

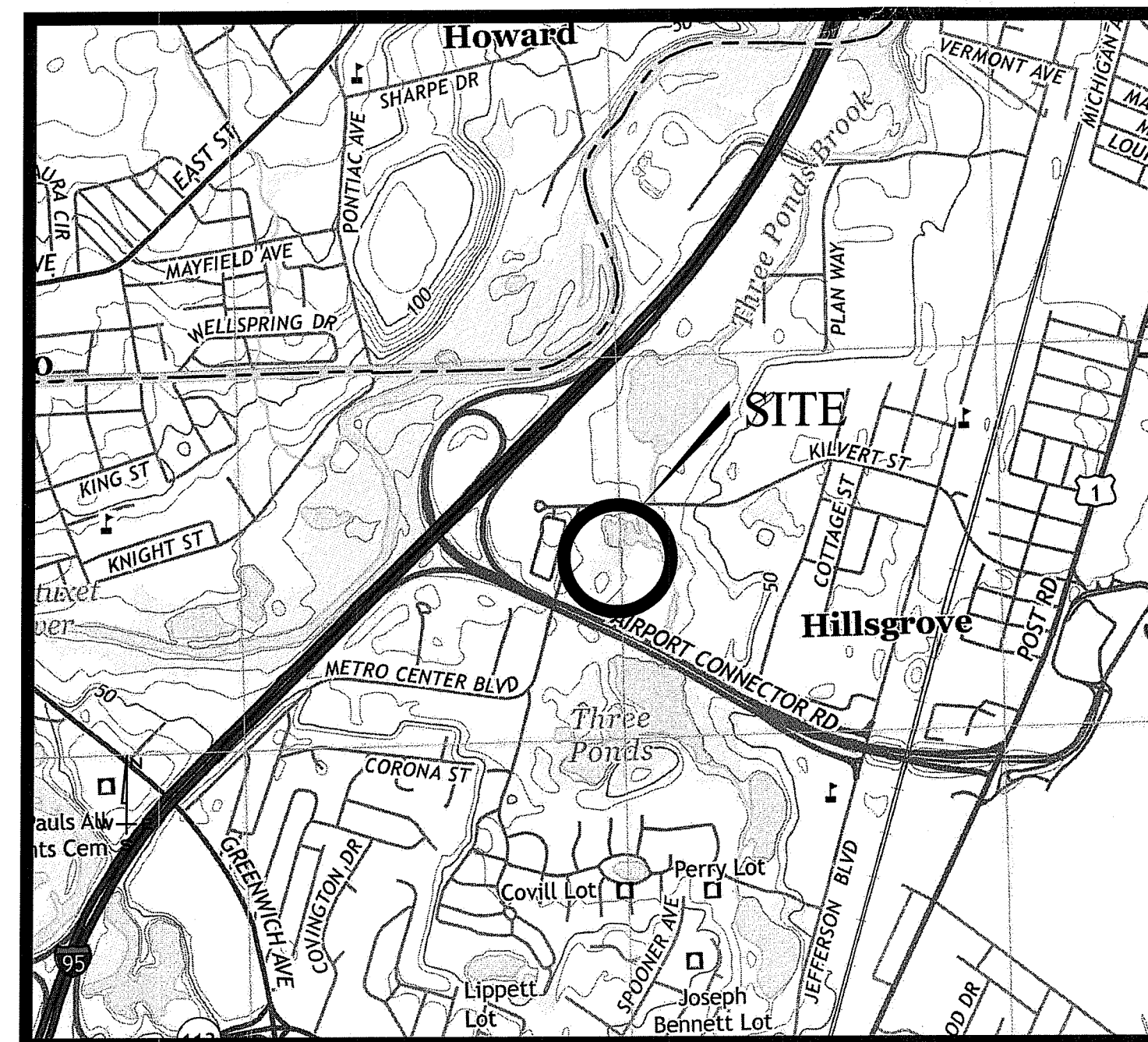
PERMIT SUBMISSION

SITE PLAN

FOR

ONE METRO CENTER

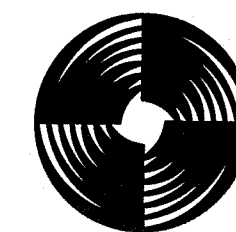
A.P. 278, LOT 145
ONE METRO CENTER BLVD
WARWICK, RHODE ISLAND 02886



LOCUS MAP
NOT TO SCALE

APPLICANT:
HILLSGROVE HOMES LLC
164 CENTERVILLE RD
WARWICK, RI 02886

OWNER:
ONEMETRO LLC
250 B CENTERVILLE RD UNIT 3
WARWICK, RI 02886



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS, SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
P.O. BOX 6145 PROVIDENCE, R.I. 02940
1-401-273-6000

PREPARED BY:

JOB NO. 7468-00
DATE: FEBRUARY, 2024

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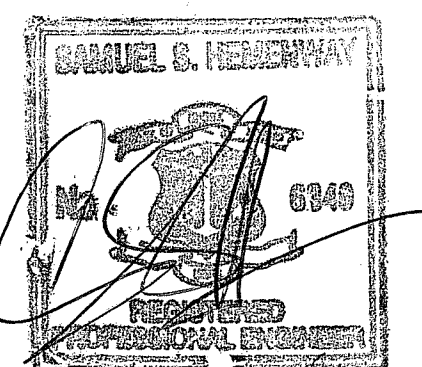
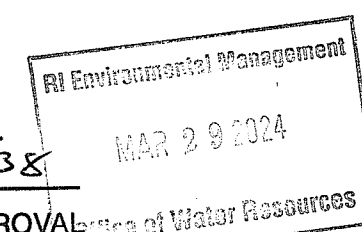
SESCP / SW O&M
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESCP) AND
STORMWATER OPERATION AND MAINTENANCE PLAN (SW O&M) ARE
REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE
MAINTAINED ON SITE BY THE OWNER/CONTRACTOR.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL

DATED: APR 24 2024 FILE #: 24-0038

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



GENERAL CONSTRUCTION NOTES:

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING:WARWICK MAJOR LAND DEVELOPMENT APPROVAL, RIDEM STORMWATER CONSTRUCTION PERMIT AND WATER QUALITY CERTIFICATION, WARWICK WATER DEPARTMENT CONNECTION PERMIT & WARWICK SEWER AUTHORITY (WSA) CONNECTION PERMIT.
3. ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
4. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (AMENDED MARCH 2018) WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.
5. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
8. THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
9. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF WARWICK AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
11. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
12. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
13. AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
14. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
15. ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
16. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
17. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
18. ALL CURB RADI ARE 4' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
19. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
20. WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
21. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
22. IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

SURVEY REFERENCE :

