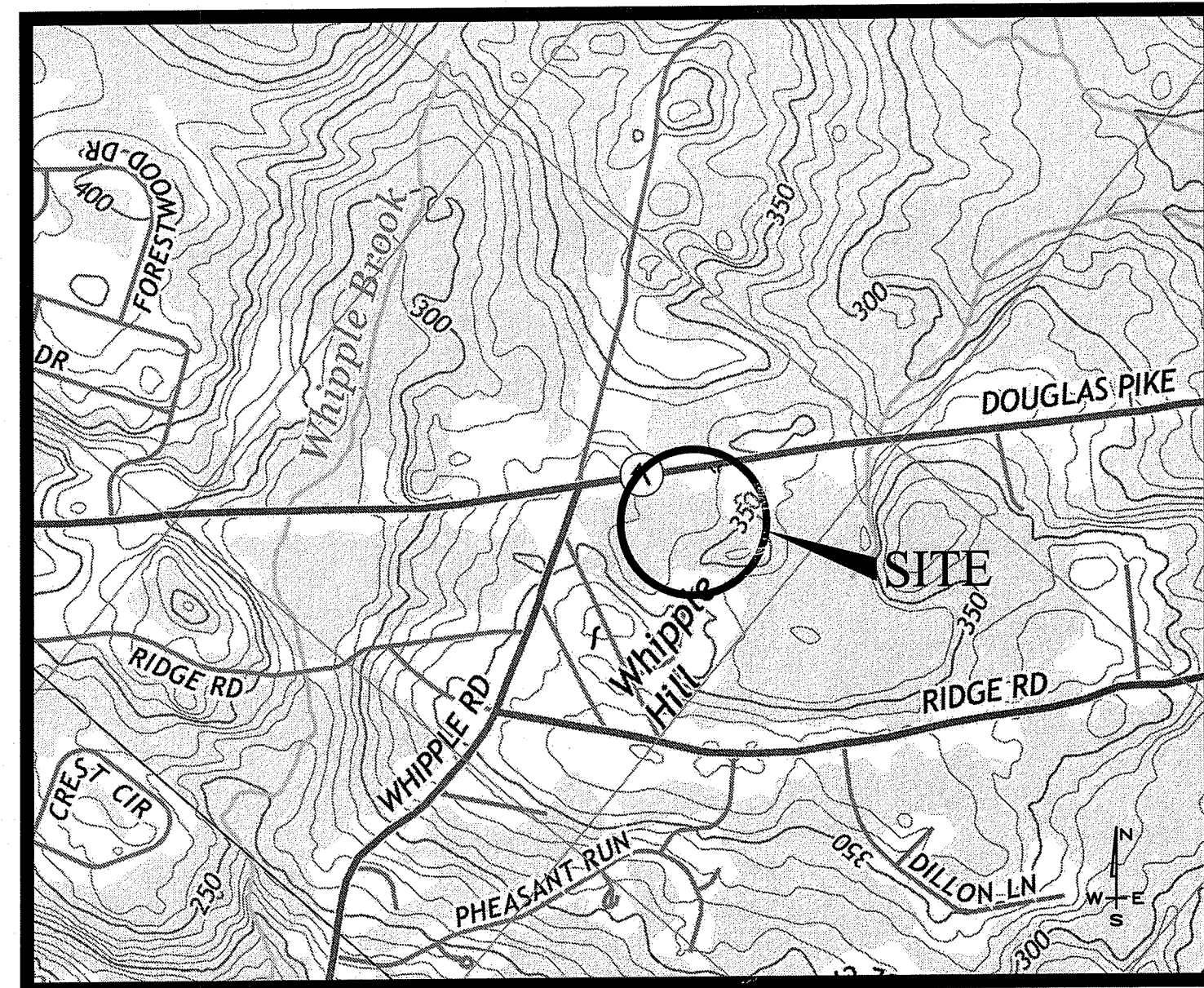


PERMIT PLANS

FOR

DRG ACRES

RESIDENTIAL SUBDIVISION

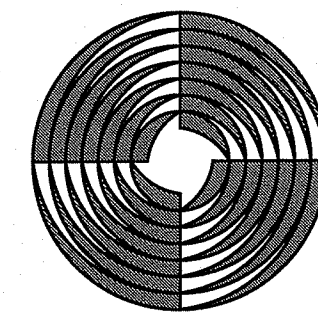


LOCUS MAP
NOT TO SCALE

A.P. 42, LOT 64
332 DOUGLAS PIKE
SMITHFIELD, RI 02917

PREPARED FOR:
DRG REALTY LLC
85 DOUGLAS PIKE
SMITHFIELD, RI 02917

PLAN SHEET LEGEND		
SHEET	PLAN TITLE	LATEST REVISION
-	COVER SHEET	03-25-2024
-	EXISTING CONDITIONS PLAN	03-25-2024
C-1	GENERAL NOTES & LEGEND	03-25-2024
C-2	SITE LAYOUT PLAN	03-25-2024
C-3	GRADING, DRAINAGE & UTILITIES PLAN	03-25-2024
C-4	SOIL EROSION & SEDIMENT CONTROL PLAN	03-25-2024
C-5	CONSTRUCTION DETAILS - 1	03-25-2024
C-6	CONSTRUCTION DETAILS - 2	03-25-2024



PREPARED BY:
GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS \ SURVEYORS
LAND PLANNERS \ ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
(PH) 401-273-6000 (FX) 401-273-1000

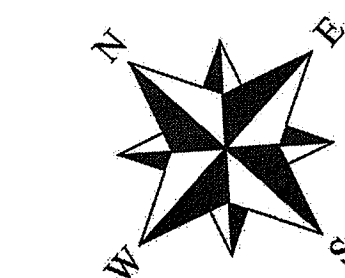
DATED:
FEBRUARY, 2024
(REVISED: MARCH 25, 2024)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 24 2024 FILE #: 24-0032
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

RI Environmental Management
MAR 27 2024
Office of Water Resources
[Signature]
04.25.24
JOB NO.7403-00
1 OF 8 SHEETS

LEGEND

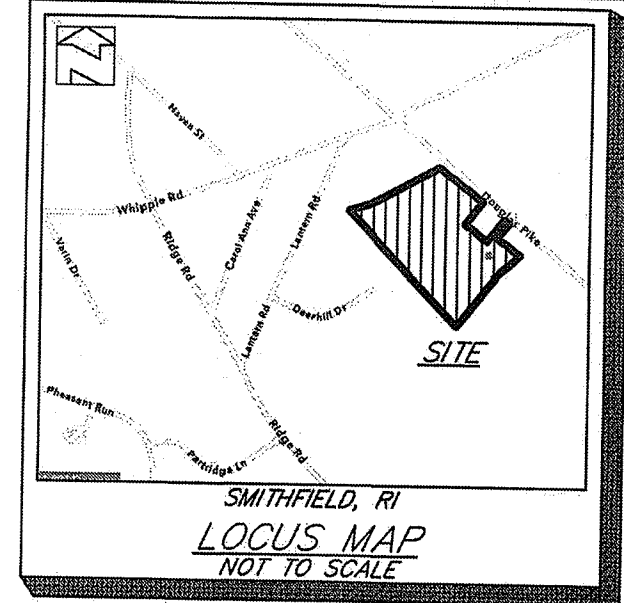
- AP ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- G.B. GRANITE BOUND
- F.S.B. FIELD STONE BOUND
- R.I.H.B. RHODE ISLAND HIGHWAY BOUND
- HYDRANT
- WATER GATE
- WELL
- ELECTRIC METER
- A1 WETLAND FLAG
- UTILITY POLE



DOUGLAS PIKE ~ ROUTE 7
(PUBLIC - R.I.H.P. 365)

ZONING: R-80

MIN. AREA = 80,000 S.F.
 MIN. LOT FRONTAGE = 200 FT.
 MIN. LOT WIDTH = 200 FT.
 MIN. FRONT YARD = 40 FT.
 MIN. SIDE YARD = 25 FT.
 MIN. REAR YARD = 75 FT.
 MAX. LOT COVERAGE = 10%
 MAX. BUILDING HEIGHT = 39 FT.
 (SEE REGULATIONS FOR ADDITIONAL INF.)

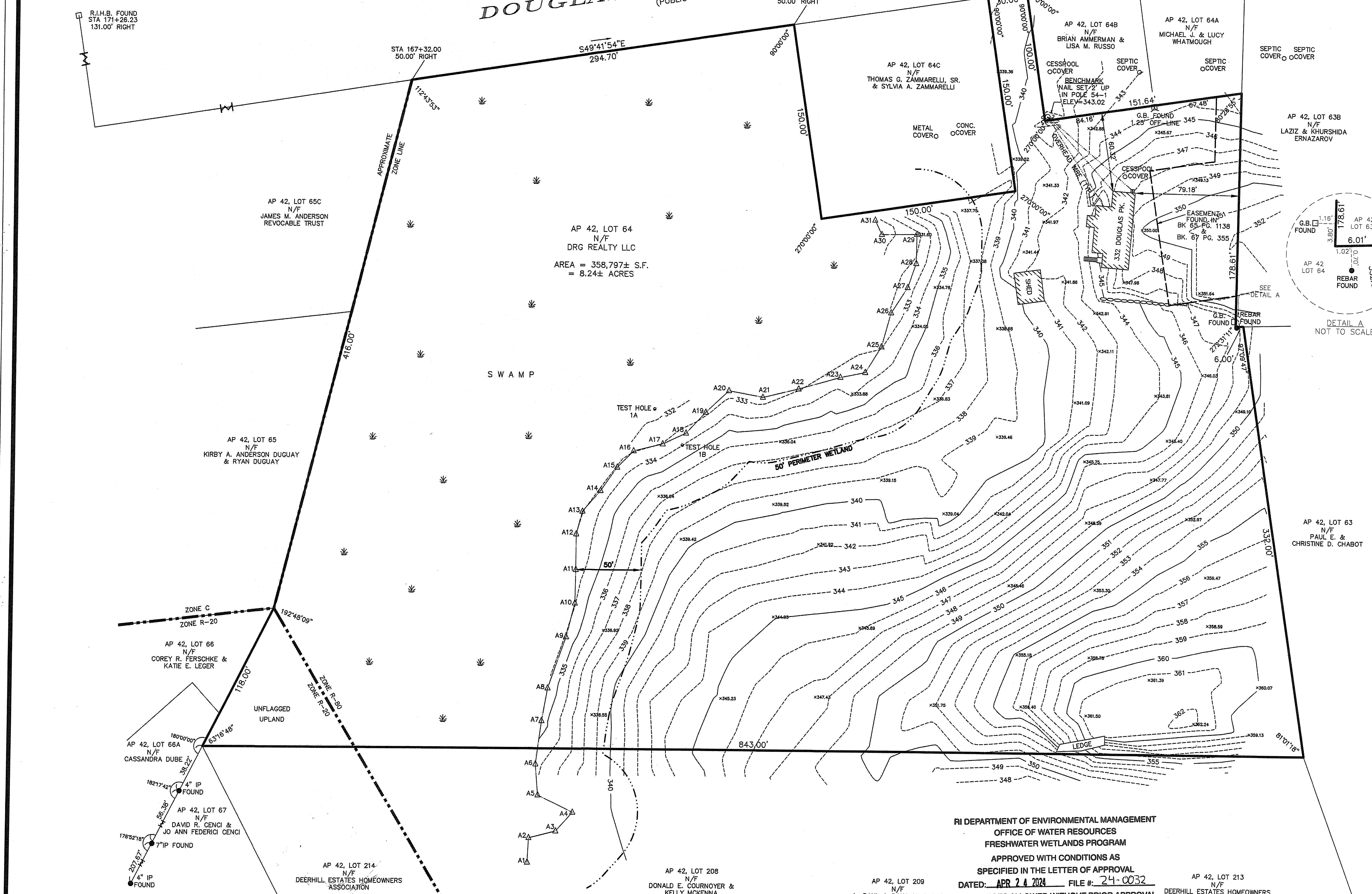
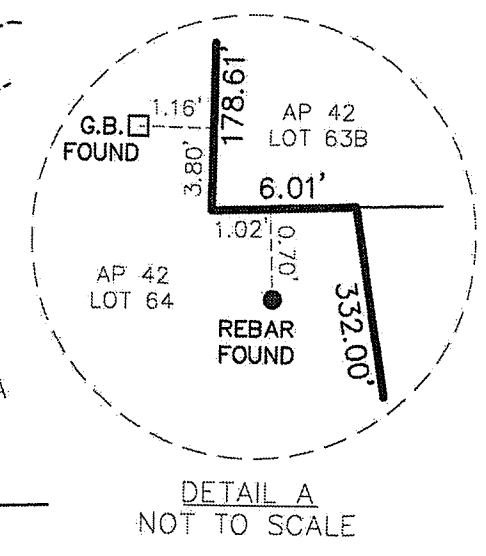


REFERENCES:

1. PLAN ENTITLED "PORTION OF PROPERTY LOUIS ZAMMARELLI AND ELIZABETH C. ZAMMARELLI SMITHFIELD, R.I. W. A. DIPIFFO, C.E. JUNE 1956" RECORDED AT PLAT CARD 89
2. PLAN ENTITLED "PLAN SHOWING CONVEYANCE OF LAND ON DOUGLAS PIKE IN SMITHFIELD, R.I. FOR ALBERT E. & ELEANOR PAPA A.P. 42 LOTS 63 & 63B DATE 2/15/95" BY INTERNATIONAL MAPPING & SURVEYING CORP.
3. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION - LANTERN ROAD LAND OF EDNA T. CENCI, STELLA M. CENCI, GEORGE S. CENCI AND DAVID R. CENCI ASSESSORS PLAT 42 LOT 67 10 LANTERN ROAD SMITHFIELD, RHODE ISLAND PREPARED BY SCITUATE SURVEYS, INC. DATE: NOVEMBER 25, 1996 REVISION: 1-10-97" RECORDED AT BOOK 220, PAGE 869
4. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION LAND TERN ROAD ASSESSOR'S PLAT 42/LOTS 61 & 68 SMITHFIELD, RHODE ISLAND SCALE 1"=200/NOVEMBER 14, 1997" PREPARED BY OCEAN STATE PLANNERS, INC. RECORDED AT BOOK 226, PAGE 730
5. PLAN ENTITLED "RECORD PLAN FOR DEERHILL ESTATES ASSESSOR'S PLAT 42 LOT 68 SMITHFIELD, RHODE ISLAND AUGUST 09, 2000 PREPARED FOR MANUEL MENDES" BY OCEAN STATE PLANNERS, INC. RECORDED AT PLAT BOOK 5, PAGE 46
6. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION FOR JAMES M. ANDERSON AND ESTATE OF ANN B. ANDERSON SMITHFIELD, RHODE ISLAND JANUARY 27, 2015 REVISED THROUGH JAN. 6, 2016" BY MARC N. NYBERG ASSOCIATES, INC.
7. RHODE ISLAND HIGHWAY PLAT NO. 365, SHEETS 5 AND 6.

