUILDING. THE BLOW-OFFS ARE TO BE USED FOR FLUSHING AND SAMPLES. THE CONTRACTOR MUST FLUSH THE FIRE LINE TO EACH BUILDING USING A 4- INCH TEMPORARY FLUSHING CONNECTION.
- ALL VALVES MUST OPEN RIGHT.
- WATER UTILIZED FOR DISINFECTATION, PRESSURE TESTING AND FLUSHING WHICH IS OBTAINED DIRECTLY FROM THE HARRISVILLE FIRE DISTRICT SYSTEM, MUST FLOW THROUGH AN ISOLATED CONNECTION TO THE HARRISVILLE FIRE DISTRICT SYSTEM VIA AN APPROVED METER, TESTABLE BACK FLOW PREVENTION DEVICE AND JUMPER LINE.
- THE CONTRACTOR SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS, CAPS, PUMPS, PIPE CONNECTIONS, AND OTHER APPURTENANCES, AS NECESSARY, TO OBTAIN SAMPLES AT POINTS NO FURTHER THAN 1,000 FEET APART.
- ANY CONFLICTS ENCOUNTERED DURING CONSTRUCTION MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING WORK.

**WATER SERVICE NOTE:**

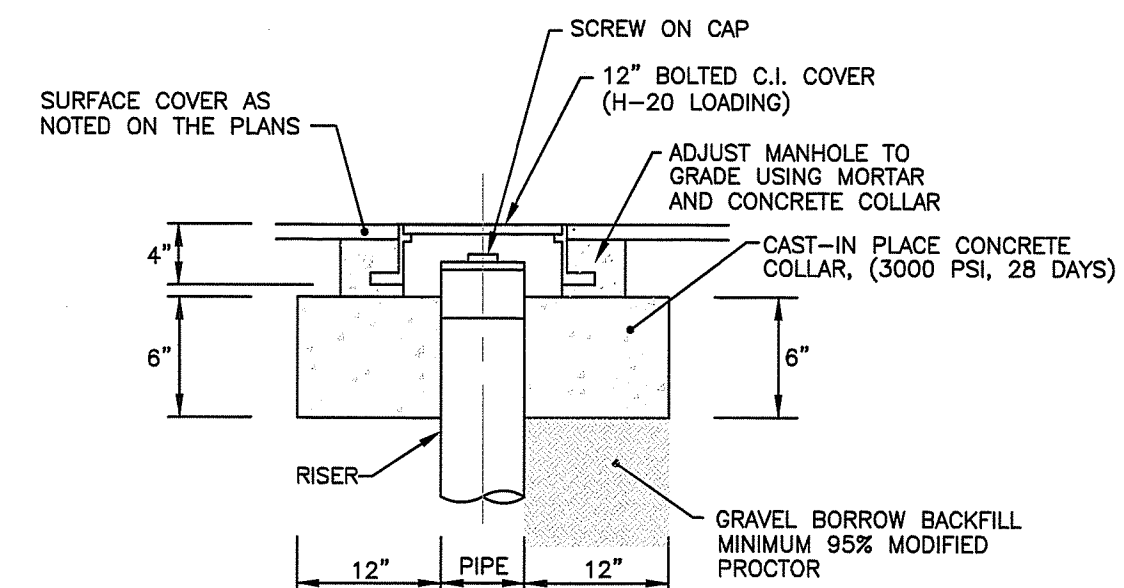
ANY CONFLICT WITH THE PROPOSED WATER SYSTEM MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO ANY CONSTRUCTION.

**GENERAL NOTES**

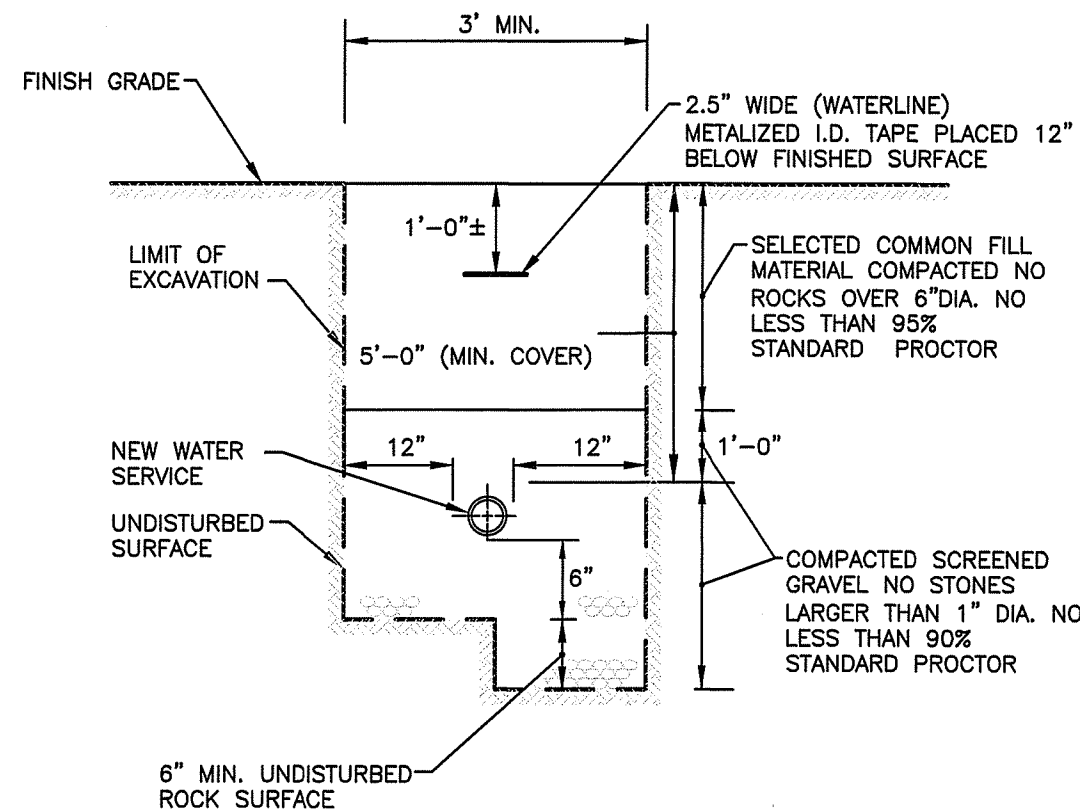
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