1. THE EXISTING CONDITIONS INDICATED HEREON IS BASED ON SURVEY PLAN ENTITLED "EXISTING CONDITIONS PLAN", ONE METRO CENTER, ASSESSORS PLAT 278, LOT 145, WARWICK, RHODE ISLAND", PREPARED BY DIPRETE ENGINEERING (REF. DWG2625-007-A01-EXCO-SBMP-INHS-20230914, DATED SEPTEMBER 30, 2015, LAST REVISED 9/14/23). THE EXISTING CONDITIONS INDICATED HAVE BEEN AUGMENTED WITH THE ADDITION OF MISCELLANEOUS SITE FEATURES IDENTIFIED FROM GIS AND CURSORY SITE OBSERVATION.
2. TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
21. SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTOMETRICS PLAN TO THE CITY OF WARWICK PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE CITY OF WARWICK. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
22. WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE SANDY LANE RIGHT OF WAY, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF WARWICK AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE WARWICK WATER DEPARTMENT RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
3. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8. IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
9. DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY THE WARWICK WATER DEPARTMENT. THE ONSITE WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.
10. GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS.
11. ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
12. ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE WARWICK SEWER AUTHORITY (WSA) REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF WARWICK AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
13. SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
14. SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE.
15. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
16. WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
17. STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANGCO PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "o" RING GASKET JOINTS
18. GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
19. ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
20. TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
21. SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTOMETRICS PLAN TO THE CITY OF WARWICK PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE CITY OF WARWICK. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
22. WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE SANDY LANE RIGHT OF WAY, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF WARWICK AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL DRAINAGE & GRADING NOTES:

1. THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
2. ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
4. ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
5. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
6. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF CONTRACTOR)

1. SILT BARRIER:
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
2. PAVED AREAS:
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEP CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
3. CATCH BASINS:
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
4. DRAIN MANHOLES:
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
5. STORMWATER BMPS:
NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRADIENT AREAS ARE STABILIZED.
6. SOIL EROSION AND SEDIMENT CONTROL PLAN UNDER SEPARATE COVER (SEE NOTE).

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF OWNER)

1. PAVED AREAS:
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEP CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
2. CATCH BASINS:
ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
3. DRAIN MANHOLES:
ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
4. STORMWATER MANAGEMENT FACILITIES – REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER (SEE NOTE).

NOTE: THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

SITE PLAN LEGEND (RIDOT STD):

- | | | | |
|---------|--|----------|--|
| (BCP) | BITUMINOUS CONCRETE PAVEMENT | (9.9.0) | CONSTRUCTION ACCESS |
| (CM) | CUT AND MATCH PAVEMENT | (20.1.0) | PAVEMENT MARKINGS-- ARROWS AND ONLY |
| (LS) | 4" LOAM AND SEEDING, TYPE 2 | (43.1.0) | CEMENT CONCRETE SIDEWALK |
| (3.3.4) | BRICK/ SOLID BLOCK DOUBLE GRATE CATCH BASIN GRATE PARALLEL TO EDGE OF PAVEMENT | (43.2.0) | BITUMINOUS CONCRETE SIDEWALK |
| (6.2.1) | HEAVY – DUTY ROUND FRAME AND COVER | (43.3.0) | WHEELCHAIR RAMP |
| (6.3.2) | HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE) | (43.3.1) | WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS |
| (7.1.0) | PRECAST CONCRETE CURB | (48.1.0) | DETECTIBLE WARNING PANEL PLACEMENT |
| (7.6.0) | CURB SETTING DETAIL | (4W) | 4" PAVEMENT MARKINGS |
| | | (6W) | 6" PAVEMENT MARKINGS |
| | | (12W) | 12" PAVEMENT MARKINGS--CROSSWALKS & STOP BAR |

SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		ROOF DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		FORCE MAIN
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		SIGN
		FIRE DEPARTMENT CONNECTION
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		LIMIT OF DISTURBANCE
		COMPOST SILT SOCKS
		PAVEMENT SAWCUT & MATCH TO EXISTING
		RIDOT STD

ABBREVIATIONS

CI	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING
D.I.	DUCTILE IRON PIPE
ESHW	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX	EXISTING
F&I	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VIF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE

GENERAL NOTES & LEGEND
FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE

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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

88 CORLISS STREET
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DWG. NO. 7468-00-PERMIT_COVER	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: FEBRUARY, 2024

SHEET

C-1

RI Environmental Management
Office of Water Resources
MAR 29 2024

13 BUILDINGS, 78 UNITS

1. SEE SHEET C-1 FOR GENERAL NOTES & LEGEND.

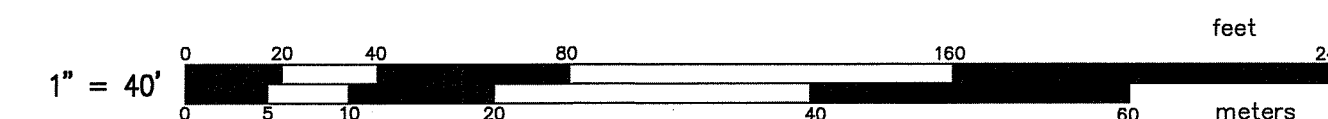


PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROPOSED
RESIDENTIAL - FIVE OR MORE UNITS	195 SP. (2)	199 SP.

TABLE NOTES:

1. REFER 2022 REZONE AND ZONING, SECTION 302.
2. PARKING REQUIRED PER SECTION 308.2.E:
REQUIRED RATE: 2.5 SPACES PER UNITS
REQUIRED SPACES: 78 UNITS @ 2.5 SPACES PER UNIT = 195 SPACES

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1.	MOD. UTILITIES	KYY	03/22/24



PREPARED FOR
HILLSGROVE HOMES LLC

SHEET

C-2

Environmental Management

MAR 29 2024

Office of Water Resources

3 OF 13 SHEETS

L:\7468-00 1 Metro Center (Centerville Builders) - Warwick, RI\dwg\01-Current\7468-00-permit\g6d.dwg 03/29/2024 shemway 07:49

SHEET NOTES:

1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.

GRADING & DRAINAGE PLAN

FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE
1.	MOD. UTILITIES AND DRN DIA	KYY	03/28/2024

