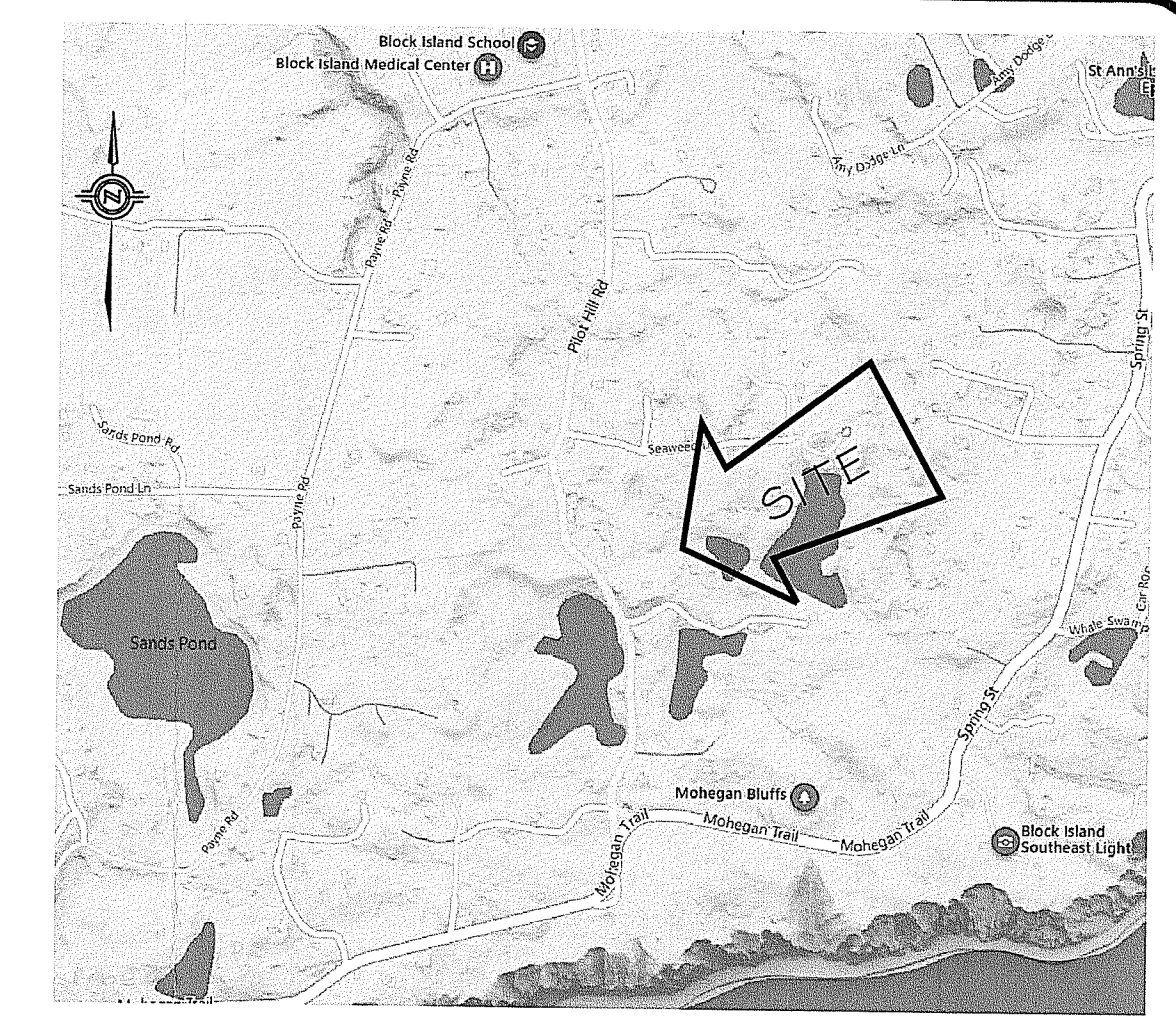


LEGEND

□	STONE BOUND FOUND
□	STONE BOUND DRILLHOLE FOUND
○	IRON ROD FOUND
⊕	UTILITY POLE
⊕	WATER SHUTOFF
⊕	DRILLHOLE FOUND
⊕	CESSPOOL/SEPTIC TANK LID
⊕	WELL
—	STONE WALL
—	PROPERTY LINE
—	APPROX. PROPERTY LINE
-X-	PROP. SILT FENCE
-o-	CONTOUR (ASSUMED DATUM)
-H-	EXISTING WATERLINE*
-E-	EXISTING ELECTRICLINE*
-T-	EXISTING TREE LINE
⊕	SOIL EVALUATION
-	WETLAND EDGE
-	WETLAND BUFFER
△	WETLAND FLAG



LOCUS MAP

ZONING DISTRICT : RA

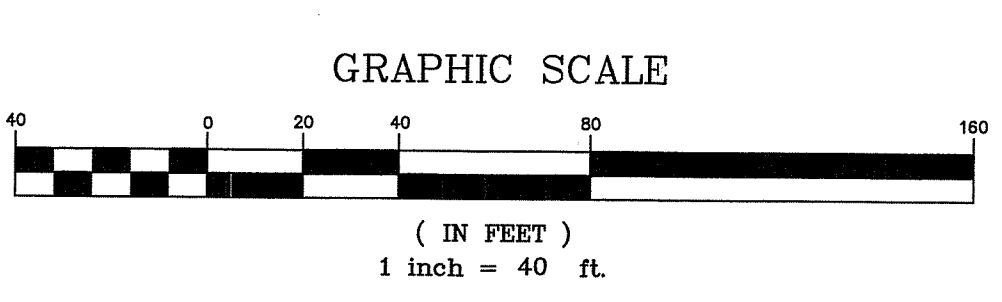
PRINCIPAL BUILDING SETBACKS :
 FRONT : 50'
 REAR : 50'
 SIDES : 50'
 MIN. LOT AREA = 120,000 S.F.
 MIN. FRONTAGE = 200'
 MAX. PRINCIPAL BUILDING LOT COVERAGE = 3% OR (2,000 S.F.)
 MAX. ALL BUILDINGS LOT COVERAGE = 4%
 MAX. ALL STRUCTURE LOT COVERAGE = 10%