NOTES:

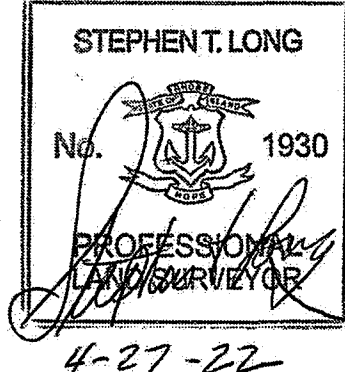
1. THIS PARCEL LIES WITHIN ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007C01 0&B1 EFFECTIVE DATE: OCTOBER 2, 2015
2. ZONE 'X' = AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO EXCAVATION AND SHALL NOTIFY LOCAL UTILITY COMPANIES BEFORE COMMENCEMENT OF WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND PROPOSED UTILITIES AS REQUESTED SHOULD THERE BE A CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. HORIZONTAL DATA ON THIS PLAN WAS OBTAINED BY FIELD SURVEY.
4. THE VERTICAL DATA ON THIS PLAN REFERENCES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. EFFECTIVE: JANUARY 2016

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
 PLAN TO SHOW EXISTING CONDITIONS
 LIMITED CONTENT BOUNDARY SURVEY - MEASUREMENT SPECIFICATION - CLASS 1

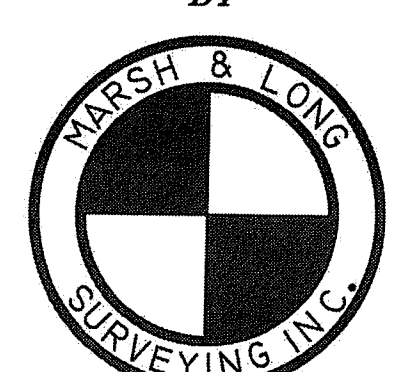
BY *Stephen T. Long*
 STEPHEN T. LONG No. 1930
 C.O.A. LS-A538



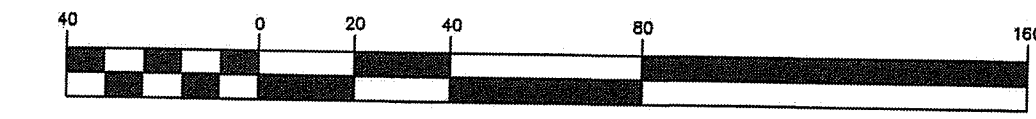
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: APR 24 2022 FILE #: 24-0032
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

SMITHFIELD, RI
EXISTING CONDITIONS PLAN
 PREPARED FOR
DRG REALTY LLC
 SURVEY OF
AP 42, LOT 64
DOUGLAS PIKE
ZONE R-80
APRIL 21, 2022



450 GEO. WASH. HWY. SMITHFIELD, RI
 (401) 231-0900
 GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

NO.	DATE	DESCRIPTION	BY

THIS PLAN TO BE INDEXED BY THE FOLLOWING:
DOUGLAS PIKE

GENERAL CONSTRUCTION NOTES:

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE TOWN OF SMITHFIELD HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR ALL SITE WORK.
- ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINE (ADAAG). NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE TOWN OF SMITHFIELD AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION, THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2023 EDITION WITH ALL REVISIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION, AND FOR SITWORK WITHIN 5'-0" OF BUILDING.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (AMENDED MARCH 2018) WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION, INCLUDING ALL REVISIONS.

SURVEY REFERENCE :

- THE EXISTING CONDITIONS AND WETLANDS INDICATED ARE BASED SURVEY TITLED "SMITHFIELD, RI EXISTING CONDITIONS PLAN". PREPARED FOR DRG REALTY LLC. SURVEY OF AP 42, LOT 64 DOUGLAS PIKE ZONE R-80. APRIL 21, 2022 BY MARSH & LONG SURVEYING INC.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTION TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE TOWN OF SMITHFIELD PUBLIC OR PRIVATE RIGHT OF WAYS, THE TRENCH MUST BE BACKFILLED WITH GRANULAR FILL. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE TOWN OF SMITHFIELD AND STATE STANDARDS AND SPECIFICATIONS.
- DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY SMITHFIELD WATER. ALL ONSITE AND OFFSITE WATER SYSTEM MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GREENVILLE WATER "REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION WITH STANDARD DETAILS" UNLESS OTHERWISE APPROVED OR DIRECTED BY THAT AGENCY. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. UNLESS OTHERWISE APPROVED, WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG".
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- INDIVIDUAL LOTS SHALL BE PROVIDED WITH ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) WHICH ARE TO BE DESIGN AND PERMITTING UNDER SEPARATE COVER.
- WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION AND 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.

ROAD PREPARATION NOTES:

- METHODS AND MATERIALS USED FOR ONSITE ROAD CONSTRUCTION SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF SMITHFIELD AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- GRAVEL BORROW SHALL CONFORM TO STANDARD SPECIFICATION SUBSECTION M.01.0; TABLE 1, COLUMN 1B.
- SUB-SOIL FILLS SHALL BE COMPRISED OF SELECT GRANULAR MATERIALS, CLASSIFIED AS SM OR MORE GRANULAR BY ASTM D 2487 AND PLACED IN 12-INCH MAXIMUM LIFTS AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY AS DETERMINED BY THE MOISTURE-DENSITY RELATIONSHIP TEST METHOD ASTM D698.

STORMWATER SYSTEM MAINTENANCE NOTES:

- THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.
- CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)
- SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
 - PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
 - STORMWATER BMPs: NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPs UNTIL UPGRADIENT AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- STORMWATER MANAGEMENT FACILITIES - REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER. (NOTE: A LEGALLY ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED IF THE PROPERTY OWNER IS NOT THE PARTY RESPONSIBLE FOR BMP MAINTENANCE AS PRESCRIBED)

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SCARIFIED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

GENERAL GRADING NOTES:

- THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
- ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SITE PLAN LEGEND (RIDOT):

- (BCD) BITUMINOUS CONCRETE DRIVEWAYS
- (BCP) BITUMINOUS CONCRETE PAVEMENT
- (DB) REMOVE AND DISPOSE BITUMINOUS CURB
- (DFP) REMOVE AND DISPOSE FLEXIBLE PAVEMENT
- (CM) CUT AND MATCH PAVEMENT
- (7.5.1) BITUMINOUS BERM
- (8.4.0) PAVED WATERWAY
- (9.9.0) CONSTRUCTION ENTRANCE
- (4DY) 4-INCH DOUBLE YELLOW PAVEMENT MARKINGS
- (6W) 6-INCH WHITE PAVEMENT MARKINGS
- (12W) 12-INCH WHITE PAVEMENT MARKINGS

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 24 2024 FILE #: 24-0032
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

SITE LEGEND

EXISTING	NEW	DESCRIPTION
— Q —	— E —	CENTERLINE (LAYOUT)
— D —	— D —	STORM DRAIN
— E —	— E —	ELECTRIC (UNDERGROUND)
— F —	— F —	FIRE SERVICE
— FD —	— FD —	FOOTING DRAIN
— G —	— G —	GAS
— OHW —	— OHW —	OVERHEAD WIRE
— S —	— S —	PROPERTY LINE
— SL —	— SL —	SANITARY SEWER
— T —	— T —	SITE LIGHTING SERVICE
— W —	— W —	TELEPHONE
— 64 —	— 64 —	WATER
× 64.0	× 64.00	CONTOUR
× 64.0(BC)	× 64.00(BC)	SPOT GRADE
× 64.5(TC)	× 64.50(TC)	SPOT GRADE (BOT. OF CURB)
64.5(BW)	64.50(BW)	SPOT GRADE (TOP OF CURB)
64.5(TW)	64.50(TW)	SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		PRECAST CONC. CURB
— CC —	— PCC —	CHAINLINK FENCE (CLF)
— □ —	— □ —	STOCKADE FENCE (STKF)
◇ CB	◇ CB#1	BORING LOCATION
□ CB(DG)	□ CBDG#1	CATCH BASIN
CTB ▸	CTB ▸	DOUBLE GRATE CATCH BASIN
DMH	DMH	CONCRETE THRUST BLOCK
FES	FES	DRAIN MANHOLE
SMH	SMH	FLARED END STRUCTURE
W	W	SEWER MANHOLE
U	U	WATER SERVICE
GV	GV	UTILITY POLE
CV	CV	FIRE HYDRANT
GV	GV	GATE VALVE AND CURB BOX
SEV	SEV	HANDICAP SYMBOL (PRKG. SPACE)
TP	TP	SIGN
FDC	FDC	WETLAND
PIV	PIV	SOIL EVALUATION LOCATION
EMH	EMH	TEST PIT LOCATION
TMH	TMH	FIRE DEPARTMENT CONNECTION
T	T	POST INDICATOR VALVE (PIV)
GEN	GEN	ELECTRIC MANHOLE (EMH)
GCO	GCO	TELEPHONE MANHOLE (TMH)
LP	LP	TRANSFORMER PAD
LP	LP	GENERATOR PAD
LP	LP	GROUND CLEANOUT
LP	LP	SIGHT LIGHT POLE
LP	LP	TRAFFIC FLOW DIRECTION
LP	LP	LIMIT OF DISTURBANCE
LP	LP	COMPOST SILT SOCKS
LP	LP	PAVEMENT SAWCUT & MATCH TO EXISTING
LP	LP	RIDOT STD DETAIL REFERENCE

ABBREVIATIONS

- D.I. DUCTILE IRON PIPE
- ESHWT ESTIMATED SEASONAL HIGH WATER TABLE
- ETR EXISTING TO REMAIN
- EX EXISTING
- F.H FIRE HYDRANT
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV. INVERT ELEVATION
- HP HIGH POINT
- MTE MATCH TO EXISTING
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- PVC POLYVINYL CHLORIDE PIPE
- RPC REINFORCED CONCRETE PIPE
- VF VERIFY IN FIELD
- WQS WATER QUALITY STRUCTURE

GENERAL NOTES & LEGEND
FOR
DRG ACRES
RESIDENTIAL SUBDIVISION
SITUATED AT
DOUGLAS PIKE
SMITHFIELD, RI
PREPARED FOR
DRG REALTY LLC

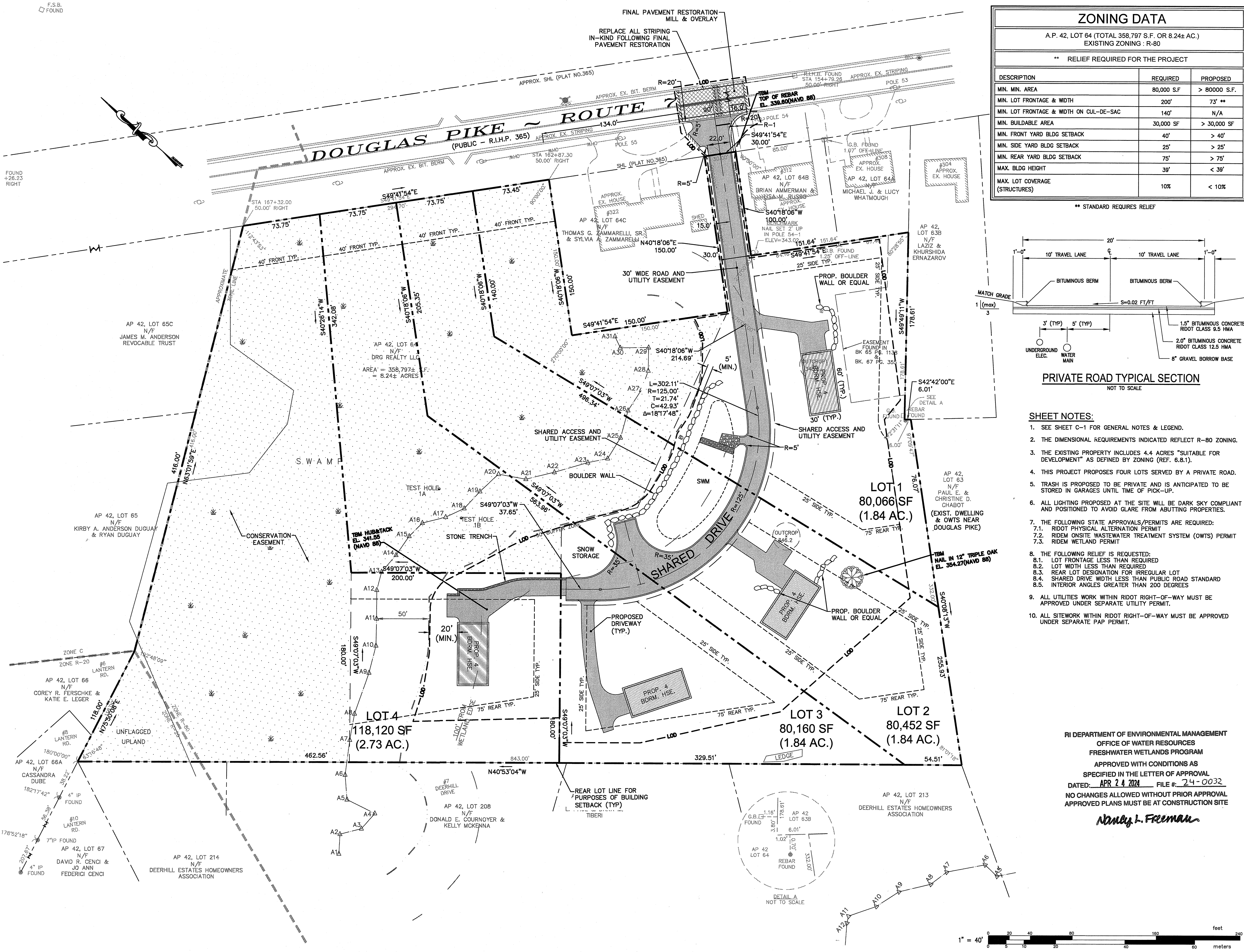
NO.	REVISION	BY	DATE
3	RIDEM COMMENTS	RAS	03-26-2024