**CONSTRUCTION NOTES**

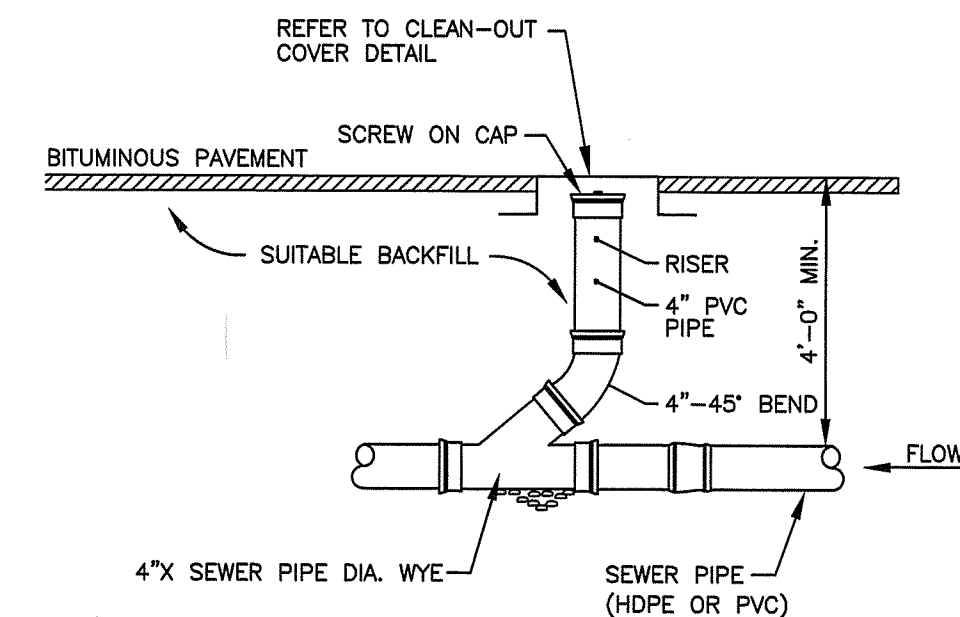
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY SITE EXCAVATION. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE HARRISVILLE FIRE DISTRICT PRIOR TO BACKFILLING ANY PIPING, VALVES, TEES, ETC. FOR INSPECTION AND APPROVAL. FAILURE TO NOTIFY THE HARRISVILLE FIRE DISTRICT MAY RESULT IN THE WORK BEING EXCAVATED FOR INSPECTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATION. AS-BUILT INFORMATION INCLUDES MATERIAL LIST, PIPE DEPTH NOTATIONS AND SWING TIE LOCATIONS (2 MINIMUM) NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED.



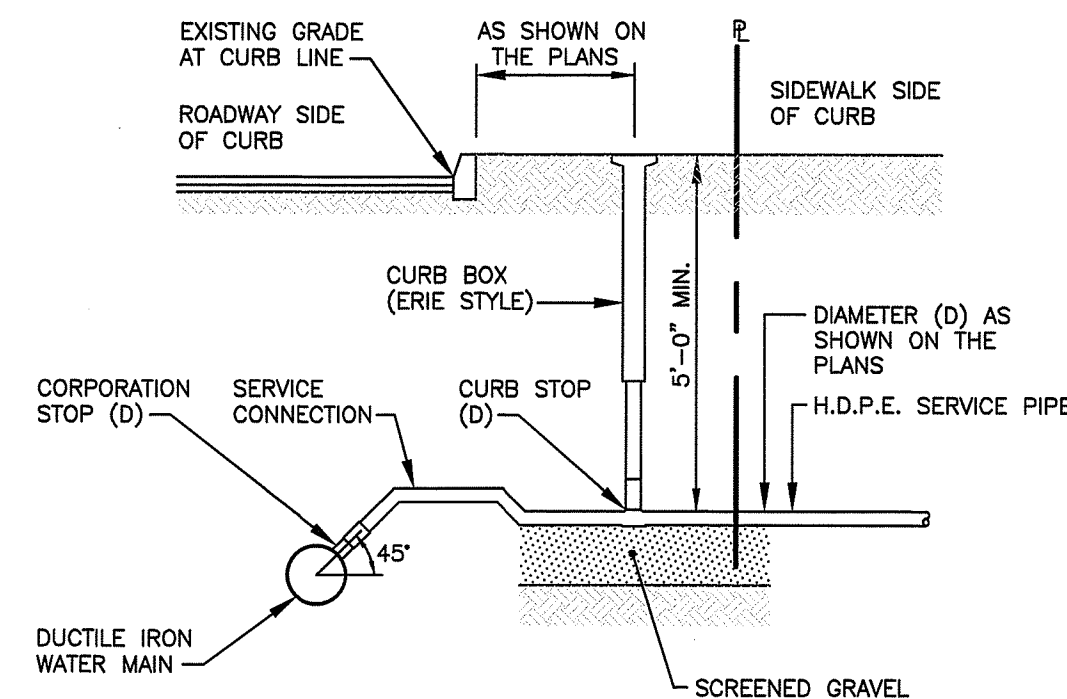
**SEWER CLEAN-OUT COVER DETAIL**  
NOT TO SCALE



**WATER TRENCH DETAIL**  
NOT TO SCALE



**SEWER CLEAN-OUT DETAIL**  
NOT TO SCALE



**NOTES:**

- SERVICE MATERIALS PER CURRENT RULES AND REGULATIONS OF THE HARRISVILLE FIRE DISTRICT, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

**SERVICE CONNECTION DETAIL**  
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: APR 26 2024 FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

RI Environmental Management  
APR 12 2024  
Office of Water Resources

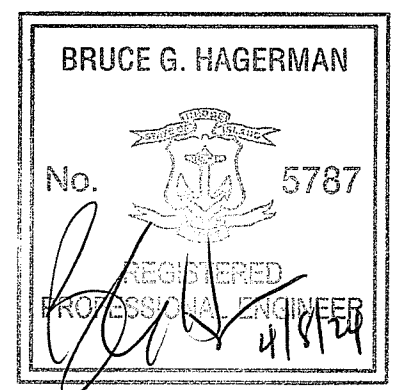


**Crossman Engineering**

Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5666  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700

Email: cel@crossmaneng.com

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PROPERTY OWNER:

**CHRISTOPHER DUNNING**

136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:

**PROPOSED INDUSTRIAL BUILDING**

A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

**CHRISTOPHER DUNNING**

136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

DRAWING TITLE:

**MISCELLANEOUS DETAILS  
PLAN NO. 3**

DATE: JANUARY 2024 SCALE: AS NOTED

DWG. NAME: 2778-09-DET03 REV2.dwg

REVISIONS	NUMBER	REMARKS	DATE
Δ	1	RIDEM COMMENTS	3/18/24
	2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER

**C6.3**

SHEET: 9 OF 13



**Crossman Engineering**

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**BRUCE G. HAGERMAN**  
No. 5787  
REGISTERED PROFESSIONAL ENGINEER  
4/18/24

PROPERTY OWNER:

**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:

**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

DRAWING TITLE:

**MISCELLANEOUS DETAILS  
PLAN NO. 4**

DATE: JANUARY 2024 SCALE: AS NOTED

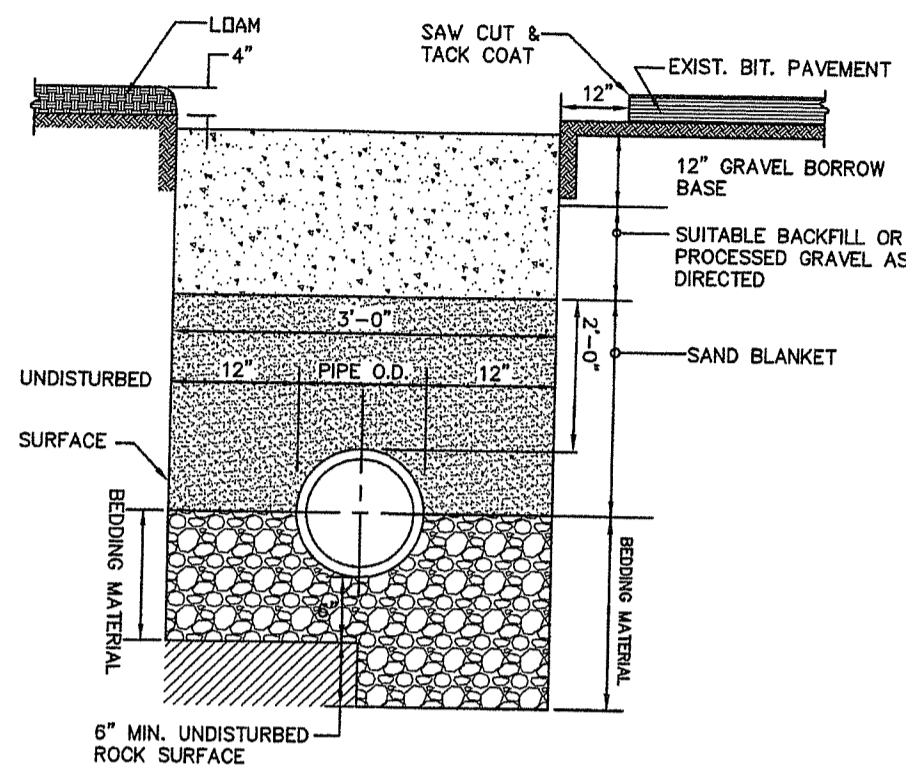
DWG. NAME: 2778-10-DET04 REV2.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	3/16/24
△	2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER

**C6.4**

SHEET: 10 OF 13



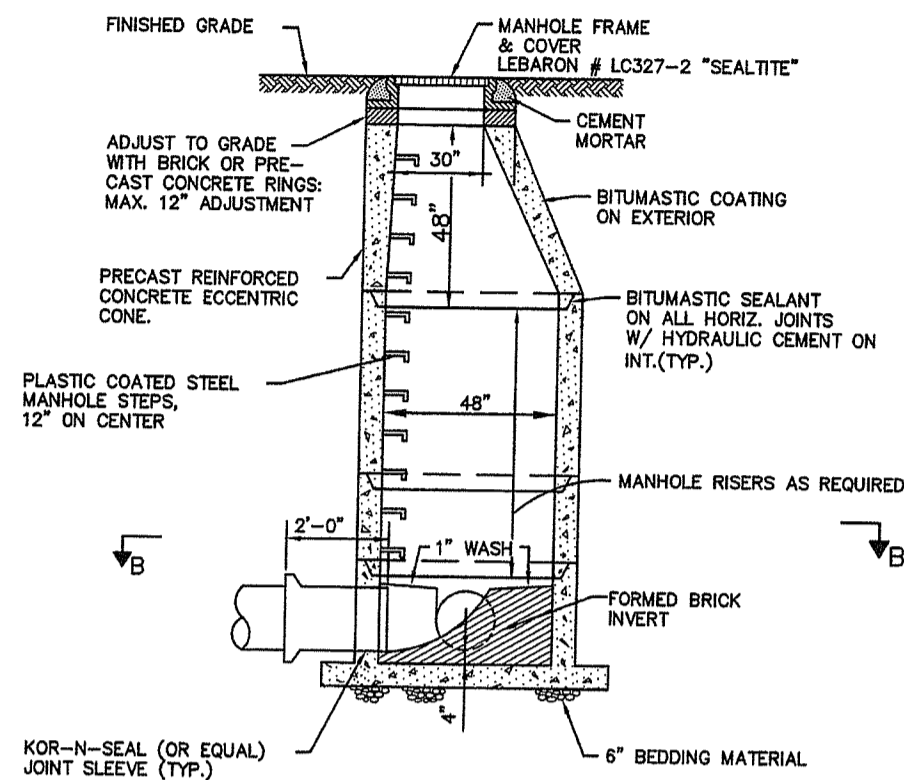
NOTE:  
1. MINIMUM DEPTH OF COVER SHALL BE 4'-0"  
2. PAVEMENT RESTORATION SHALL CONFORM TO THE DEPARTMENT OF PUBLIC WORKS REQUIREMENTS

Town of Burrillville Board of Sewer Commissioners

Figure B-1  
TRENCH DETAIL

Sewer Construction Standards

Date: 2009 Scale: No Scale



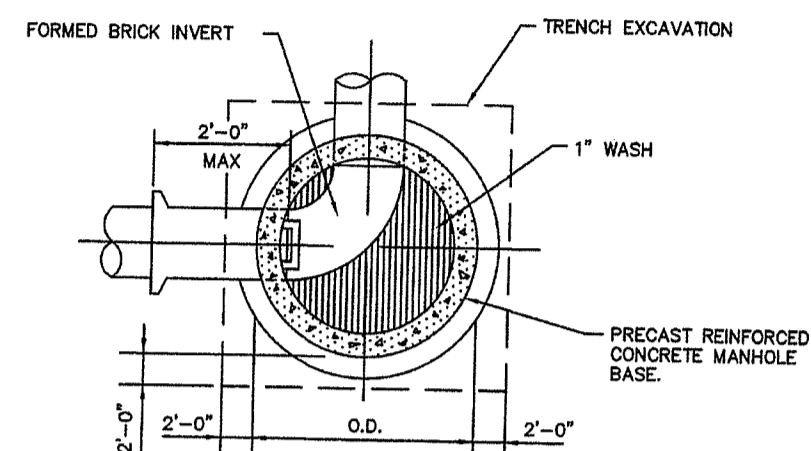
NOTE: ALL LIFTING HOLES TO BE PLUGGED IN AND OUT WITH HYDRAULIC CEMENT.