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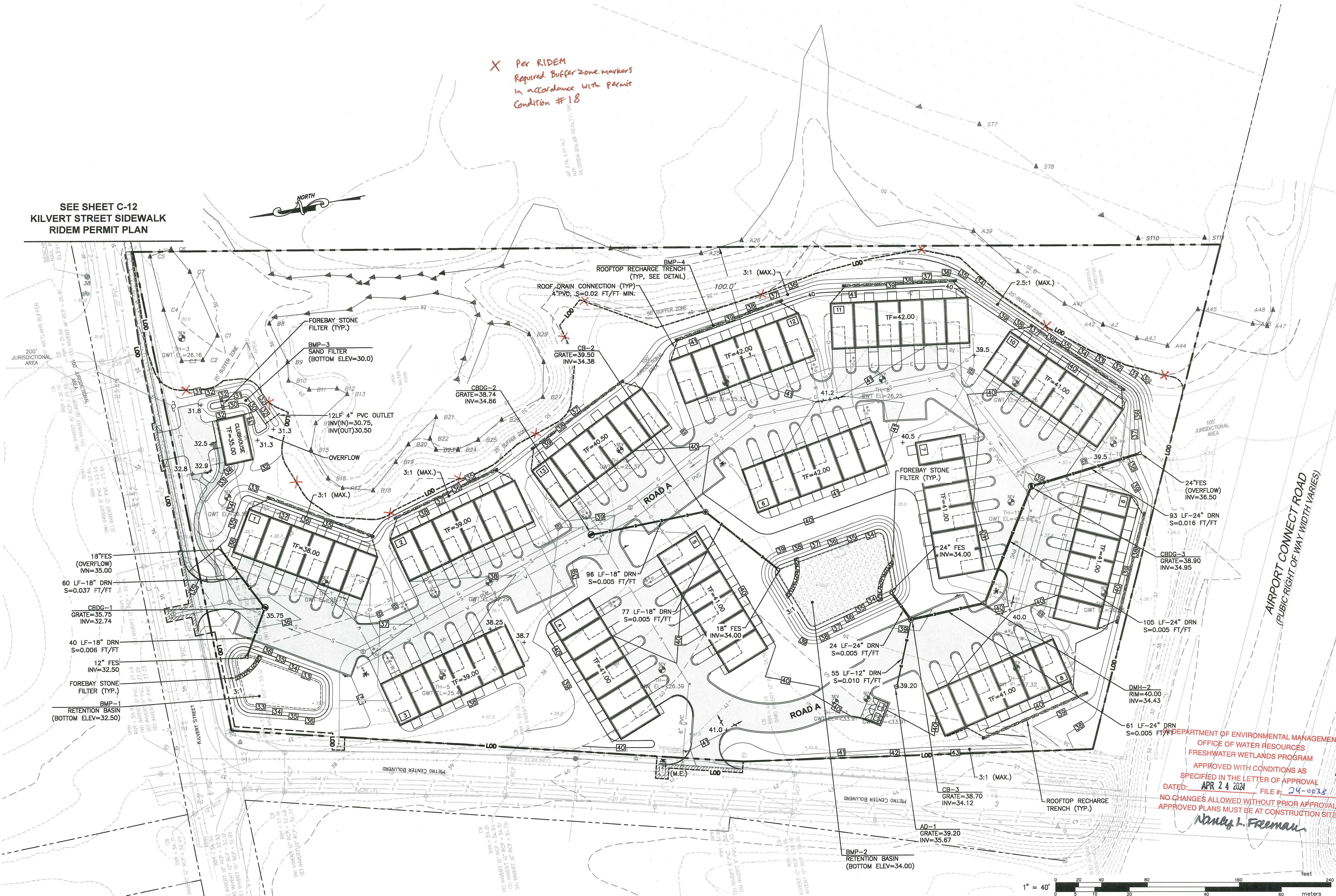
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SHEET
C-3
RI Environmental Management
Office of Water Resources
MAR 29 2024

SEE SHEET C-12
KILVERT STREET SIDEWALK
RIDEM PERMIT PLAN

X Per RIDEM
Required Buffer Zone markers
in accordance with permit
Condition #18



SHEET NOTES:

1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.

UTILITIES PLAN

FOR
A.P. 278, LOT 145

SITUATED AT

WARWICK, RI

PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE
1.	MOD. UTILITIES	KYY	03/22/24

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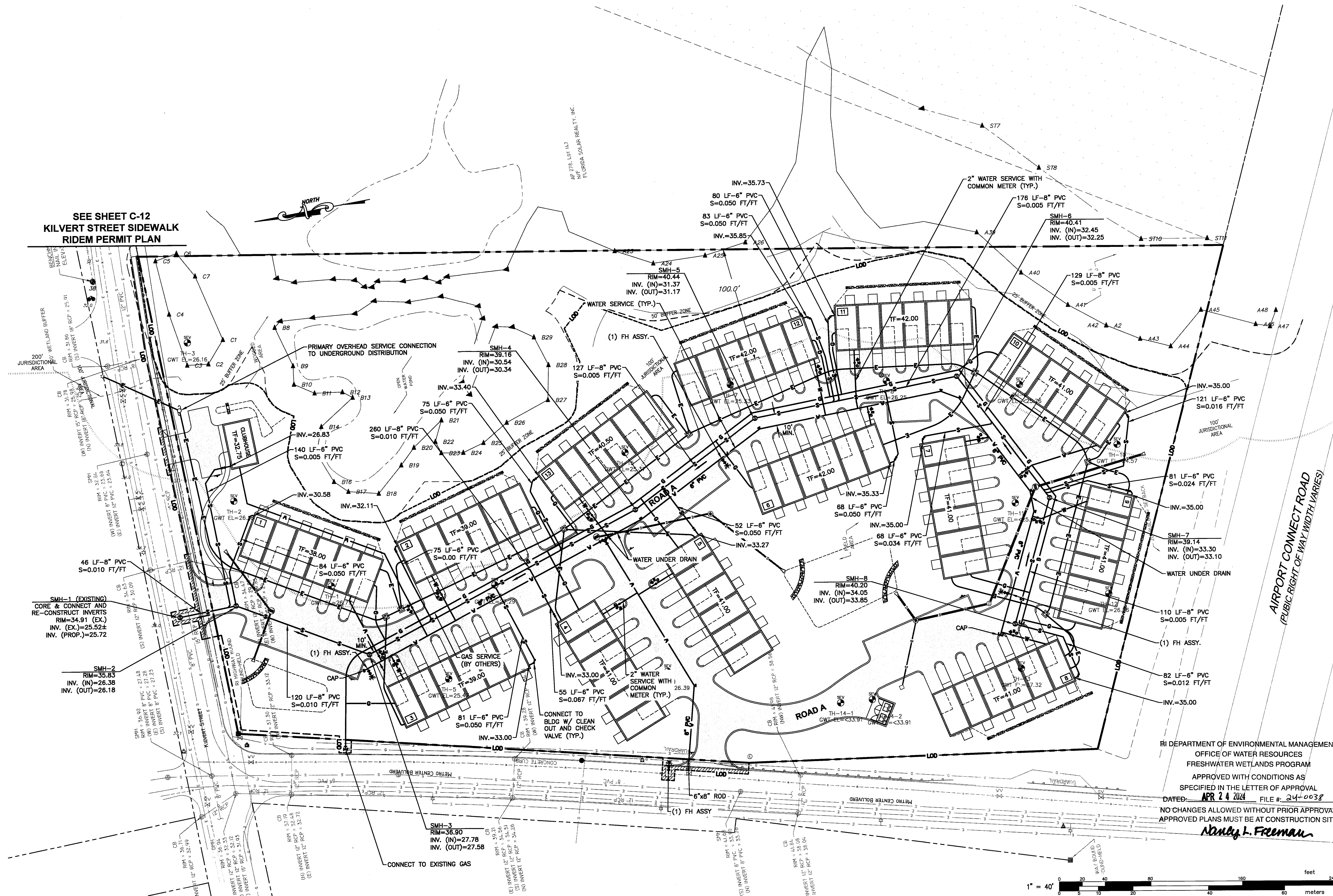
FEBRUARY 2002

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C-4

4 MAR 29 2024
Office of Water Resources

5 OF 13 SHEETS



EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREEFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILFENCE. (SEE DETAIL.)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