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL: 401-273-6000

JOB NO. 7403-00	DRAWN BY K.Y.Y
DWG. NO. 7403-00_PERMIT_BASE	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JANUARY, 2024

SHEET
C-1
3 OF 8 SHEETS

F.S.B.
FOUND



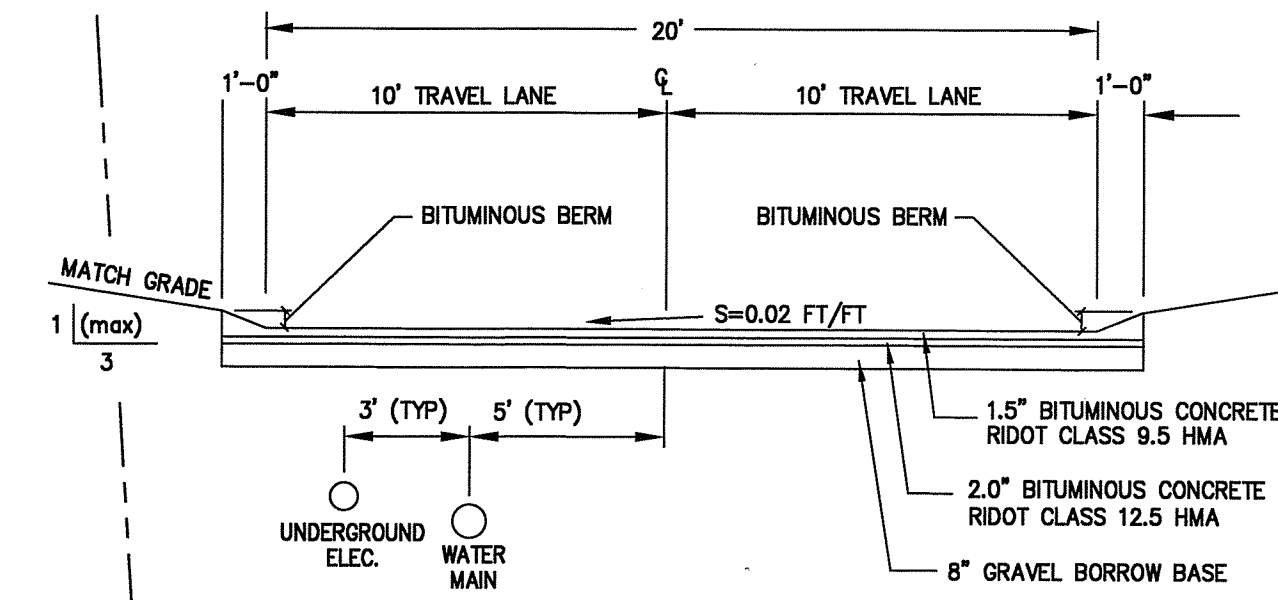
ZONING DATA

A.P. 42, LOT 64 (TOTAL 358,797 S.F. OR 8.24± AC.)
EXISTING ZONING : R-80

** RELIEF REQUIRED FOR THE PROJECT

DESCRIPTION	REQUIRED	PROPOSED
MIN. MIN. AREA	80,000 S.F.	> 80,000 S.F.
MIN. LOT FRONTAGE & WIDTH	200'	73' **
MIN. LOT FRONTAGE & WIDTH ON CUL-DE-SAC	140'	N/A
MIN. BUILDABLE AREA	30,000 SF	> 30,000 SF
MIN. FRONT YARD BLDG SETBACK	40'	> 40'
MIN. SIDE YARD BLDG SETBACK	25'	> 25'
MIN. REAR YARD BLDG SETBACK	75'	> 75'
MAX. BLDG HEIGHT	39'	< 39'
MAX. LOT COVERAGE (STRUCTURES)	10%	< 10%

** STANDARD REQUIRES RELIEF



PRIVATE ROAD TYPICAL SECTION

SHEET NOTES:

- SEE SHEET C-1 FOR GENERAL NOTES & LEGEND.
- THE DIMENSIONAL REQUIREMENTS INDICATED REFLECT R-80 ZONING.
- THE EXISTING PROPERTY INCLUDES 4.4 ACRES "SUITABLE FOR DEVELOPMENT" AS DEFINED BY ZONING (REF. 6.8.1).
- THIS PROJECT PROPOSES FOUR LOTS SERVED BY A PRIVATE ROAD.
- TRASH IS PROPOSED TO BE PRIVATE AND IS ANTICIPATED TO BE STORED IN GARAGES UNTIL TIME OF PICK-UP.
- ALL LIGHTING PROPOSED AT THE SITE WILL BE DARK SKY COMPLIANT AND POSITIONED TO AVOID GLARE FROM ADJUTING PROPERTIES.
- THE FOLLOWING STATE APPROVALS/PERMITS ARE REQUIRED:
 - RIDOT PHYSICAL ALTERATION PERMIT
 - RIDEM ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) PERMIT
 - RIDEM WETLAND PERMIT
- THE FOLLOWING RELIEF IS REQUESTED:
 - LOT FRONTAGE LESS THAN REQUIRED
 - LOT WIDTH LESS THAN REQUIRED
 - REAR LOT DESIGNATION FOR IRREGULAR LOT
 - SHARED DRIVE WIDTH LESS THAN PUBLIC ROAD STANDARD
 - INTERIOR ANGLES GREATER THAN 200 DEGREES
- ALL UTILITIES WORK WITHIN RIDOT RIGHT-OF-WAY MUST BE APPROVED UNDER SEPARATE UTILITY PERMIT.
- ALL SITEWORK WITHIN RIDOT RIGHT-OF-WAY MUST BE APPROVED UNDER SEPARATE PAP PERMIT.

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Andrey L. Freeman

SITE LAYOUT PLAN

FOR
DRG ACRES
SITUATED AT
RESIDENTIAL SUBDIVISION
DOUGLAS PIKE
SMITHFIELD, RI
PREPARED FOR
DRG REALTY LLC

NO.	REVISION	BY	DATE
1	LOT CONFIGURATIONS	SSH	09-19-2023
3	RIDEM COMMENTS	RAS	03-25-2024

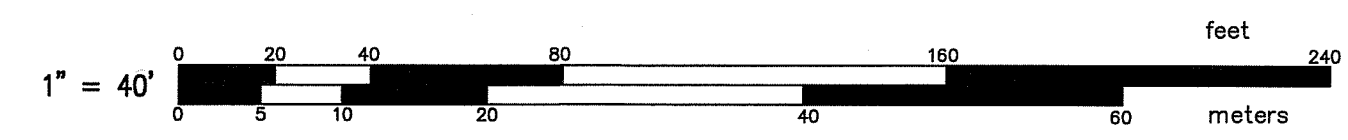
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DWG. NO. 7403-00_PERMIT_BASE	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JANUARY, 2024

SHEET
C-2
4 OF 8 SHEETS



LV7403-00 Residential Feasibility - 332 Douglas Pike (DRG Realty) - Smithfield, RI\Map\01-CURRENT\7403-00_Permit_Base.dwg 03/18/2024 istevens 16:43

SHEET NOTES:

1. SEE SHEET C-1 FOR GENERAL NOTES & LEGEND.
2. ALL UTILITY WORK WITHIN STATE RIGHT-OF-WAY MUST BE APPROVED UNDER SEPARATE UTILITY PERMIT.

GRADING, DRAINAGE AND UTILITIES PLAN
FOR
DRG ACRES
RESIDENTIAL SUBDIVISION
SITUATED AT
DOUGLAS PIKE
SMITHFIELD, RI
PREPARED FOR
DRG REALTY LLC

NO.	REVISION	BY	DATE
1	LOT CONFIGURATIONS	SSH	09-19-2023
2	TOWN COMMENT	SSH	10-26-2023
3	RIDEM COMMENTS	RAS	03-25-2024

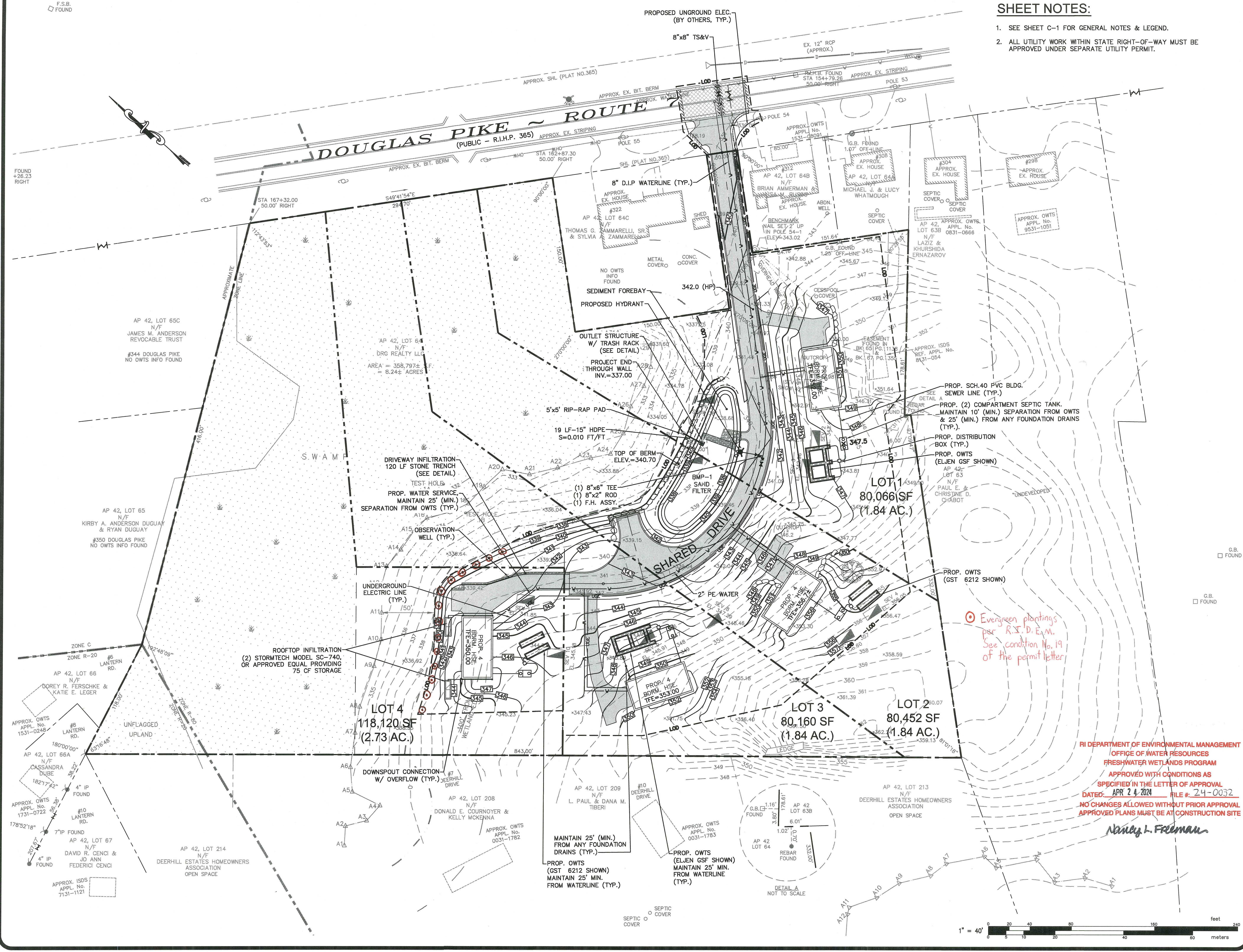
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SHEET
C-3
5 OF 8 SHEETS

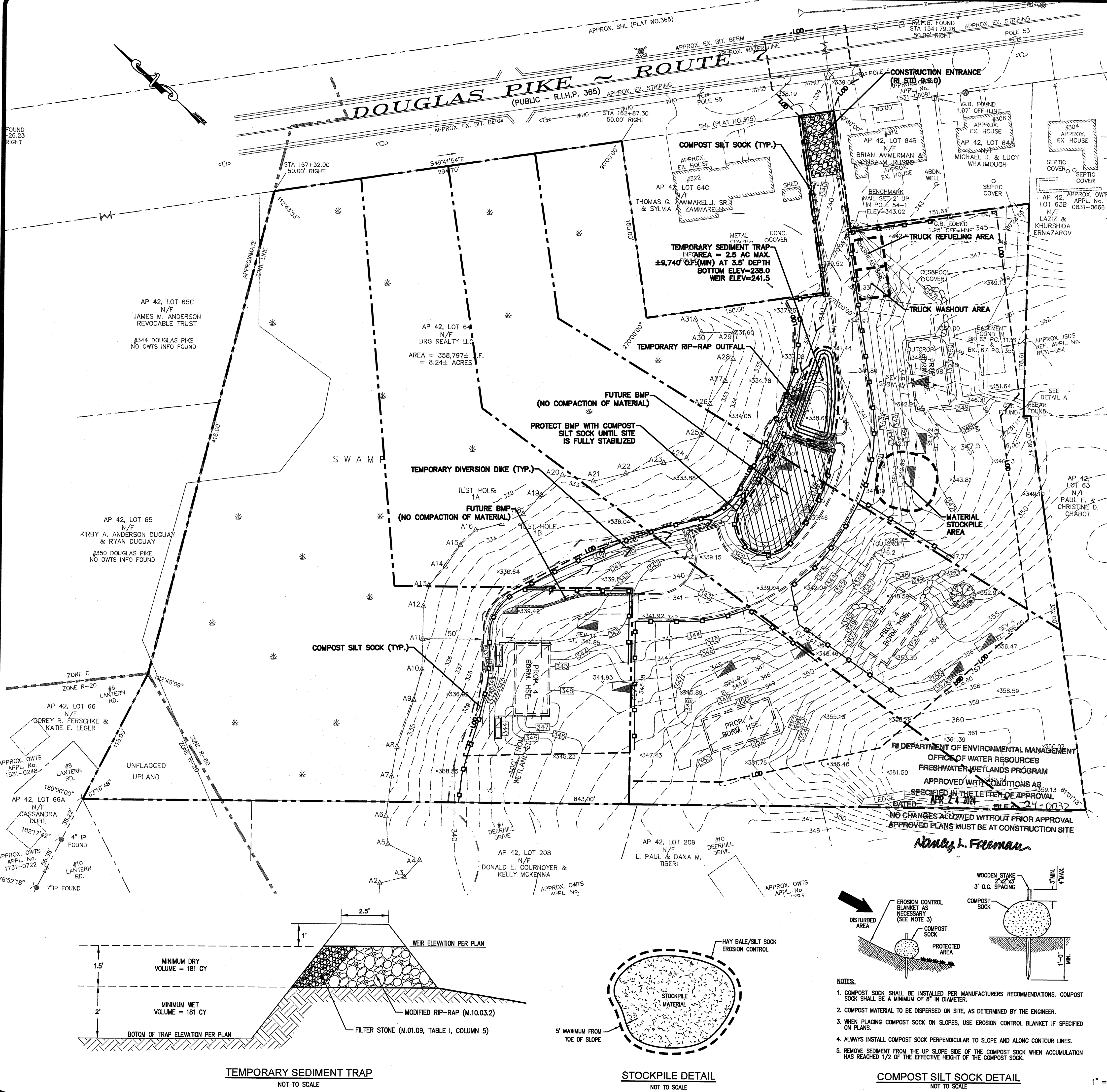


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Nancy L. Freeman

L:\7403-00 Residential Feasibility - 332 Douglas Pike (DRG Realty) - Smithfield, RI\01-Current\7403-00_Permit_G&D.dwg 03/26/2024 rshrens 18:54