PROPERTY OWNER(S):

PILOT HILL ROAD 1261 REALTY TRUST
 C/O CHRIS SANDERS
 38 CRANBERRY LANE
 CONCORD, MA 01742

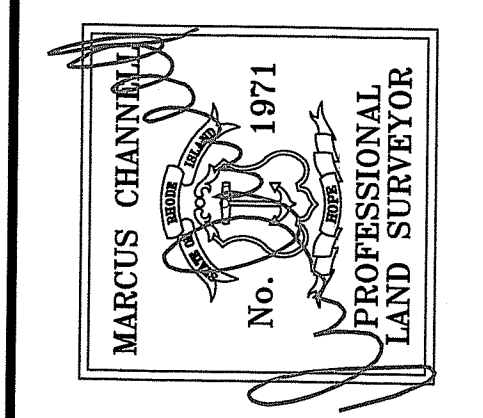
GENERAL NOTES:

1. REFERENCE PLAN ENTITLED "MRS. WALTER A. LIEDTKE, MAP OF LAND IN THE TOWN OF NEW SHOREHAM, VILLAGE GREEN ASSOCIATES, SCALE: 1"=50'."
2. REFERENCE PLAN ENTITLED "MINOR SUBDIVISION OF LOT 194-2, ASSESSOR PLAT 8, LOCATED ON PILOT HILL ROAD IN THE TOWN OF NEW SHOREHAM, OWNED BY THE MARGARET MILLIKIN TRUST, SCALE: 1"=50, 7/19/17, HILBERN LAND SURVEYING."
3. REFERENCE A.P. 8
4. REFERENCE DEED BOOK/PAGE: 341/145, 67/279, 426/194, 249/219, 72/180, 67/63, 313/284, 473/170, 524/163, 138/299
5. UNDERGROUND UTILITIES ARE NOT LOCATED AS PART OF THIS PROJECT.
6. SUBMITTAL OF THIS PLAN TO RIDEM IS BEYOND THE SCOPE OF THIS PROJECT AND MUST BE PERFORMED UNDER A SEPARATE AGREEMENT.
7. MODIFICATIONS TO THIS PLAN ARE PROHIBITED WITHOUT PERMISSION OF ATLAS LAND SURVEYING, LLC.
8. THIS SURVEY & PLAN DOES NOT SHOW ANY PRESCRIPTIVE EASEMENTS OR SUFFICIENT EVIDENCE BY WHICH ANY DETERMINATION CAN BE MADE BY THIS SURVEYOR ABOUT THE EXISTENCE OF PRESCRIPTIVE EASEMENTS. SUCH EASEMENTS COULD EXIST ON THIS PROPERTY & NOT APPEAR ON THIS PLAN. USERS OF THIS PLAN ARE THEREFORE WARNED TO BE ON THE ALERT FOR THE EXISTENCE OF PRESCRIPTIVE EASEMENTS NOT SHOWN HEREON.
9. STREET INDEX: PILOT HILL ROAD
10. PLAN DOES NOT STATE ANY OPINION REGARDING WHETHER THE OCCUPATION & USES NOT IN CONFORMANCE WITH THE RECORD LINE OF TITLE HAVE RIPENED TO PRESCRIPTIVE EASEMENTS OR ADVERSE TITLE.
11. THIS SURVEY HAS BEEN CONDUCTED & THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES & REGULATIONS ADOPTED BY THE RI STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON 11/25/2015 AS FOLLOWS: PERIMETER SURVEY: CLASS III. THE PURPOSE FOR THE CONDUCT OF THE SURVEY & THE PLAN PREPARATION IS FOR CREATING AN EXISTING CONDITIONS PLAN.
12. ACCORDING TO FEMA MAP #44009C0368J, DATED 10/16/2013, THE PROPERTY IS NOT LOCATED WITHIN AN IDENTIFIED FLOOD ZONE.
13. REFERENCE RIDEM OWTs APP.# 9022-0022 FOR MORE INFO.



PLAN VIEW
 SCALE: 1"=40'

EXISTING CONDITIONS SURVEY PLAN
 A.P. 8, LOT 190
 1261 PILOT HILL ROAD
 NEW SHOREHAM, RHODE ISLAND
 Prepared For:
 CHRIS SANDERS



ATLAS LAND SURVEYING, LLC
 PROPERTY & CONSTRUCTION SURVEYING & MAPPING
 177 Burbank Drive ~ Warwick, RI 02886
 401-737-4407
 WWW.ATLASLANDSURVEYING.COM

REVISION:	
DATE:	DEC 2023
DRAWN BY:	KRC
SCALE:	1"=40'
SHEET:	Office of Water Resources 1
OF 1 SHEETS	1
JOB NO.	SANDERS
DWG. NO.	SANDERS-SITE

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 Office of Water Resources