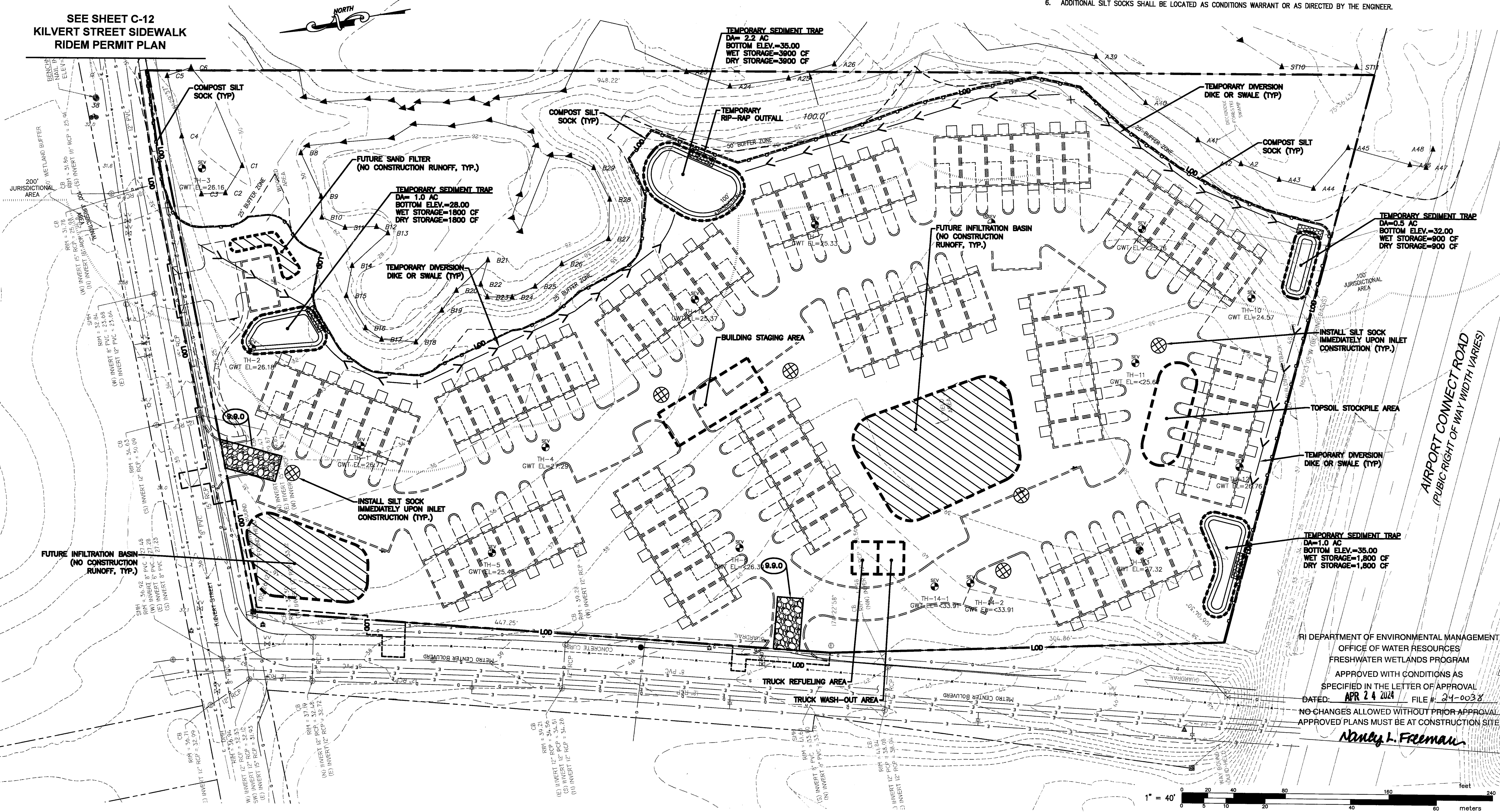
SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

- SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
- PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
- INSTALL DRAINAGE SYSTEM. INSTALL SEDIMENT PROTECTION IMMEDIATELY AFTER INSTALLATION.
- COMPLETE SITE GRADING.
- INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
- COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
- FLUSH AND/OR REPAIR DRAINAGE AREAS AS NEEDED.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