LA7403-00 Residential Feasibility - 332 Douglas Pike - Smithfield, RI (DRG Realty) - Smithfield, RI (DRG Realty) - Smithfield, RI (DRG Realty) - 332 Douglas Pike - 03/26/2024 ratervns 16:54



EROSION CONTROL & SOIL STABILIZATION PROGRAM:

1. DENuded SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE

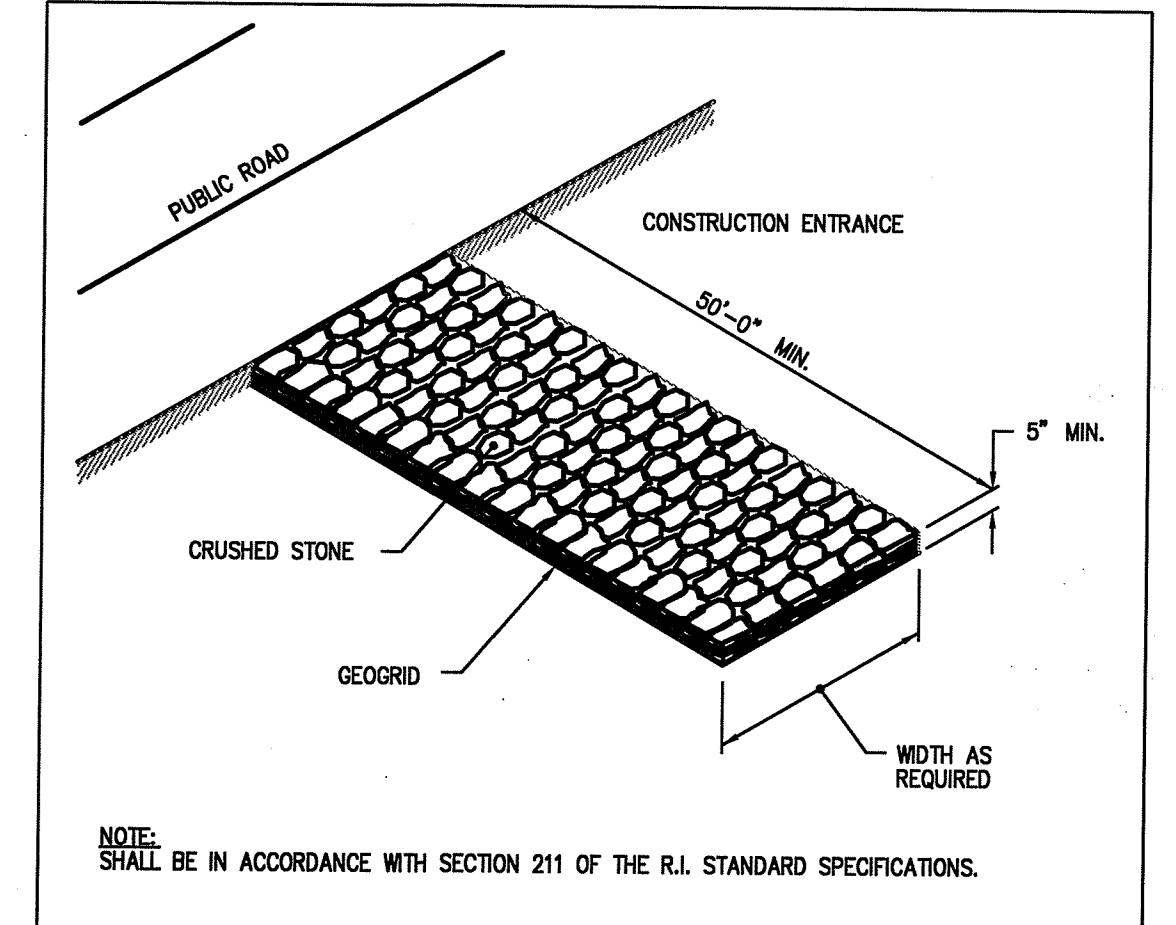
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. INSTALL SEDIMENT TRAP.
4. BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.) TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
5. INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
6. COMPLETE SITE GRADING AND PAVE DRIVE.
7. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
8. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

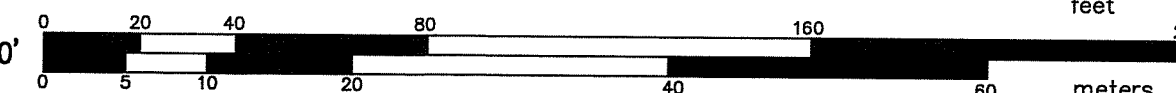
SEDIMENTATION CONTROL PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.



REVISIONS		
NO.	BY	DATE

DATE: JUNE 15, 1998



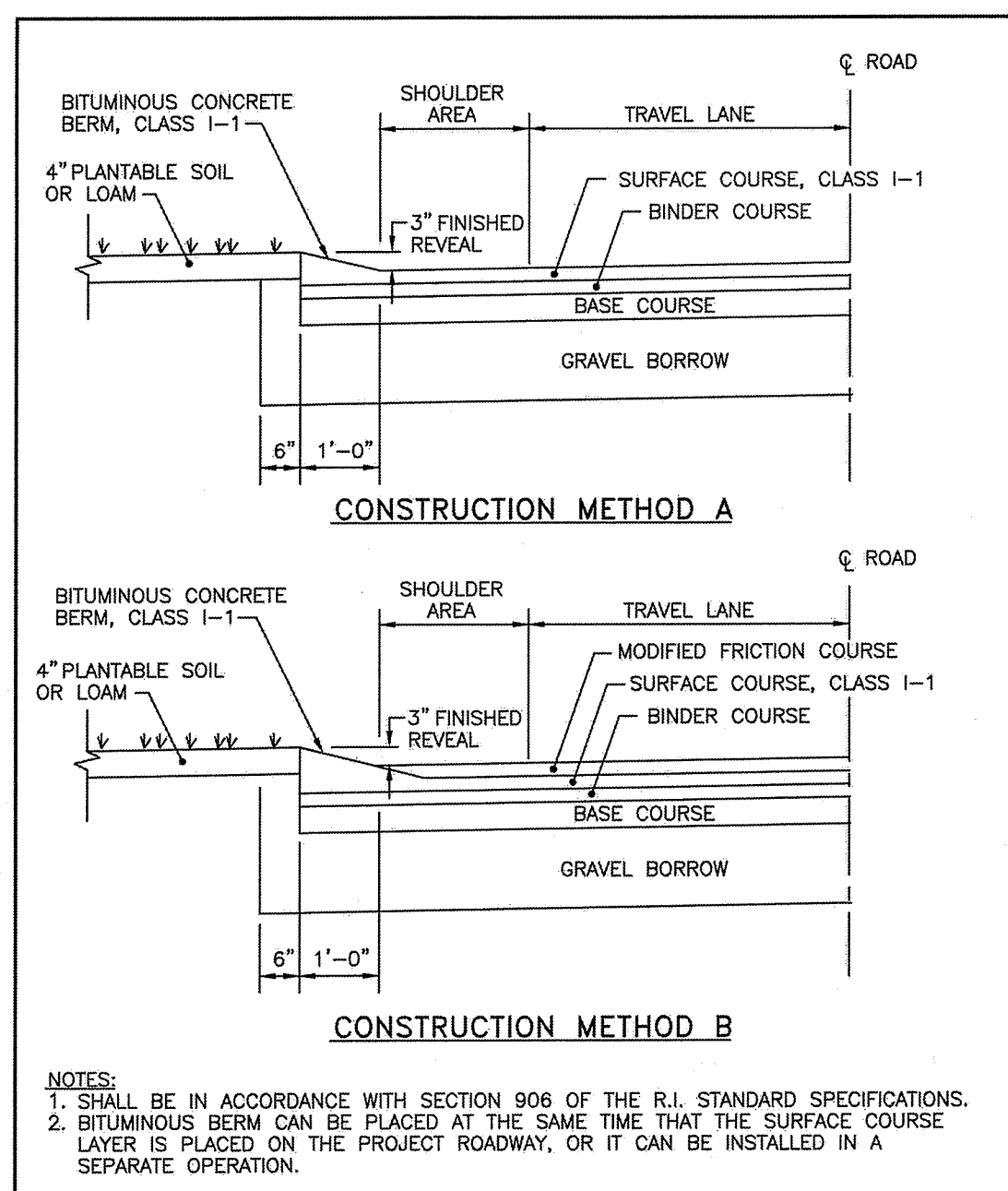
SOIL EROSION & SEDIMENT CONTROL PLAN
 FOR
DRG ACRES
 RESIDENTIAL SUBDIVISION
 SITUATED AT
DOUGLAS PIKE
SMITHFIELD, RI
 PREPARED FOR
DRG REALTY LLC