Town of Burrillville Board of Sewer Commissioners

Figure B-3  
SEWER MANHOLE DETAIL

Sewer Construction Standards

Date: 2009 Scale: No Scale

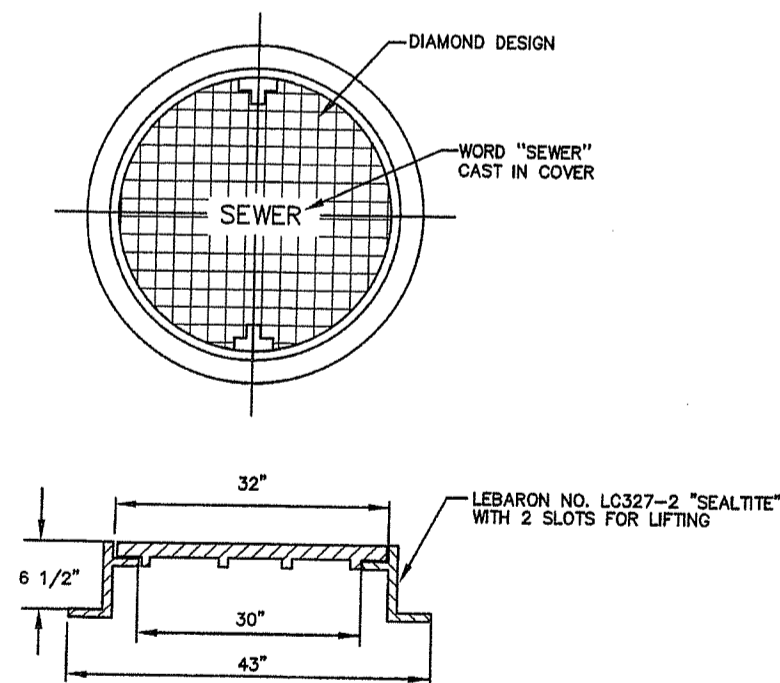


Town of Burrillville Board of Sewer Commissioners

Figure B-4  
PRECAST MANHOLE DETAIL

Sewer Construction Standards

Date: 2009 Scale: No Scale



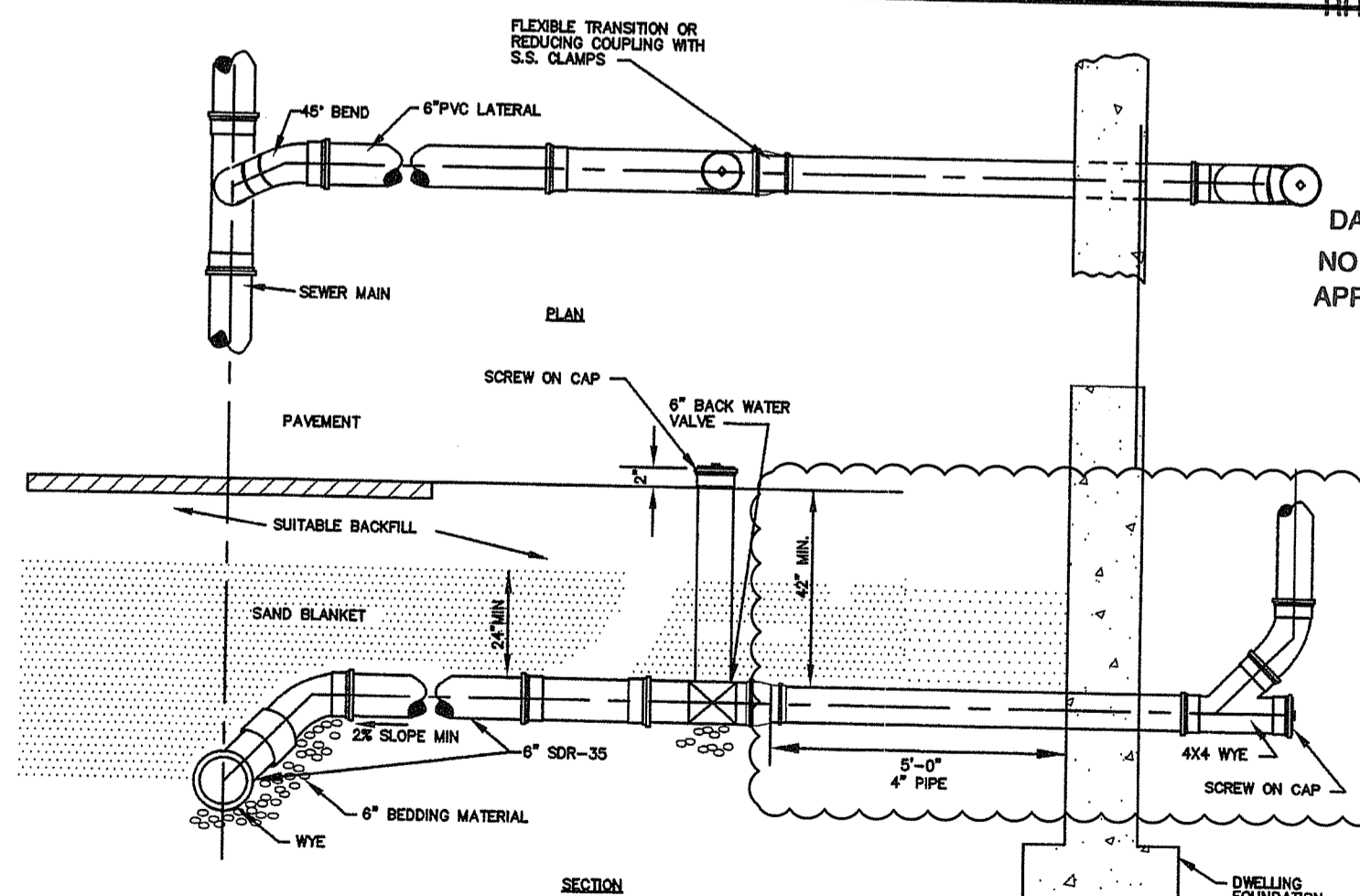
NOTE:  
1. VENTILATION HOLES OF ANY SIZE ARE NOT ALLOWED

Town of Burrillville Board of Sewer Commissioners

Figure B-9  
SANITARY MANHOLE FRAME & COVER

Sewer Construction Standards

Date: 2009 Scale: No Scale



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: APR 26 2024 FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Nancy L. Freeman*

NOTE:  
EXTEND 6" PVC SEWER TO THE PROPOSED BUILDING. FINAL INTERIOR PLUMBING DESIGN TO BE PREPARED BY THE PROJECT PLUMBER. △

RI Environmental Management  
APR 12 2024  
Office of Water Resources

Town of Burrillville Board of Sewer Commissioners

Figure B-10  
STANDARD HOUSE CONNECTION DETAIL

Sewer Construction Standards

Date: 2009 Scale: No Scale

**GENERAL SEWER NOTES:**

- INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND SPECIFICATIONS AND REQUIREMENTS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND AND THE SEWER CONSTRUCTION STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, OF THE BURRILLVILLE SEWER COMMISSION.
- ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS OF THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND PRIOR TO ACCEPTANCE.
- AS-BUILT/RECORD DRAWINGS SHALL BE FURNISHED, REVIEWED AND APPROVED BY THE BURRILLVILLE SEWER COMMISSION PRIOR TO FINAL ACCEPTANCE OF THE NEW SEWERAGE FACILITIES.
- NO FLOW WILL BE ACCEPTED UNTIL ALL REQUIREMENTS OF THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND ARE COMPLETED AND A COMPLETION CERTIFICATE IS ISSUED.
- AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, THE BURRILLVILLE SEWER COMMISSION SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS IN ADVANCE OF BEGINNING ANY WORK ON A SEWER IN ORDER FOR THE BURRILLVILLE SEWER COMMISSION TO ARRANGE FOR THEIR INSPECTOR. NO CONSTRUCTION MAY BEGIN NOR WILL ANY INSPECTIONS BE SCHEDULED UNTIL ANY AND ALL CONDITIONS OF THE APPROVAL ARE COMPLETE AND THE CONSTRUCTION PERMIT APPLICATION HAS BE DULY SIGNED BY THE DRAIN-LAYER PERFORMING THE WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS, SPECIAL DETAILS AND SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDDED.
- LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- RELATION TO WATER LINES:
  - HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN OR SERVICE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, THE SEWER LINE SHALL BE CONSTRUCTED OF AWWA C900 POLYVINYL CHLORIDE OR CLASS 52 DUCTILE IRON PRESSURE PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE WATER MAIN.
  - VERTICAL SEPARATION: WHENEVER A SEWER MUST CROSS UNDER WATER MAINS OR SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18-INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE RELOCATED TO PROVIDE THIS SEPARATION, THE SEWER LINE SHALL BE CONSTRUCTED OF AWWA C900 POLYVINYL CHLORIDE OR CLASS 52 DUCTILE IRON PRESSURE PIPE FOR A DISTANCE OF 10- FEET ON EACH SIDE OF THE WATER MAIN.
  - WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED FOR THE SEWER INSTALLATION.
- THE PROPOSED GRAVITY SANITARY SEWER PIPES SHALL BE 6" POLYVINYL CHLORIDE (PVC) SDR-35, UNLESS OTHERWISE SHOWN ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATION OF THE EXISTING SEWER INVERTS AT THE CONNECTION MANHOLE PRIOR TO INSTALLATION. THE CONTRACTOR IS ALSO RESPONSIBLE TO VERIFY THE ELEVATION OF THE EXISTING SEWER INVERT AT THE WYE CONNECTION PRIOR TO INSTALLATION.

**CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST SEVEN (7) DAYS PRIOR TO ANY SITE EXCAVATION. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
- PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE BURRILLVILLE SEWER COMMISSION, THE CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE SET OF "AS-BUILT RECORD DRAWINGS" FOR REVIEW AND APPROVAL. REFER TO SECTION 1.7 AS-BUILT/RECORD DRAWING OF THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND FOR THE REQUIRED LIST OF GENERAL STANDARDS.

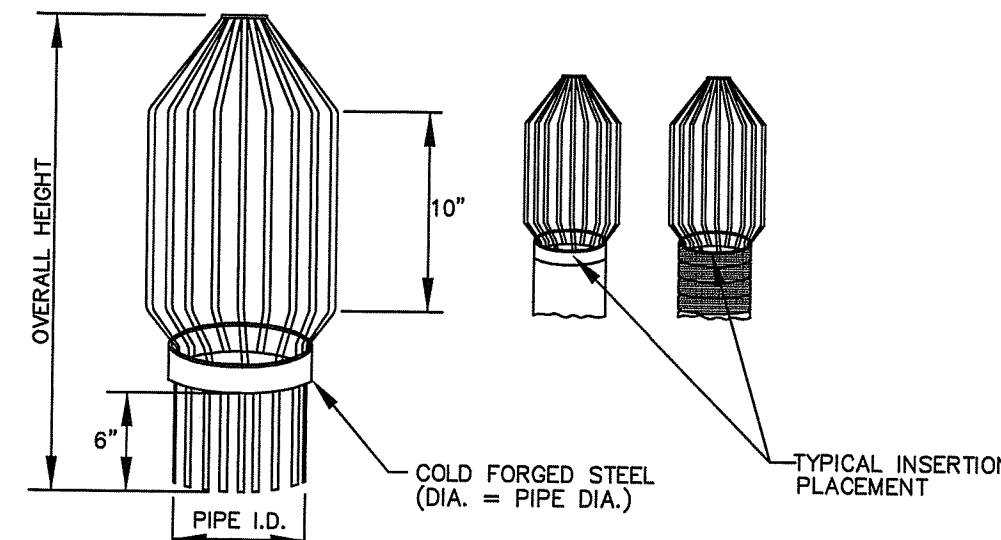
**GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH THE RULES AND REGULATIONS GOVERNING THE PUBLIC SANITARY SEWER SYSTEM IN THE TOWN OF BURRILLVILLE, RHODE ISLAND.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

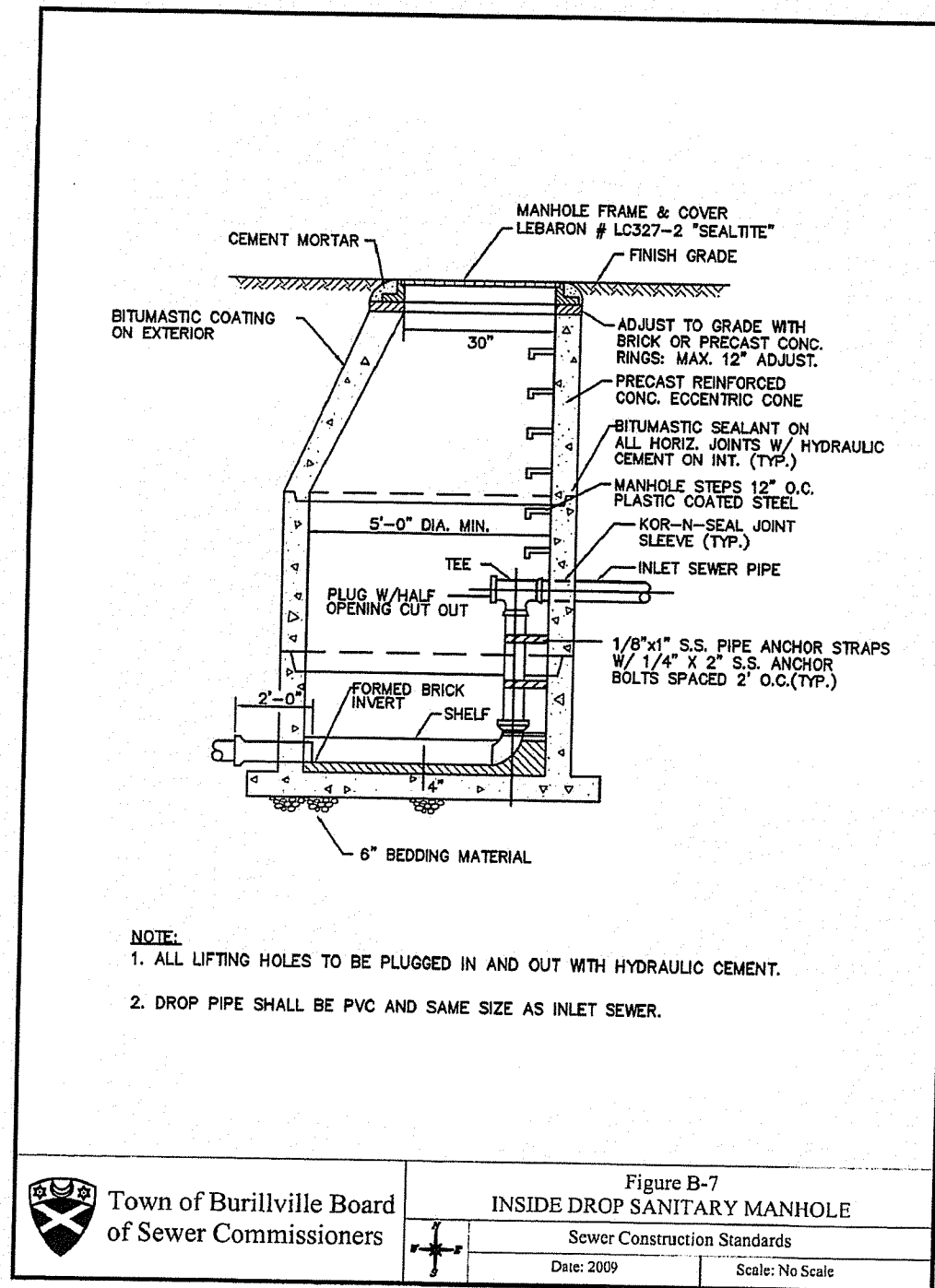
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
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 DATED: APR 26 2024 FILE #: 24-0014  
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*Nancy L. Freeman*

PIPE DIA.	BAR DIA.	BAR SPACING	OVERALL O.D.	OVERALL HEIGHT
4"	1/4"	1 1/8"	5 1/2"	17 3/8"
6"	1/4"	1 1/8"	7 1/2"	18"
8"	1/4"	1 1/8"	9 1/2"	19 1/8"
12"	1/4"	1 1/8"	13 1/2"	21 1/8"
15"	5/16"	1 1/2"	16 1/2"	22 1/8"
18"	5/16"	1 1/2"	19 1/2"	23 1/2"
24"	5/16"	2"	25 1/2"	26 1/2"
36"	5/16"	2"	37 1/2"	33 1/8"