SEE SHEET C-12
KILVERT STREET SIDEWALK
RIDEM PERMIT PLAN



SOIL EROSION & SEDIMENT
CONTROL PLAN

FOR
A.P. 278, LOT 145

SITUATED AT
ONE METRO CENTER BLVD

WARWICK, RI

PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE

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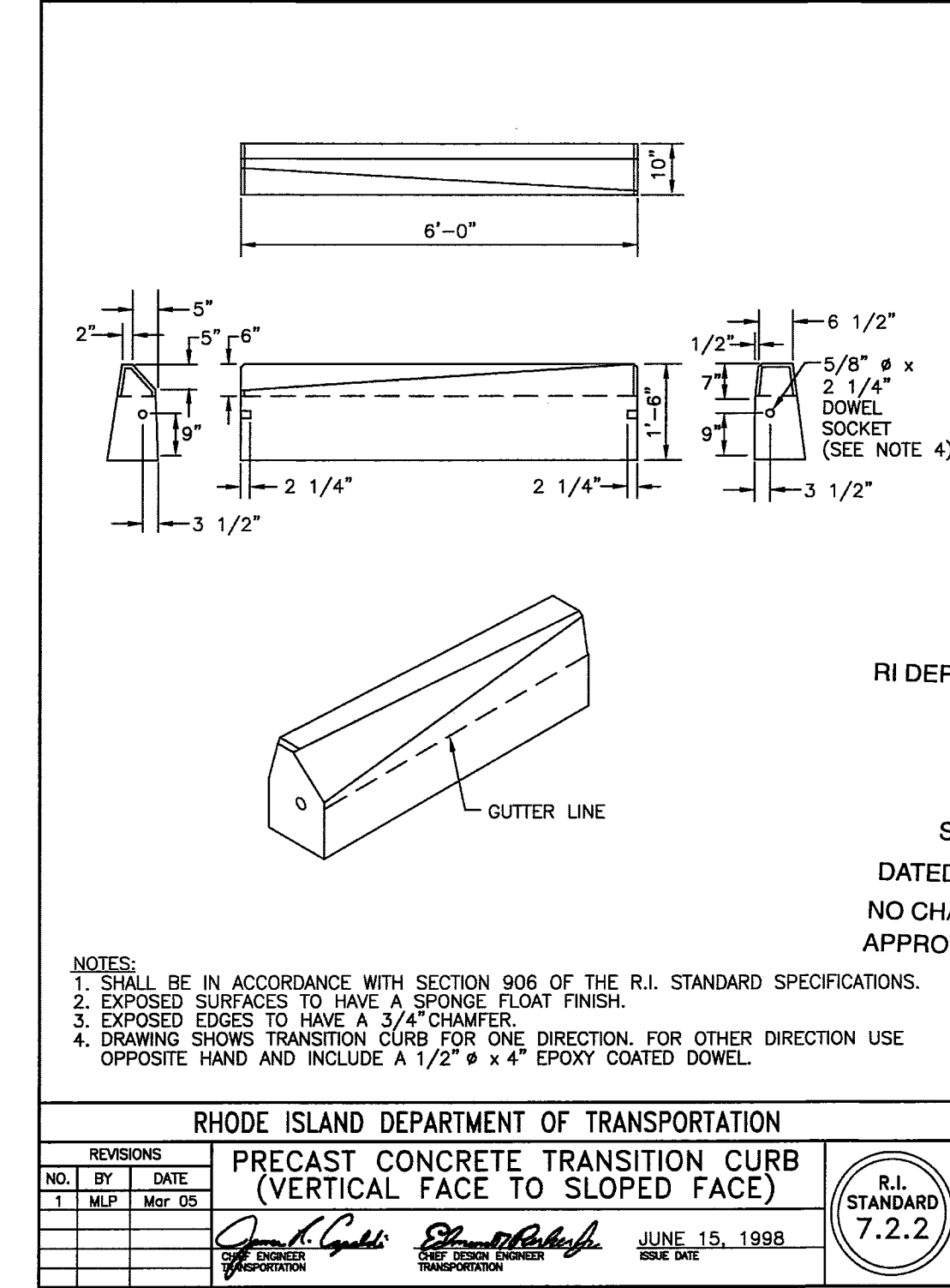
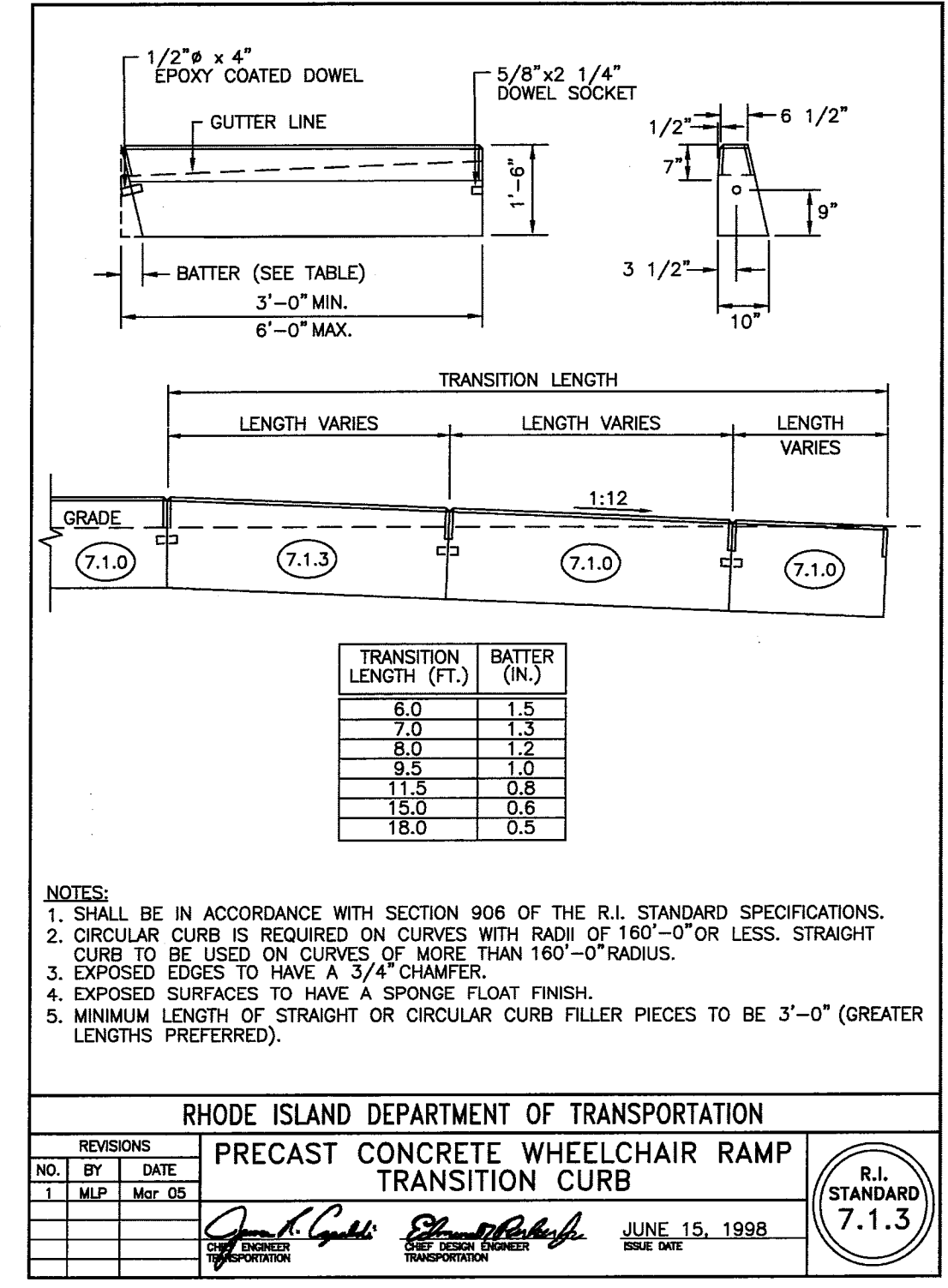