NO.	REVISION	BY	DATE
3	RIDEM COMMENTS	RAS	03-25-2024

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SHEET
C-4
 6 OF 8 SHEETS



REVISIONS

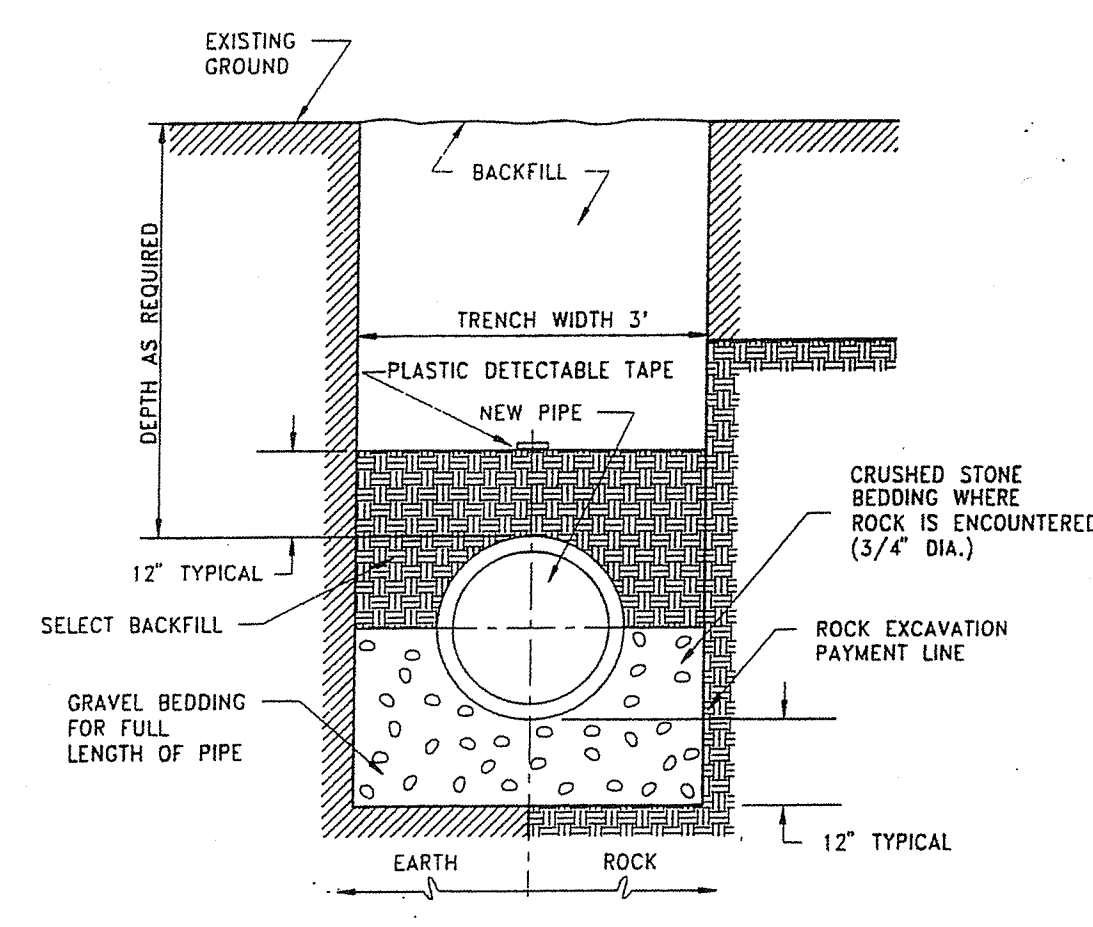
NO.	BY	DATE
1	M.P.	May 05

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

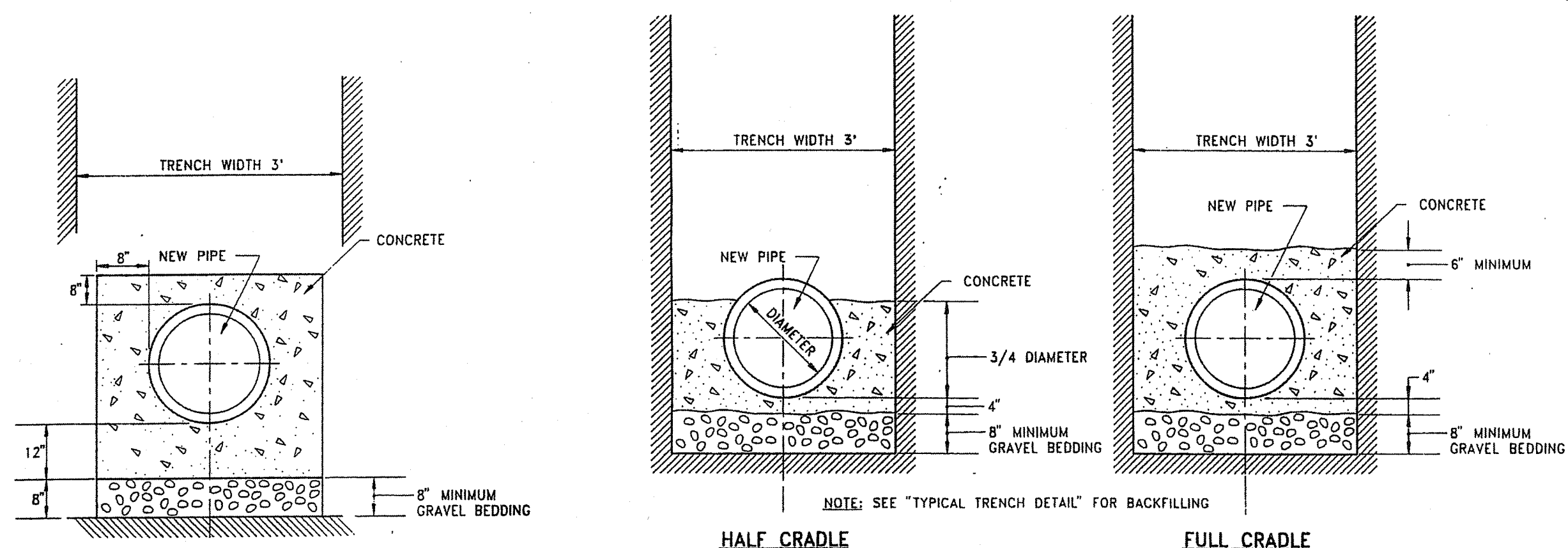
BITUMINOUS BERM

DATE: 12-23-08

R.I. STANDARD 7.5.1

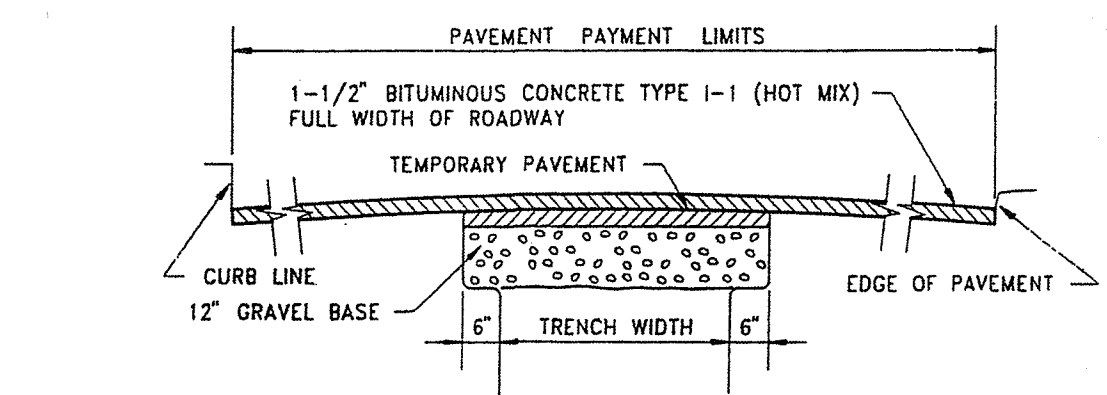


TYPICAL TRENCH DETAIL NOT TO SCALE

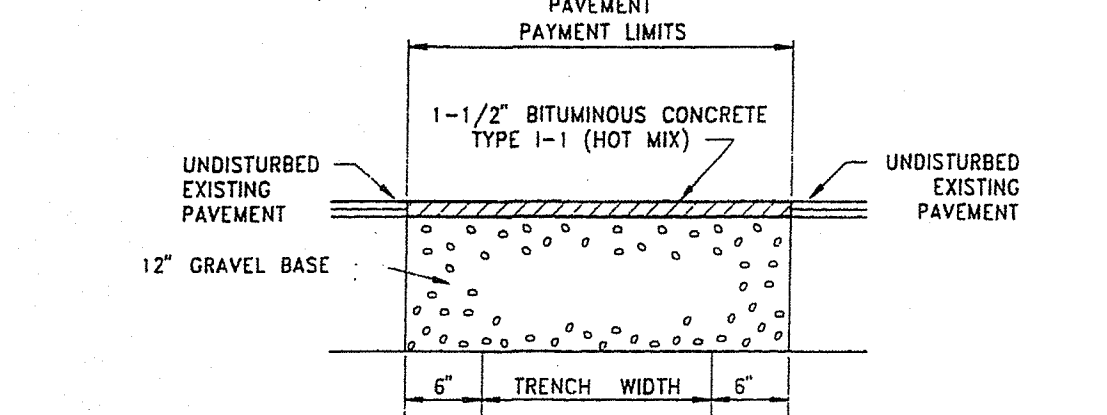


CONCRETE ENCASEMENT DETAIL NOT TO SCALE

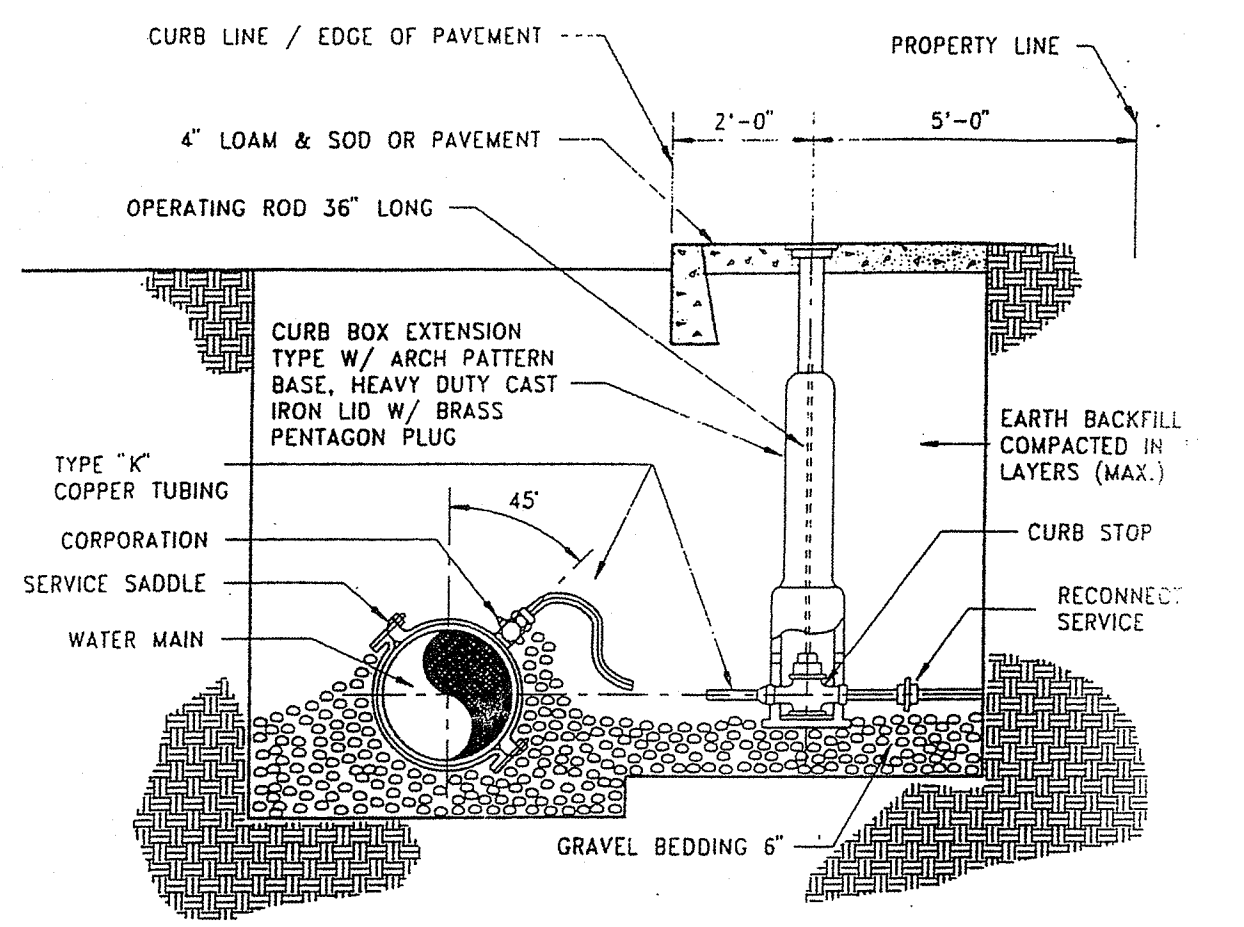
CRADLE DETAILS NOT TO SCALE



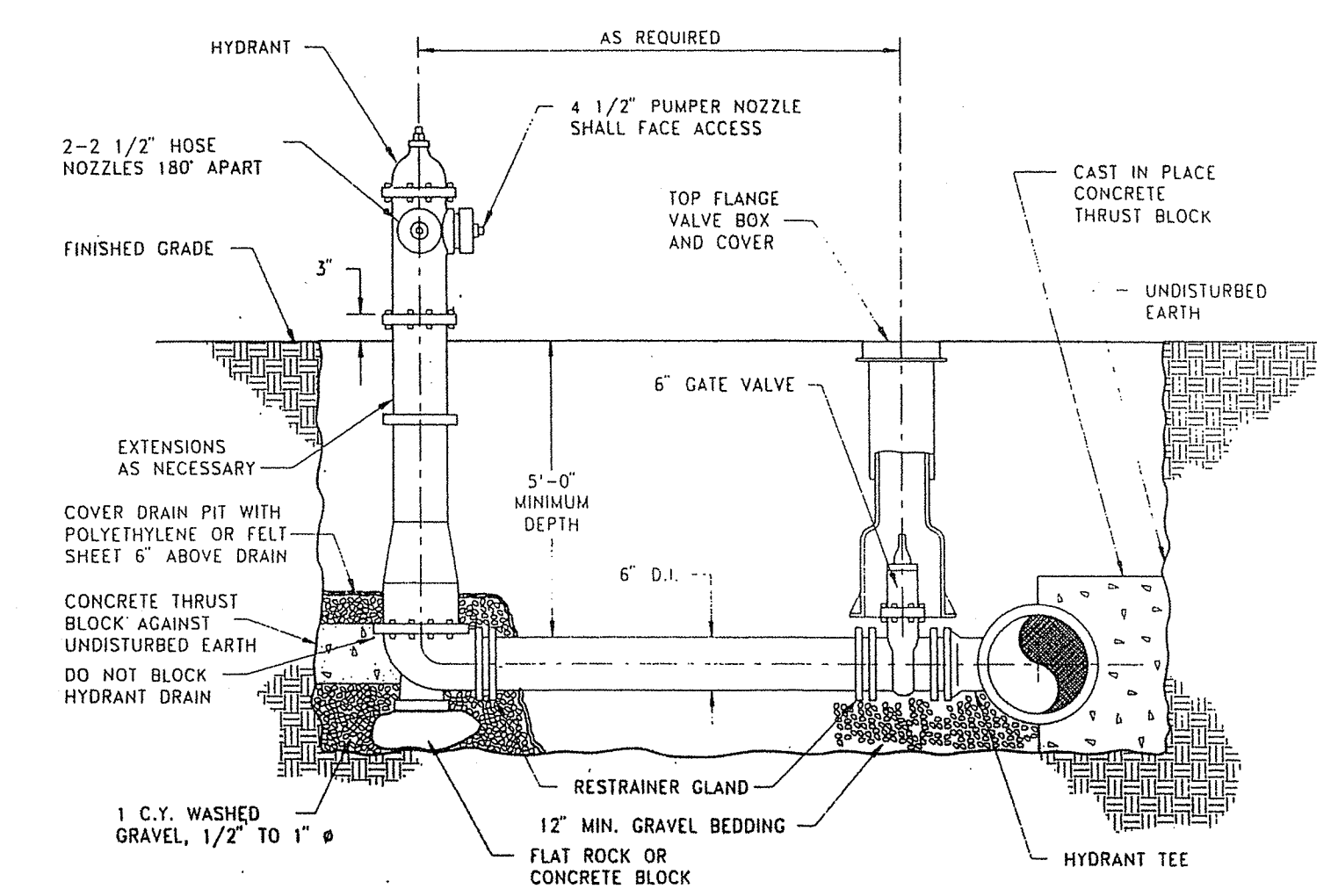
PERMANENT SURFACE COURSE NOT TO SCALE



TEMPORARY SURFACE COURSE NOT TO SCALE

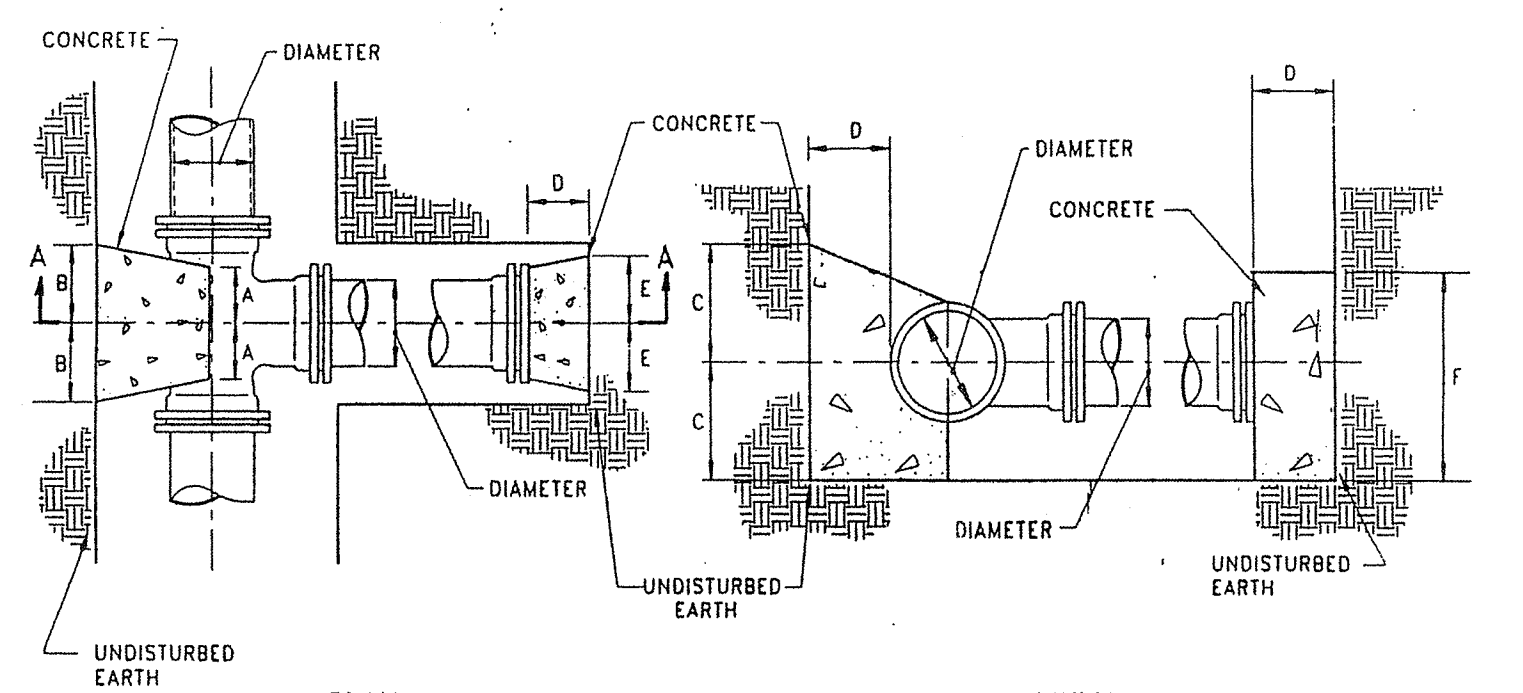


TYPICAL HOUSE SERVICE CONNECTION NOT TO SCALE

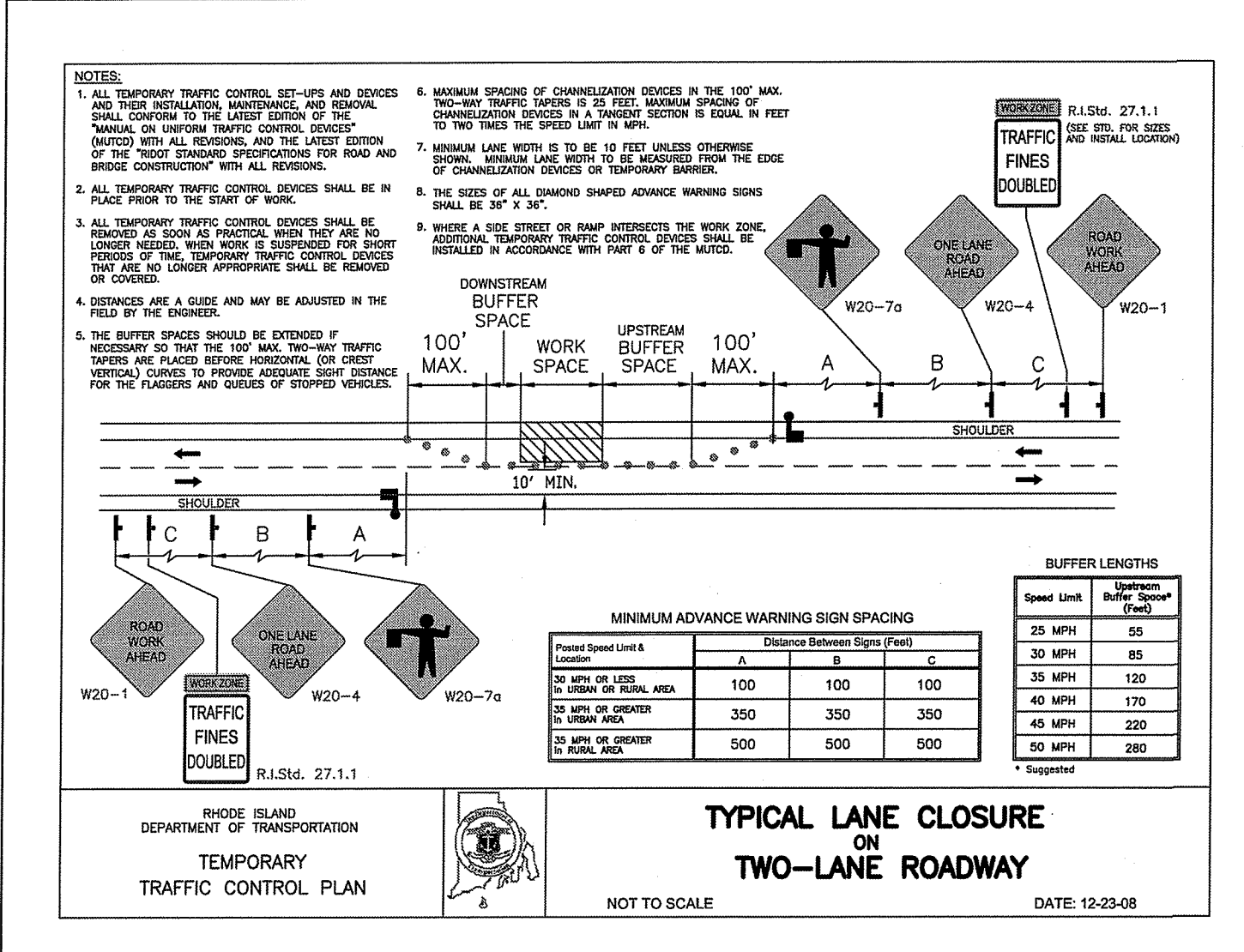


TYPICAL HYDRANT BRANCH ASSEMBLY NOT TO SCALE

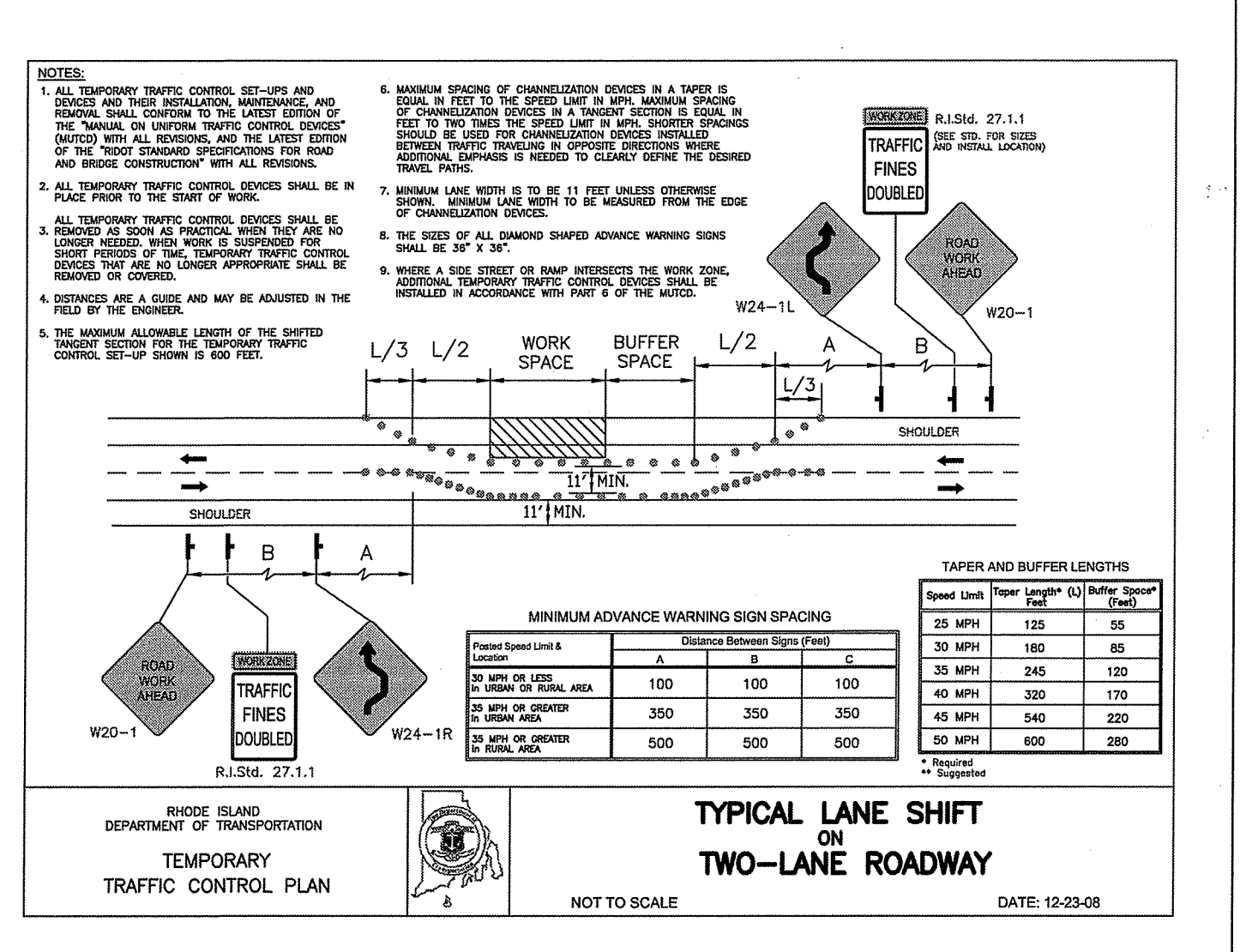