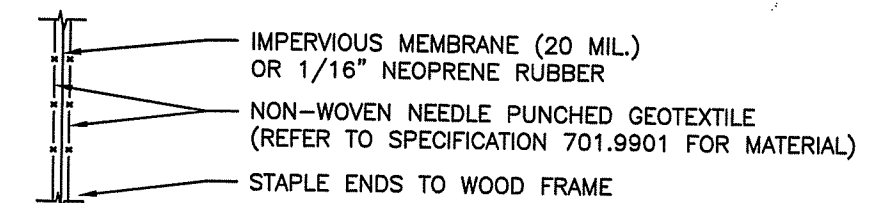
**TYPICAL TRASH RACK DETAIL**  
NOT TO SCALE



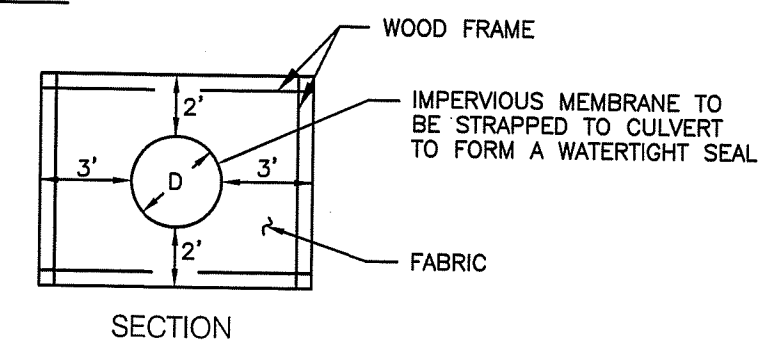
NOTE:  
 1. ALL LIFTING HOLES TO BE PLUGGED IN AND OUT WITH HYDRAULIC CEMENT.  
 2. DROP PIPE SHALL BE PVC AND SAME SIZE AS INLET SEWER.

Town of Burrillville Board of Sewer Commissioners  
 Figure B-7  
 INSIDE DROP SANITARY MANHOLE  
 Sewer Construction Standards  
 Date: 2009 Scale: No Scale

RI Environmental Management  
 APR 12 2024  
 Office of Water Resources



**FABRIC DETAIL**



**SECTION**

**NOTES:**

- ALL CULVERTS EXITING THE STORMWATER TREATMENT BASIN SHALL HAVE AN "ANTI-SEEP COLLAR" INSTALLED AT THEIR MID LENGTH.
- THE STRAP SHALL BE SUBJECT TO ENGINEER'S APPROVAL. THE STRAP MAY BE A POLYPROPYLENE CORD WITH A TENSILE STRENGTH OF 200 POUNDS AND SHALL PROVIDE A PERMANENT, NON-SLIP, TIE.
- PREFABRICATED ANTI-SEEP COLLAR IS AN ACCEPTABLE ALTERNATIVE.

**ANTI-SEEP COLLAR DETAILS**  
NOT TO SCALE



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BRUCE G. HAGERMAN  
 No. 5787  
 REGISTERED PROFESSIONAL ENGINEER  
 4/18/24

PROPERTY OWNER:

**CHRISTOPHER DUNNING**  
 136 LAKE VIEW DRIVE  
 CHEPATCHET, RI 02814

PROJECT TITLE:

**PROPOSED INDUSTRIAL BUILDING**

A.P. 213, LOT 16  
 CHARCUTERIE DRIVE  
 BURRILLVILLE, RHODE ISLAND

PREPARED FOR:

**CHRISTOPHER DUNNING**  
 136 LAKE VIEW DRIVE  
 CHEPATCHET, RI 02814

DRAWING TITLE:

**MISCELLANEOUS DETAILS  
 PLAN NO. 5**

DATE: JANUARY 2024 SCALE: AS NOTED

DWG. NAME: 2778-11-DET05 REV2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/18/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER

**C6.5**

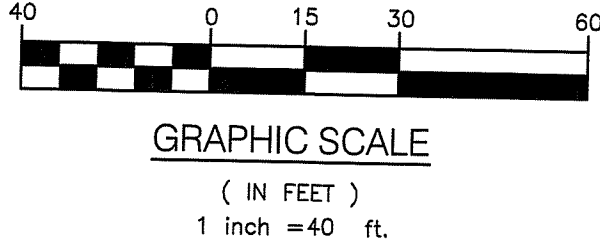
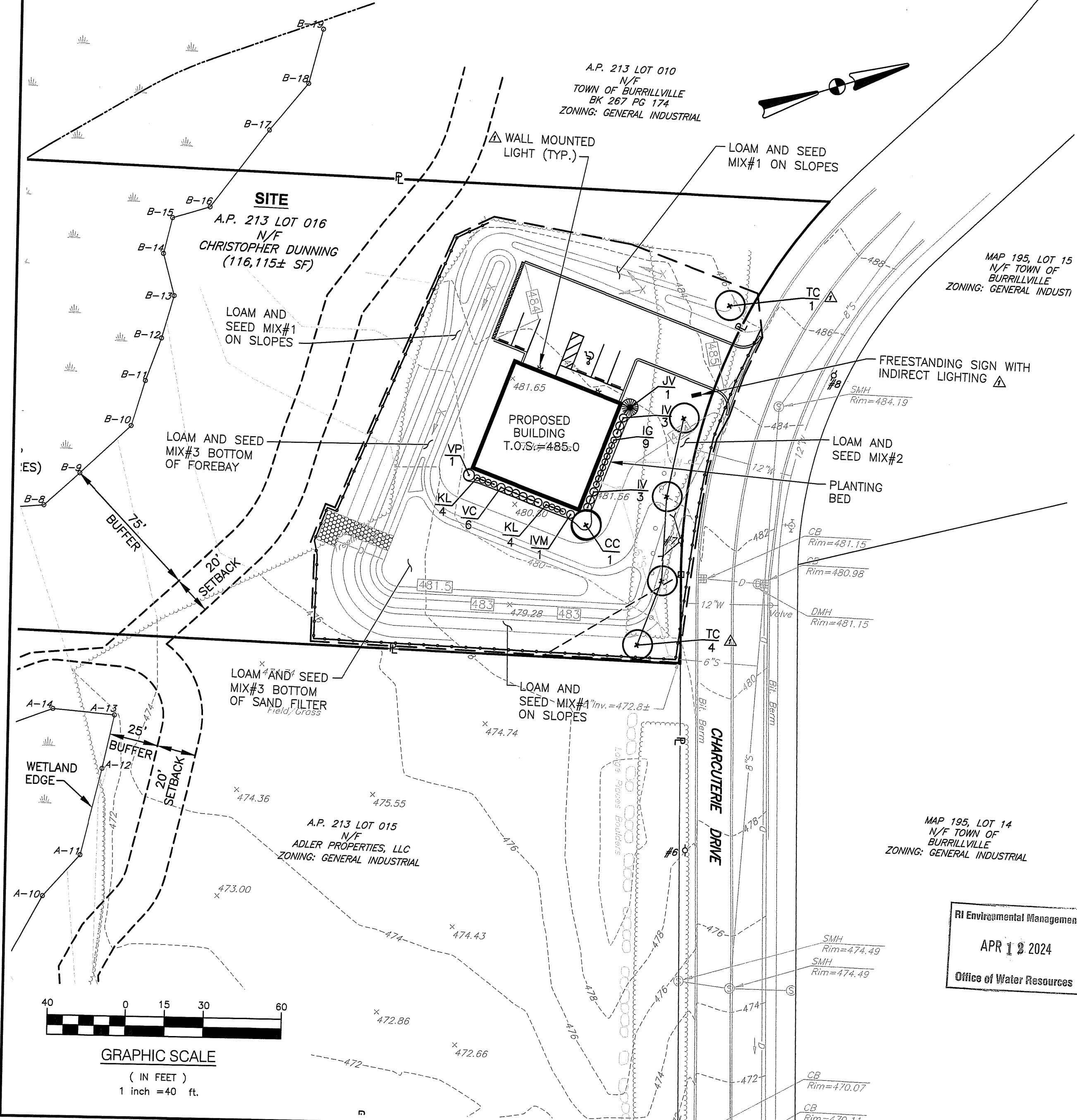
SHEET: 11 OF 13