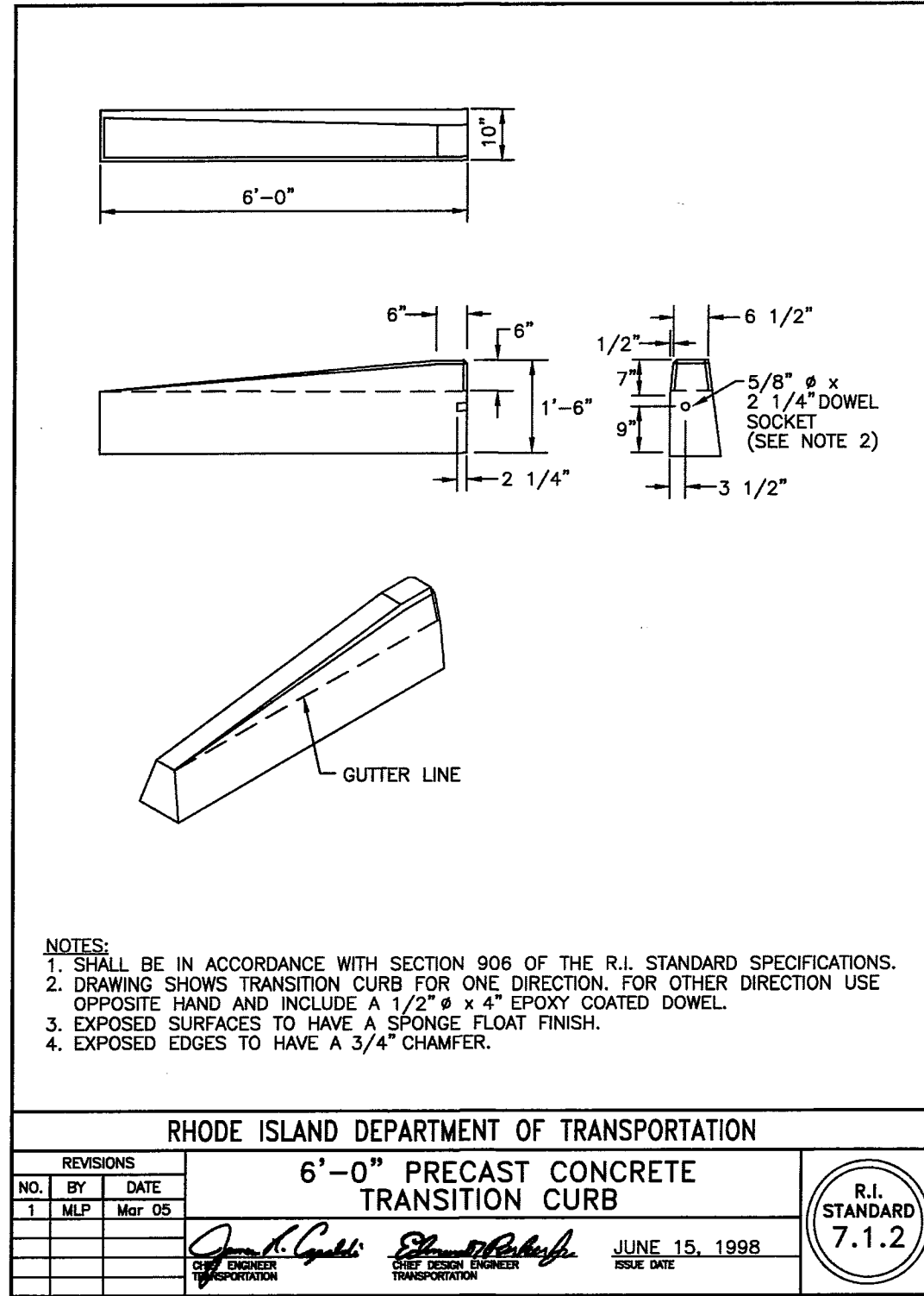
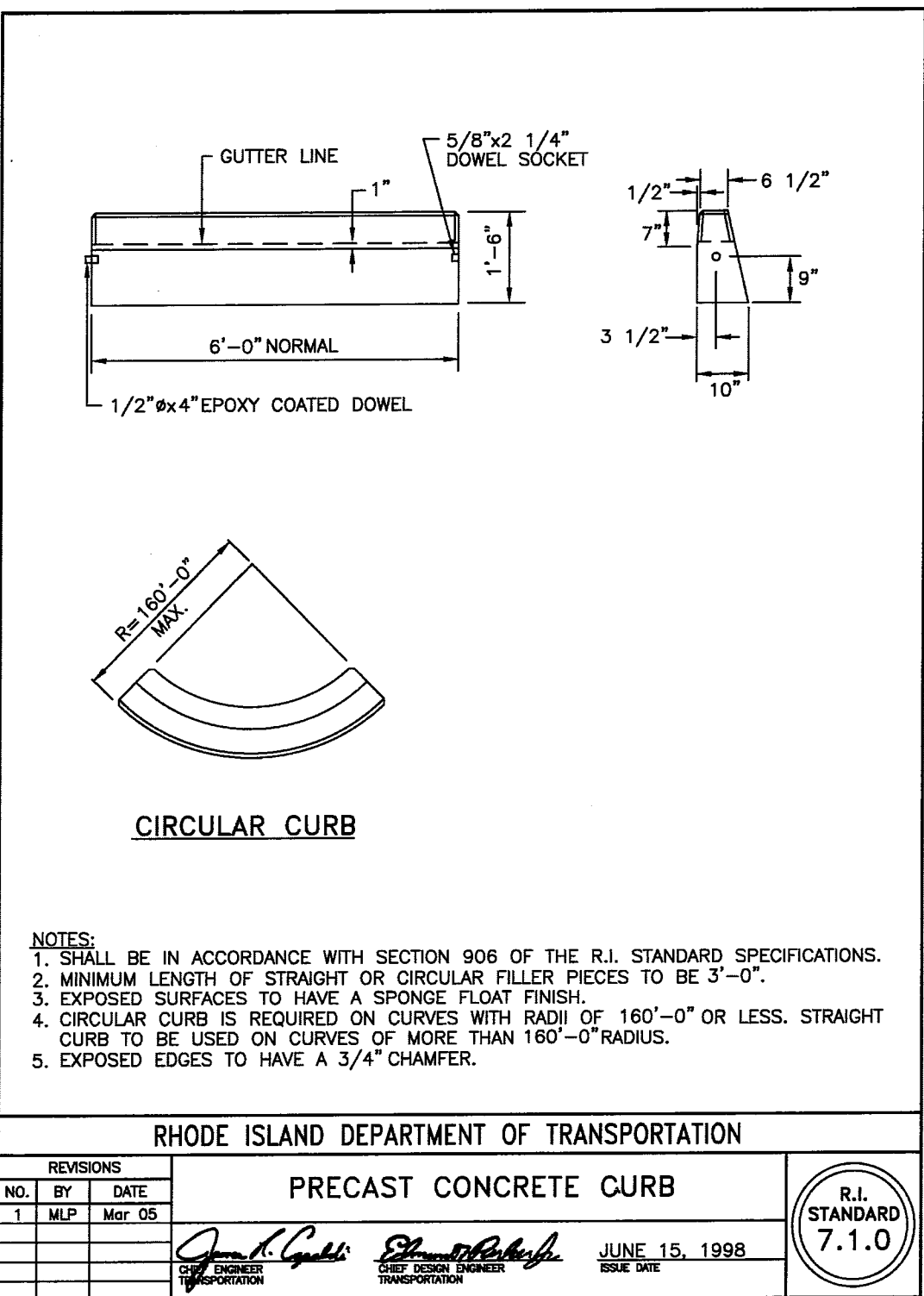
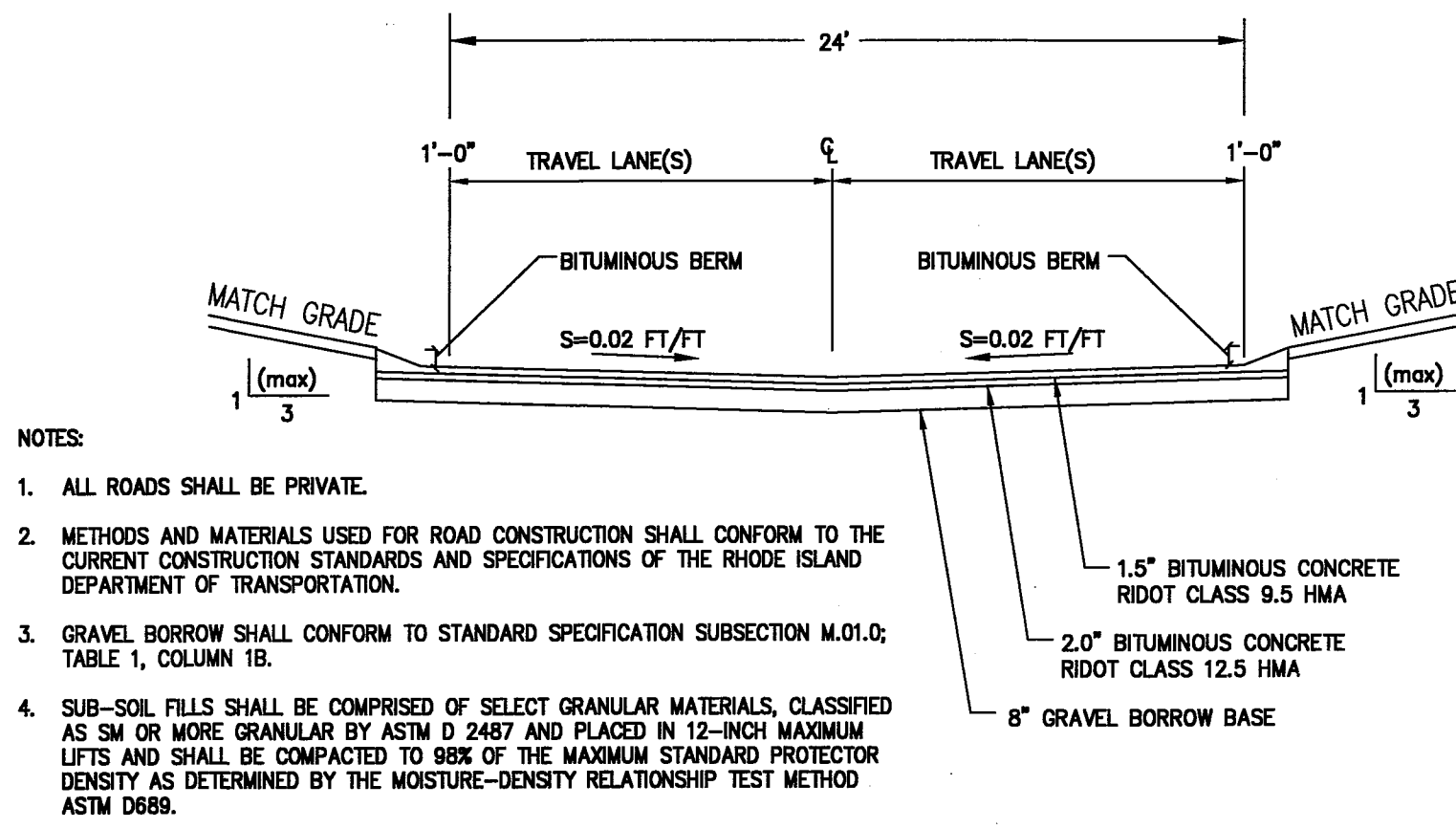
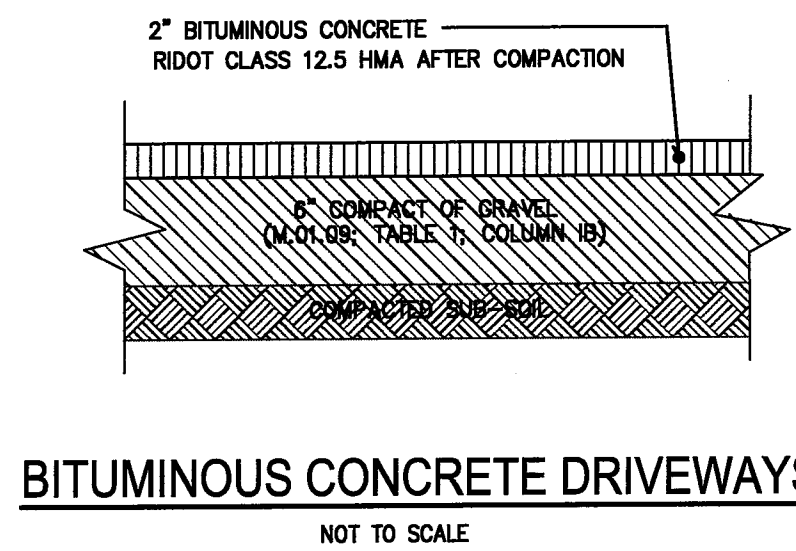