SIZE OF BRANCH	DIAMETER						TYPE OF BEND	DIAMETER						
	A	B	C	D	E	F		6"	8"	10"	12"			
6"	8"	8"	10"	8"	10"	11-9"	1/32	12"	12"	12"	12"	12"	12"	12"
8"	10"	12"	12"	10"	11-5"	2'-0"	1/16	12"	12"	12"	12"	12"	12"	11-8"
10"	12"	11-3"	11-3"	11-2"	11-8"	2'-0"	1/8	12"	12"	12"	11-7"	11-1"	2'-1"	11-4"
12"	12"	11-6"	11-6"	11-2"	11-8"	2'-3"	1/4	12"	11-8"	11-3"	2'-4"	11-6"	2'-10"	11-9"



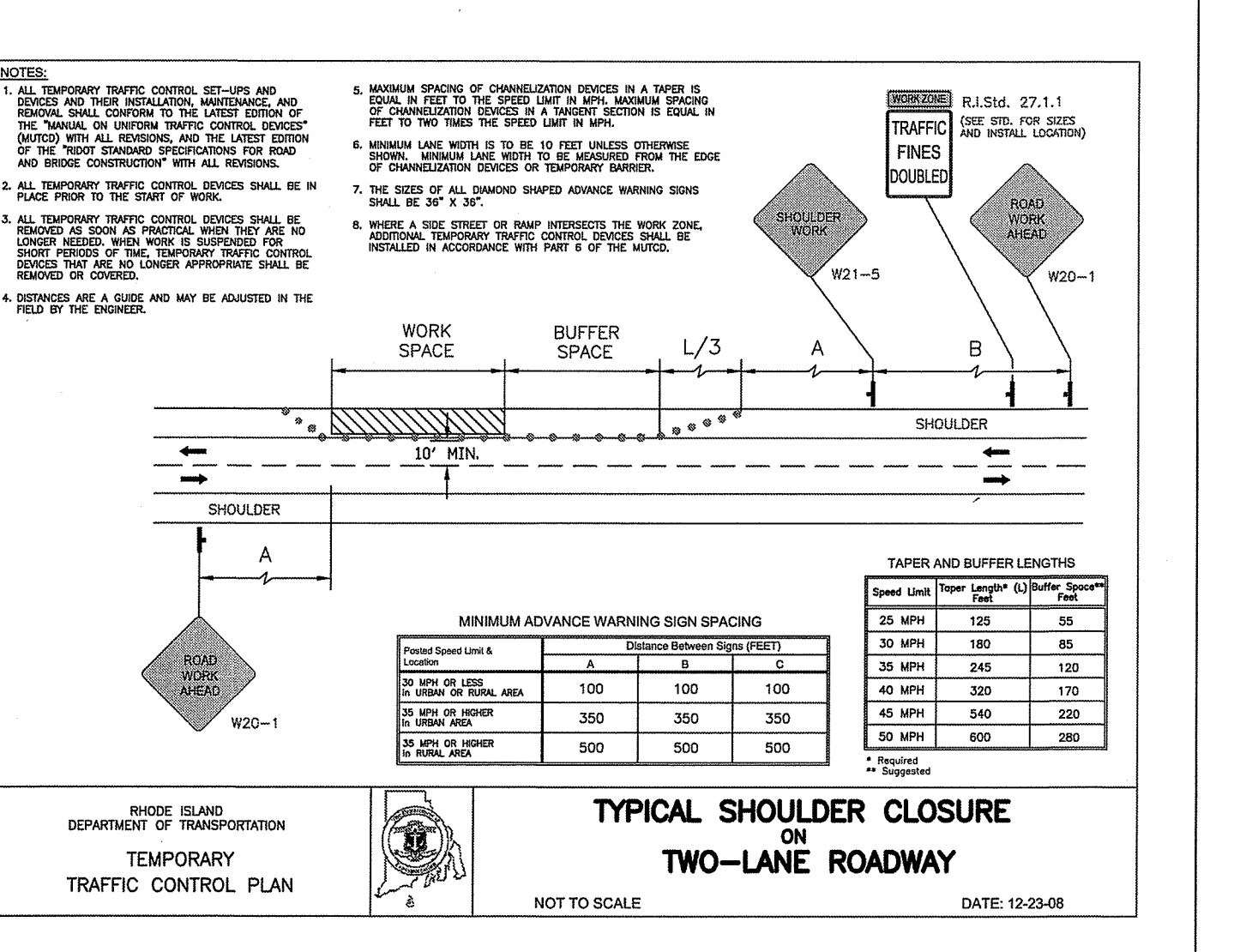
TEE & PLUG THRUST BLOCK DETAILS NOT TO SCALE



TYPICAL LANE CLOSURE ON TWO-LANE ROADWAY NOT TO SCALE DATE: 12-23-08



TYPICAL LANE SHIFT ON TWO-LANE ROADWAY NOT TO SCALE DATE: 12-23-08



TYPICAL SHOULDER CLOSURE ON TWO-LANE ROADWAY NOT TO SCALE DATE: 12-23-08

R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Nancy L. Freeman

CONSTRUCTION DETAILS - 1

FOR DRG ACRES

RESIDENTIAL SUBDIVISION

SITUATED AT DOUGLAS PIKE SMITHFIELD, RI

PREPARED FOR DRG REALTY LLC

NO.	REVISION	BY	DATE
3	RIDEM COMMENTS	RAS	03-25-2024

GAROFALO

GAROFALO & ASSOCIATES, INC.