**PLANTING SCHEDULE**

TREES			
Key	Botanical Name Common Name	Size	Remarks
CC	<i>Cercis canadensis</i> Eastern Redbud	1-1/2"-2" cal.	B&B
JV	<i>Juniperus virginiana</i> Eastern Red Cedar	6-7'	B&B
TC	<i>Tilia cordata</i> Greenspire	1-1/2"-2" CAL.	B&B
SHRUBS			
IG	<i>Ilex glabra</i> 'Shamrock' Shamrock Inkberry	#5	Cont.
IV	<i>Ilex verticillata</i> 'Sparkleberry' Female Compact Winterberry	#5	Cont.
IVM	<i>Ilex verticillata</i> 'Sparkleberry' Male Compact Winterberry	#3	Cont.
KL	<i>Kalmia latifolia</i> 'Little Linda' Compact Mountain Laurel	#3	Cont.
VC	<i>Viburnum carlesii</i> 'Compactum' Compact Koreanspice Viburnum	#5	Cont.
VP	<i>Viburnum plicatum tomentosum</i> 'Shasta' Doublefile Viburnum	#5	Cont.

**LANDSCAPE CONSTRUCTION NOTES**

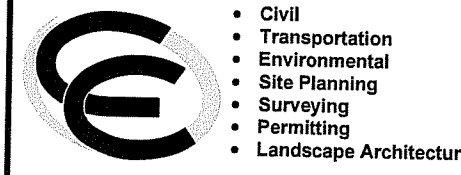
- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY. CALIPER MEASUREMENTS FOR ALL NEW PLANT STOCK TO BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES AND TWELVE (12) INCHES ABOVE GRADE FOR TREES OVER FOUR (4) INCHES. ALL TREES SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE FINISHED GRADE WHEN TREES ARE LOCATED WITHIN VEHICULAR AND PEDESTRIAN TRAVEL WAYS.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLETT PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.
- NO DISPOSAL OF PAINT SOLVENTS OR OTHER FOREIGN MATTER WITHIN TREE DRIP LINE.
- LANDSCAPE CONTRACTOR SHALL REMOVE TREE STAKES AFTER ONE YEAR OF INSTALLATION. MAINTAIN ALL LANDSCAPING THROUGHOUT THE ENTIRE LIFE OF THE PROJECT.



RI Environmental Management  
APR 12 2024  
Office of Water Resources

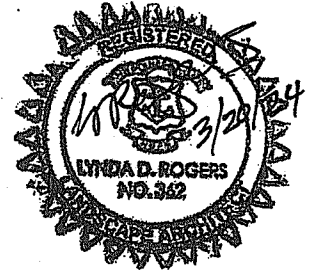
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DATED: APR 26 2024 FILE #: 24-0014  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*



**Crossman Engineering**  
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PROPERTY OWNER:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

PROJECT TITLE:  
**PROPOSED INDUSTRIAL BUILDING**  
A.P. 213, LOT 16  
CHARCUTERIE DRIVE  
BURRILLVILLE, RHODE ISLAND

PREPARED FOR:  
**CHRISTOPHER DUNNING**  
136 LAKE VIEW DRIVE  
CHEPATCHET, RI 02814

DRAWING TITLE:  
**LANDSCAPE PLAN**

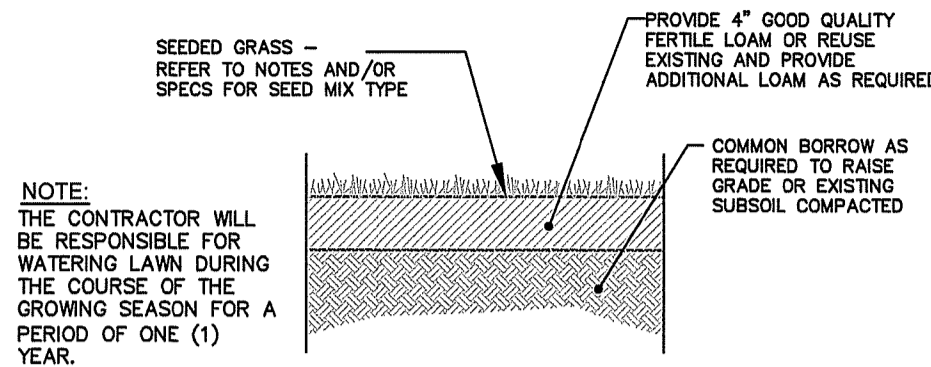
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REVISIONS	NUMBER	REMARKS	DATE
△	1	RIDEM COMMENTS	3/18/24
	2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER  
**L1.0**  
SHEET: 12 OF 13

**SEEDING NOTES**

- LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" OVER ALL AREAS DESIGNATED ON PLANS.
- SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
- FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
- LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
- APPLICATION OF SEED:
  - RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
  - SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:  
 SPRING SEEDING: MARCH 15 TO MAY 31  
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
- THE CONTRACTOR SHALL KEEP ALL SEEDED AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
- DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
- OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
- REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
- SEED:
  - SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:



**SEED MIX No. 1 (SLOPES)**

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDSFOOT TREFLOIL	15
PERENNIAL RYE GRASS	10