CIVIL & STRUCTURAL ENGINEERS/SURVEYORS

LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

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These drawings are the property of the engineer/surveyor and have been prepared for the project and are not to be used for any other purpose, without the written consent of the engineer or one of its directors.

JOB NO. 7403-00
DWG. NO. 7403-00_PERMIT_DET

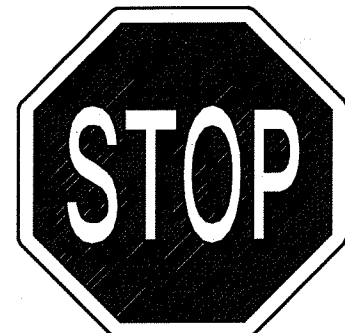
DRAWN BY K.Y.Y
CHECK BY S.S.H.
APPROVED S.B.G.

SCALE: AS SHOWN
DATE: JANUARY, 2024

SHEET

C-5

7 OF 8 SHEETS



R-1
36" x 36"

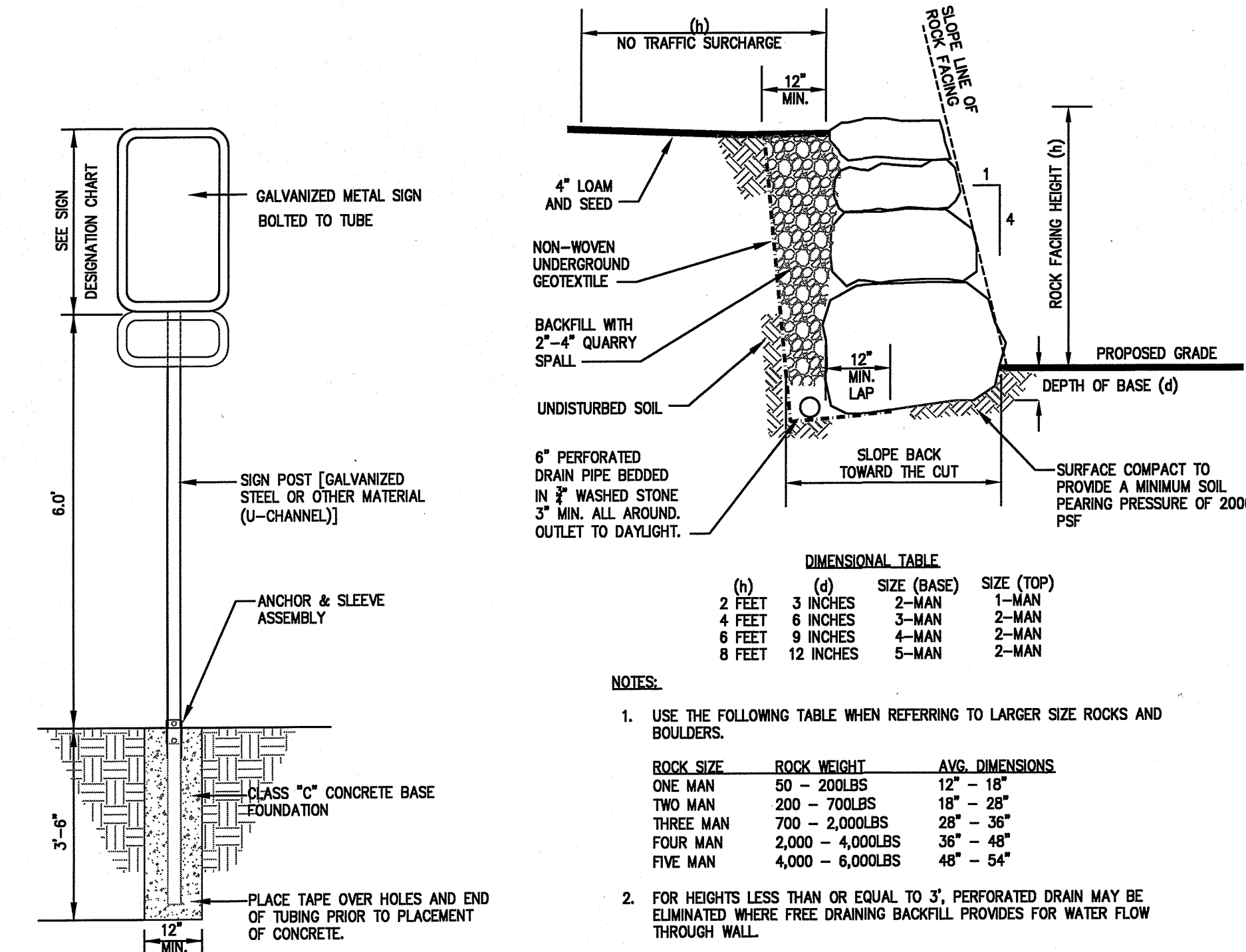
NOTE:
SIGN INSTALLATIONS SHALL BE IN ACCORDANCE WITH RI STD 24.2.0.

36"
STREET NAME 6"

SIGNAGE
NOT TO SCALE

SIGNAGE DETAIL

NOT TO SCALE



DIMENSIONAL TABLE

(h)	(c)	SIZE (BASE)	SIZE (TOP)
2 FEET	3 INCHES	2-MAN	1-MAN
4 FEET	6 INCHES	3-MAN	2-MAN
6 FEET	9 INCHES	4-MAN	2-MAN
8 FEET	12 INCHES	5-MAN	2-MAN

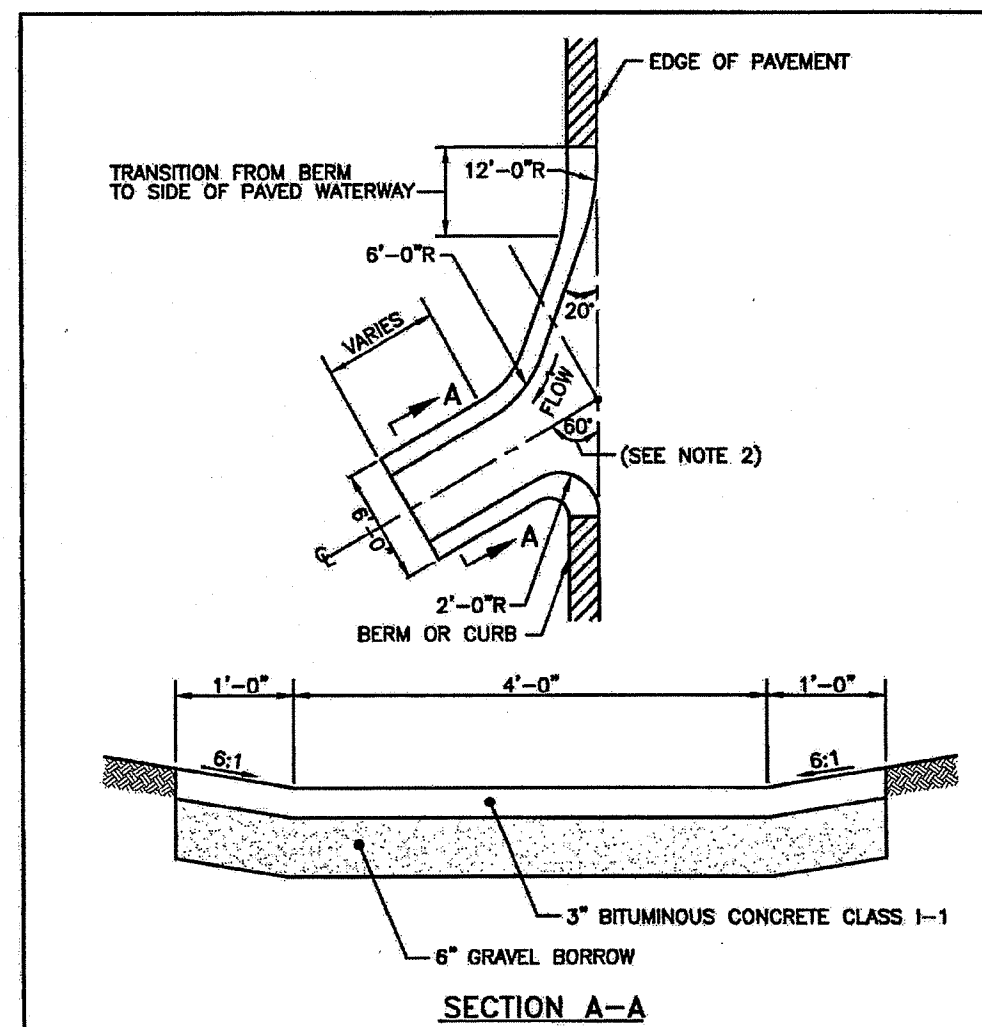
- NOTES:**
- USE THE FOLLOWING TABLE WHEN REFERRING TO LARGER SIZE ROCKS AND BOULDERS.

ROCK SIZE	ROCK WEIGHT	AVG. DIMENSIONS
ONE MAN	50 - 200LBS	12" - 18"
TWO MAN	200 - 700LBS	18" - 28"
THREE MAN	700 - 2,000LBS	28" - 36"
FOUR MAN	2,000 - 4,000LBS	36" - 48"
FIVE MAN	4,000 - 6,000LBS	48" - 54"

- FOR HEIGHTS LESS THAN OR EQUAL TO 3', PERFORATED DRAIN MAY BE ELIMINATED WHERE FREE DRAINING BACKFILL PROVIDES FOR WATER FLOW THROUGH WALL.

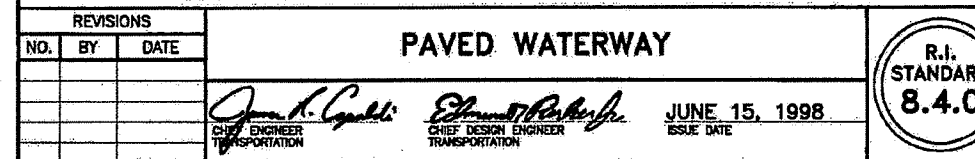
BOULDER WALL

NOT TO SCALE



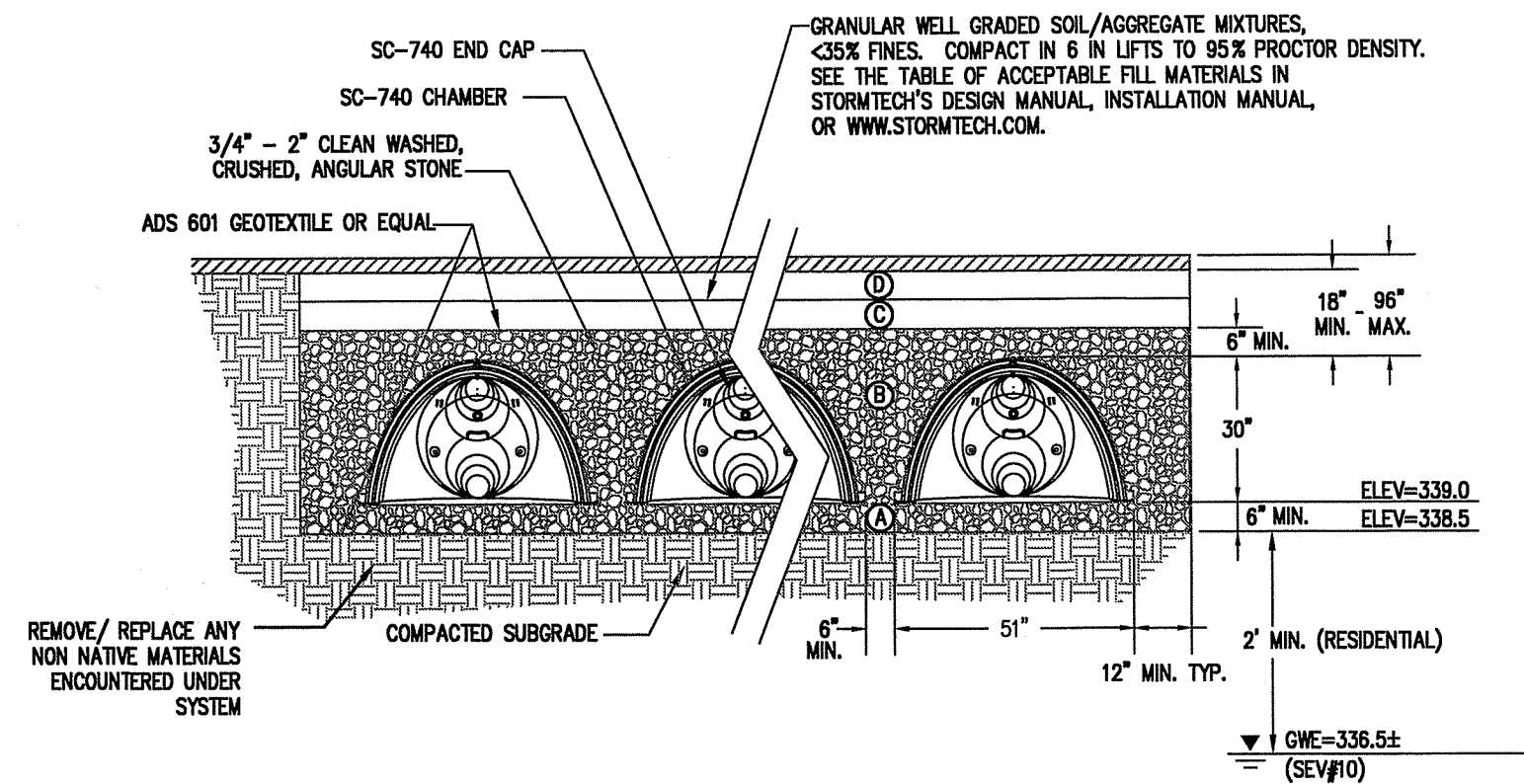
- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 711 OF THE R.I. STANDARD SPECIFICATIONS.
 - WHEN PAVED WATERWAY IS USED AT A LOW POINT THIS ANGLE SHALL BE 90°.