APPLICATION RATE = 200 lbs. / ACRE

**SEED MIX No. 2 (MOWED/LAWN AREAS)**

TYPE	% BY WEIGHT
NASSAU KENT BLUE	60
JAMESTOWN CHEWINGS FESCUE	20
PALMER PERENNIAL RYE GRASS	20

APPLICATION RATE = 200 lbs. / ACRE

**SEED MIX No. 3 (REFER TO STORMWATER BASIN SEED MIX)**

**STORMWATER BASIN SEED MIX (SEED MIX NO. 3)**

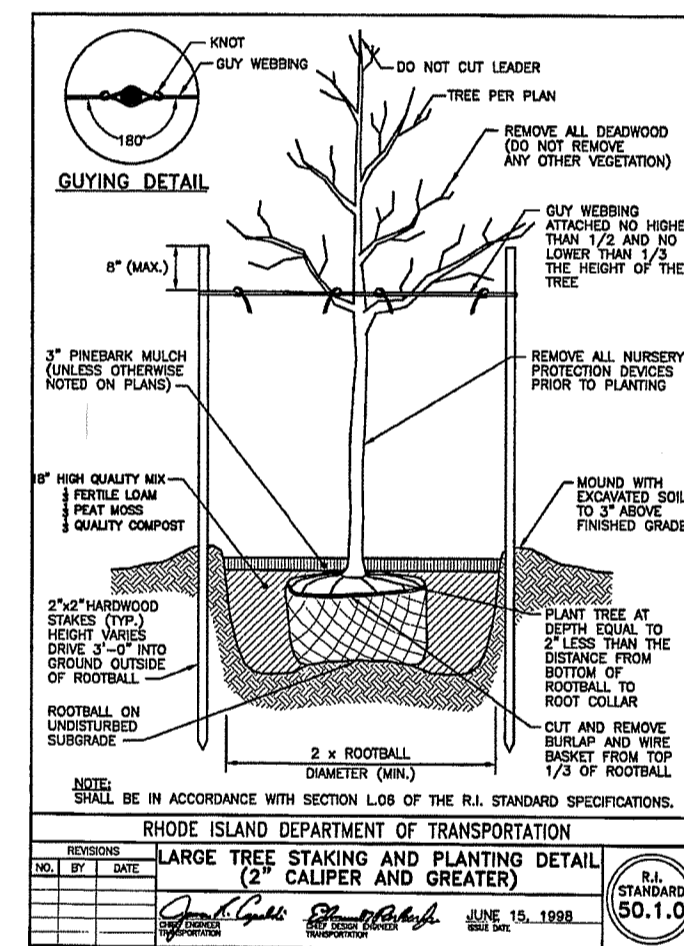
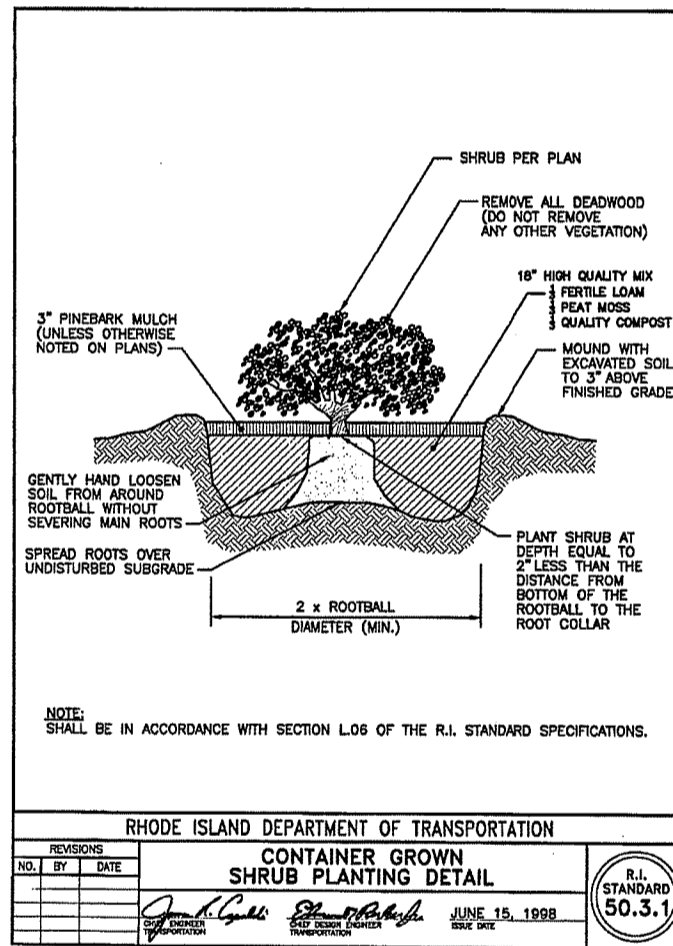
- APPLICATION RATE = 15-25 LBS. / ACRE (SEASONALLY FLOODED MIX) (BASIN BOTTOM AREA)
- 20% FOX SEDGE, PA ECOTYPE (CAREX VULPINOIDEA, PA ECOTYPE)
  - 16% VIRGINIA WILD RYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE)
  - 15% RIVERBANK WILD RYE, PA ECOTYPE (ELYMUS RIPARIUS, PA ECOTYPE)
  - 15% JAPANESE MILLET (ECHINOCHLOA CRUSGALLI VAR. FRUMENTACEA)
  - 15% DEER TONGUE, 'TIOGA' (PANICUM CLANDESTINUM (DICHANTHELIUM C.), 'TIOGA')
  - 9% BLUNT BROOM SEDGE, PA ECOTYPE (CAREX SCOPARIA, PA ECOTYPE)
  - 5% SWITCHGRASS, 'CAVE-IN-ROCK' (PANICUM VIRGATUM, 'CAVE-IN-ROCK')
  - 2% GREEN BULRUSH, PA ECOTYPE (SCIRPUS ATROVIRENS, PA ECOTYPE)
  - 2% AWL SEDGE, PA ECOTYPE (CAREX STIPATA, PA ECOTYPE)
  - 1% AUTUMN BENTGRASS, APB (AGROSTIS PERENNANS, APB)

**TOPSOIL MIX FOR STORMWATER BASINS**

PLANTING SOIL SHALL MEET THE BELOW COMPOSITION:

SAND: 85-88%  
 SOIL FINES: 8-12% (NO MORE THAN 2% CLAY)  
 ORGANIC MATTER: 3-5%

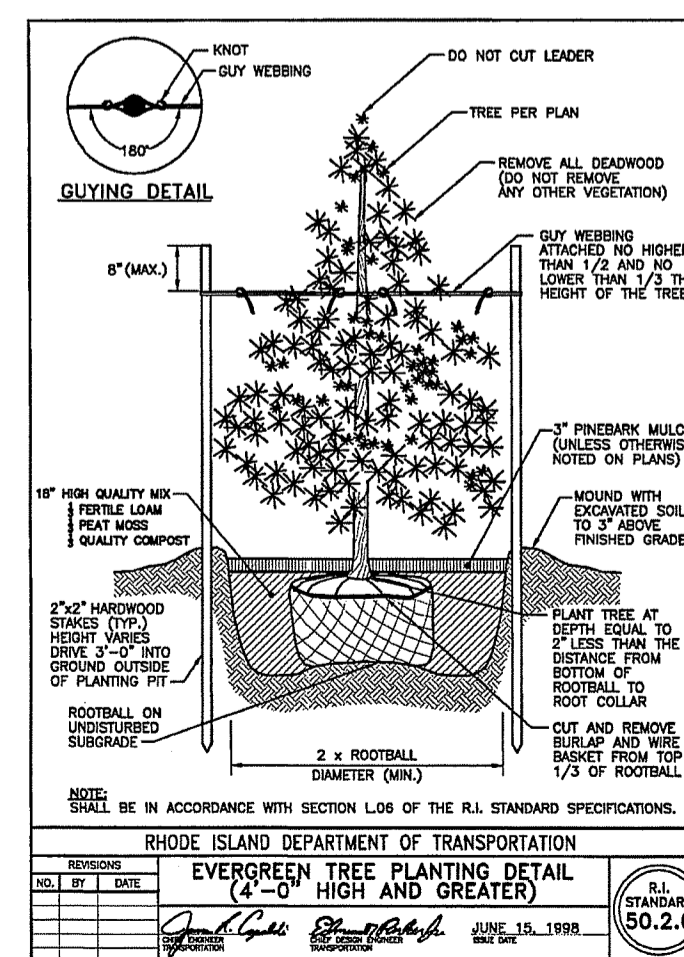
**LOAM-SEED DETAIL AND NOTES**  
NOT TO SCALE



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: JANUARY 2024 SCALE: AS NOTED  
 DWG. NAME: 2778-13-LANDET REV2.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	RIDEM COMMENTS	3/16/24
2	RIDEM COMMENTS	4/8/24

DRAWING NUMBER  
**L2.0**  
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