PAVED WATERWAY



PAVED WATERWAY

NOT TO SCALE



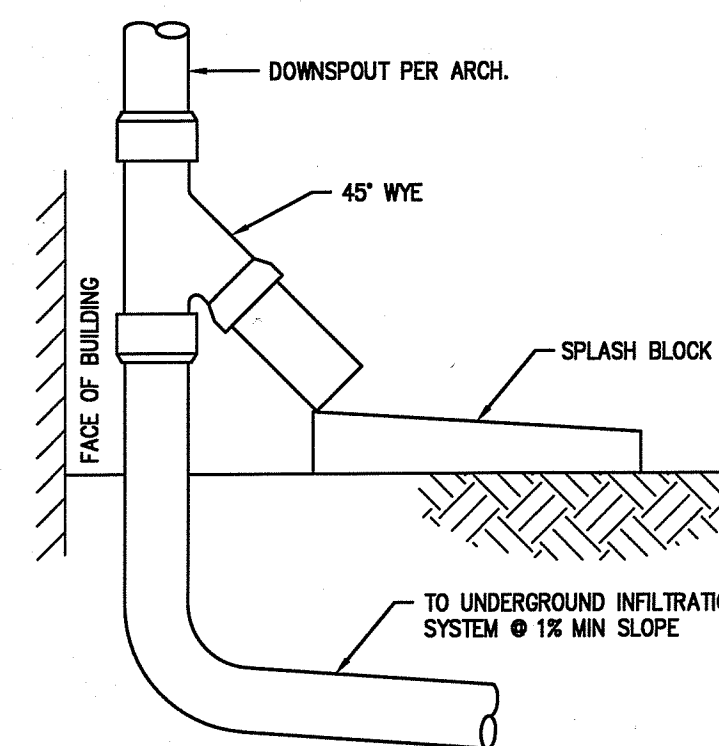
ACCEPTABLE FILL MATERIALS: SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(A) FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(B) FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 66, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACTION ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
(C) EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN WASHED, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH (19 - 51 mm)	3, 357, 4, 467, 5, 66, 57	NO COMPACTION REQUIRED.
(D) FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH (19 - 51 mm)	3, 35, 4, 467, 5, 66, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

- PLEASE NOTE:**
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.

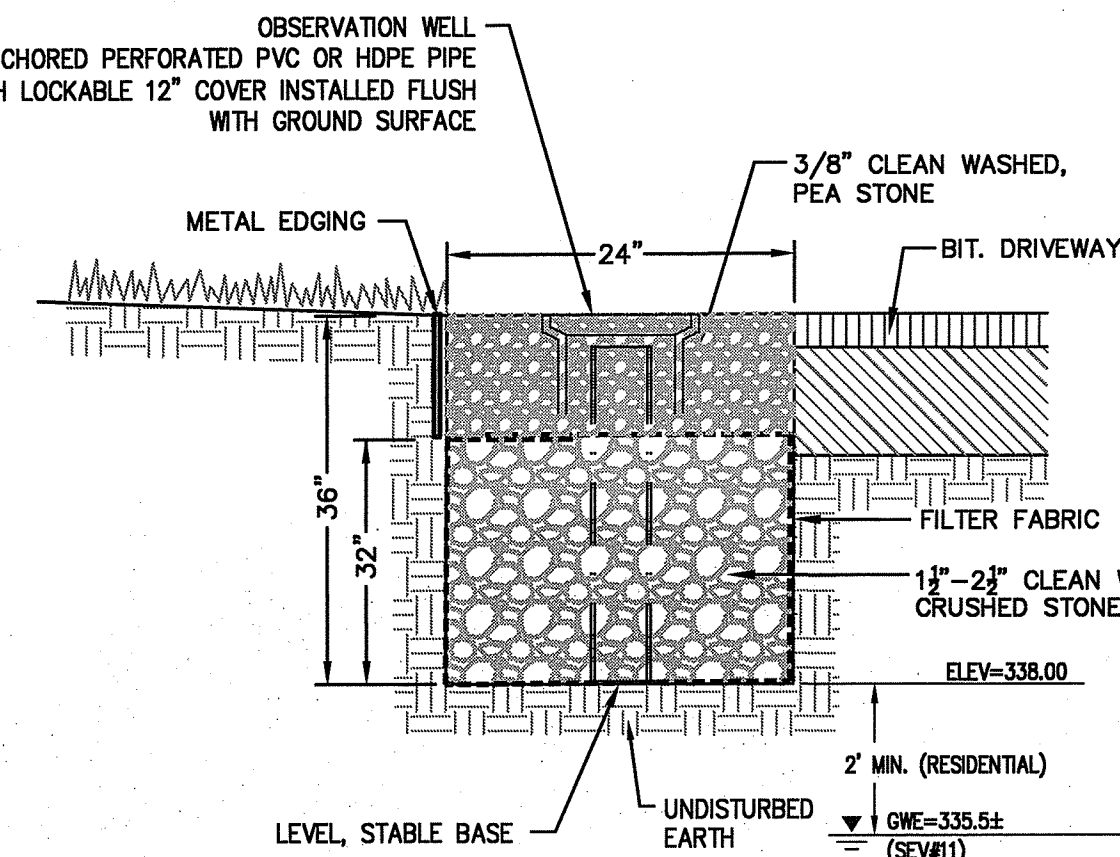
STORMTECH STORMWATER SC-740 CHAMBER SYSTEM

NOT TO SCALE



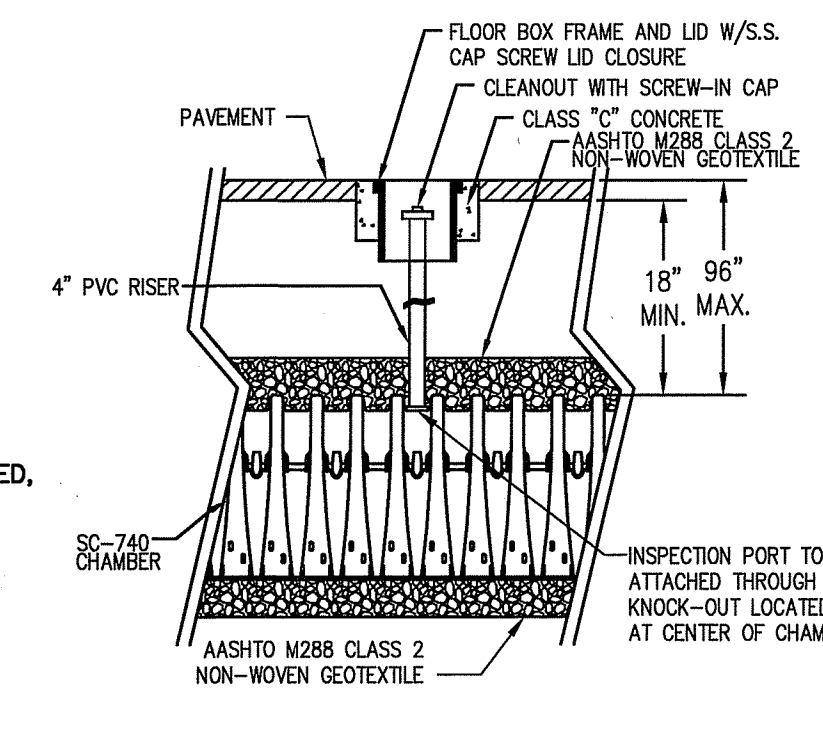
DOWNSPOUT CONNECTION WITH OVERFLOW

NOT TO SCALE



INFILTRATION TRENCH

NOT TO SCALE

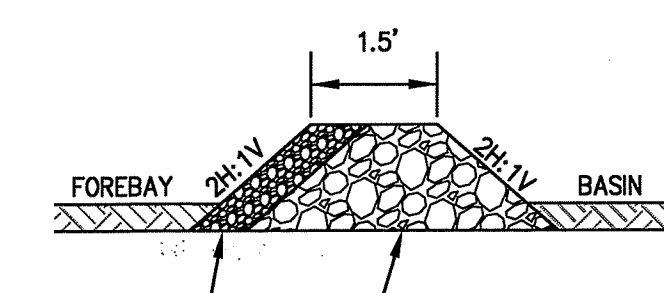


STORMTECH SC-740 CHAMBER SYSTEM INSPECTION PORT DETAIL

NOT TO SCALE

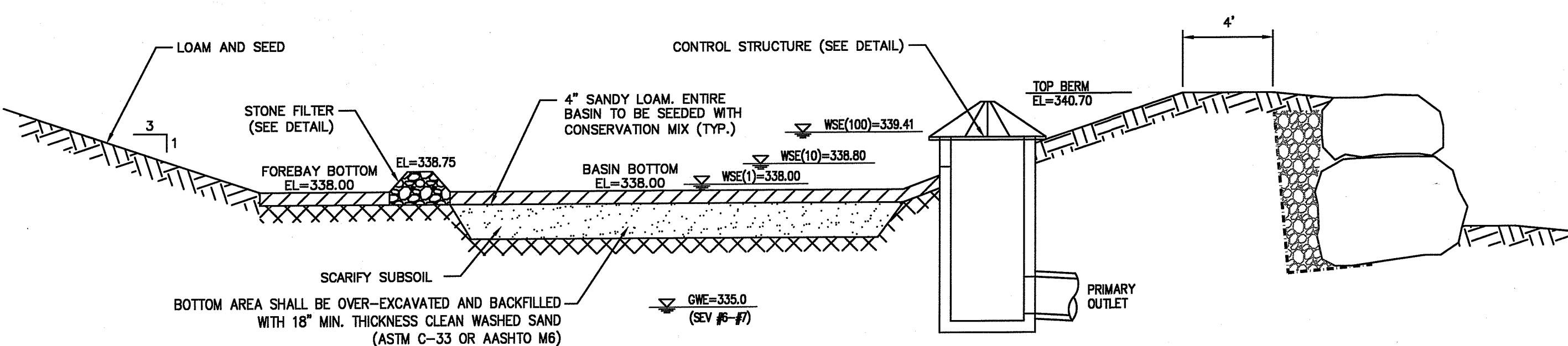
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 24 2024 FILE #: 24-0032
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



FOREBAY STONE FILTER

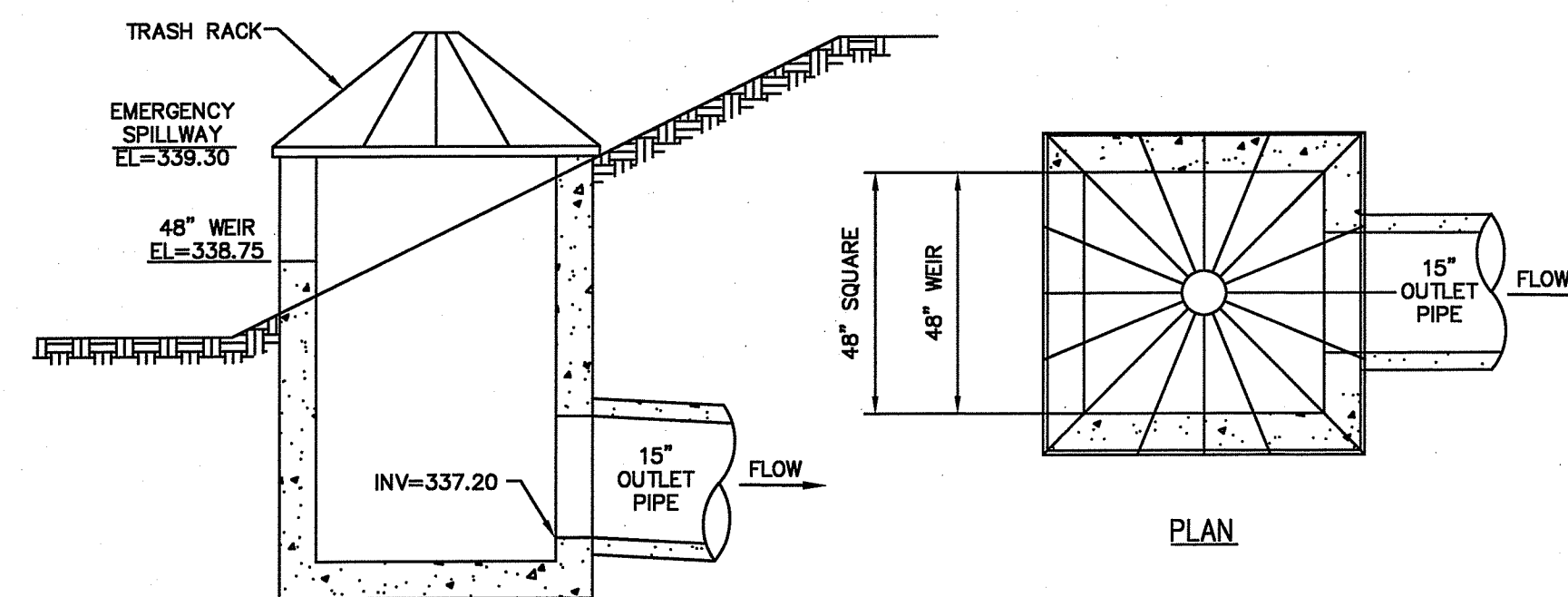
NOT TO SCALE



- NOTES:**
- THE ENTIRE BASIN SHALL BE LINED WITH 4" ORGANIC SOILS AND SEEDED WITH CONSERVATION SEED MIX FOR STABILIZATION.
 - SCARIFY SUBGRADE PRIOR TO FINE GRADING AND LAND PLACEMENT.

BMP-1 (SAND FILTER) SECTION

NOT TO SCALE



CONTROL STRUCTURE

NOT TO SCALE

LA 7403-00 Residential Feasibility - 332 Douglas Pike (DRG Realty) - Smithfield, RI Vlog 01 - Current 7403-00_PermL_Det.dwg 03/26/2024 r16.55

CONSTRUCTION DETAILS - 2

FOR
DRG ACRES
RESIDENTIAL SUBDIVISION
SITUATED AT
DOUGLAS PIKE
SMITHFIELD, RI
PREPARED FOR
DRG REALTY LLC

NO.	REVISION	BY	DATE
3	RIDEM COMMENTS	RAS	03-25-2024

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SHEET

C-6