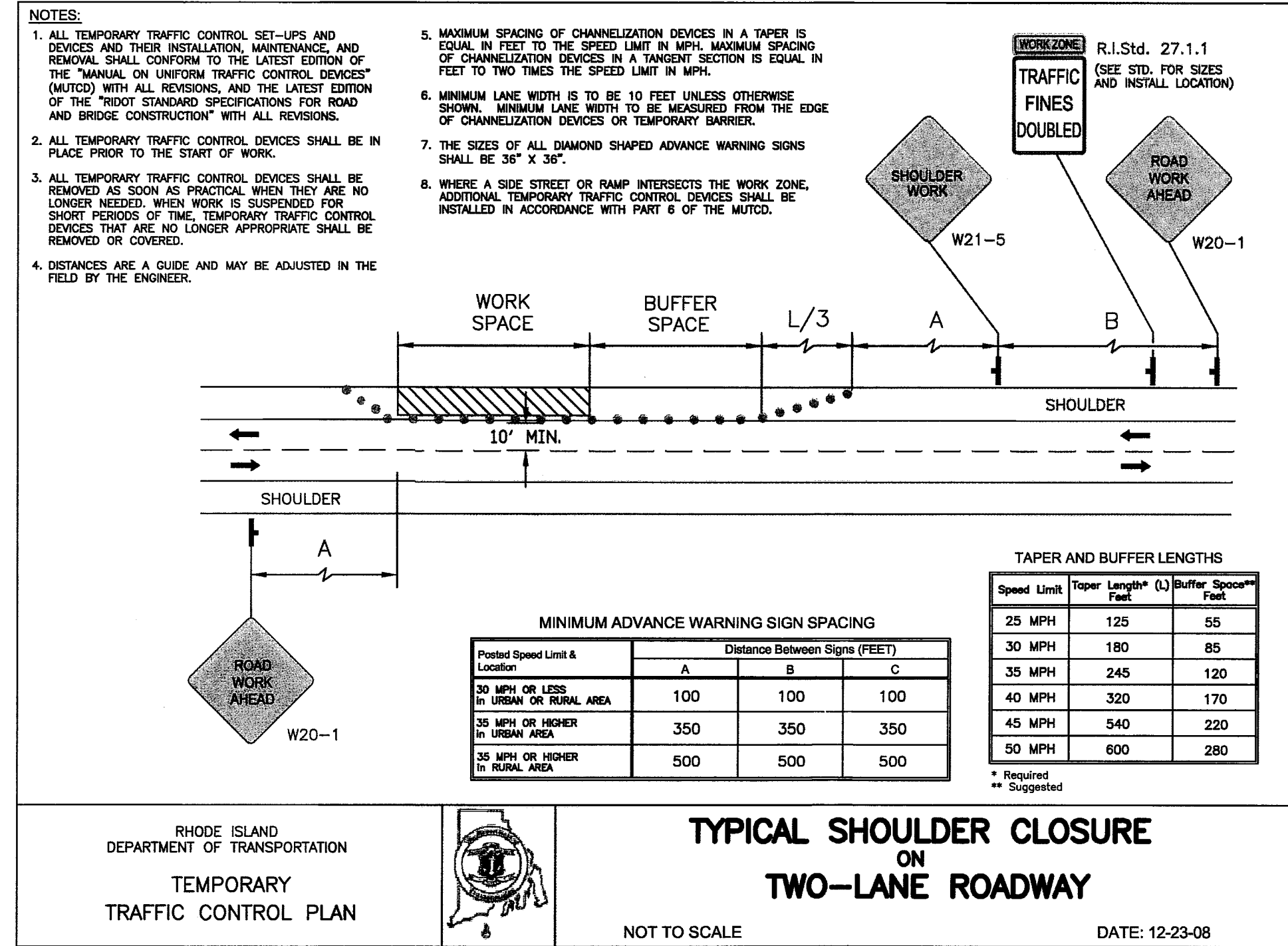
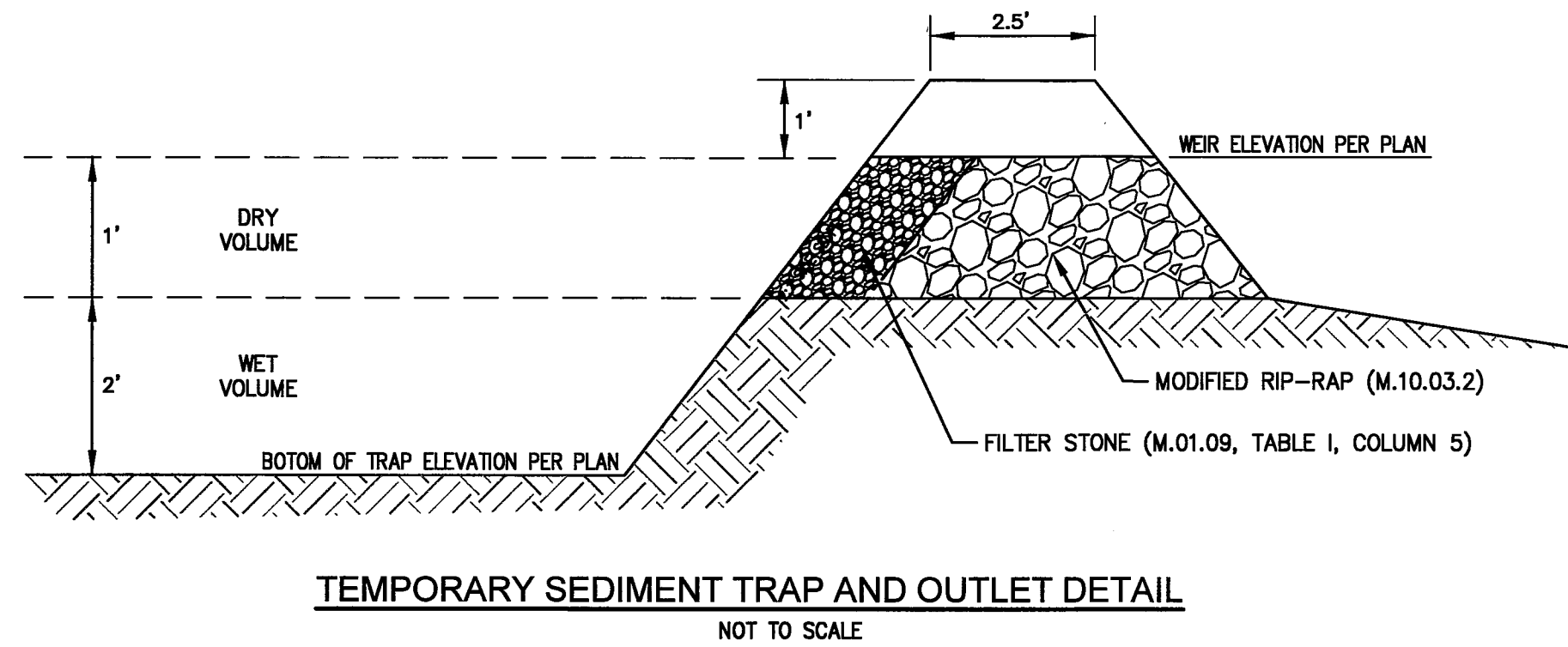
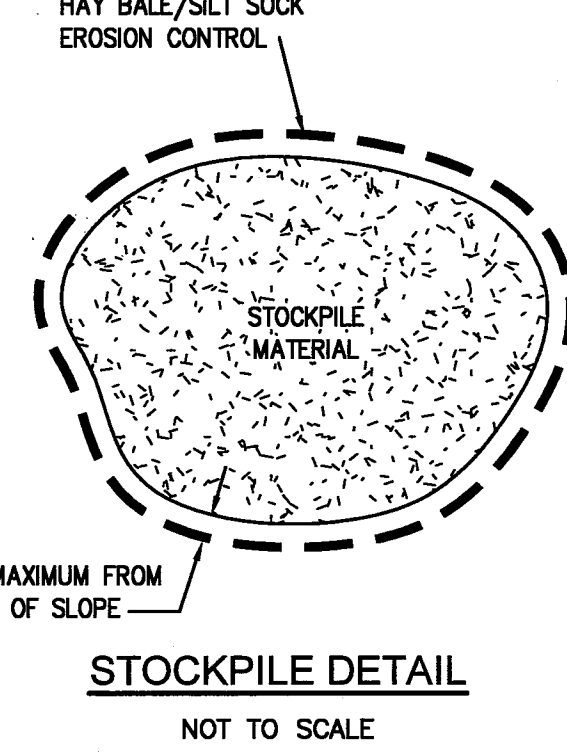
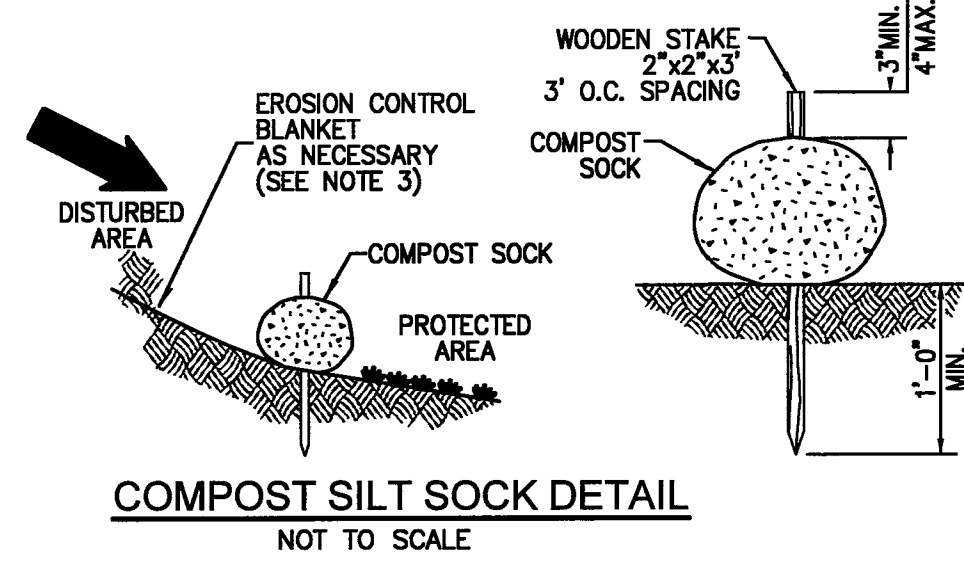
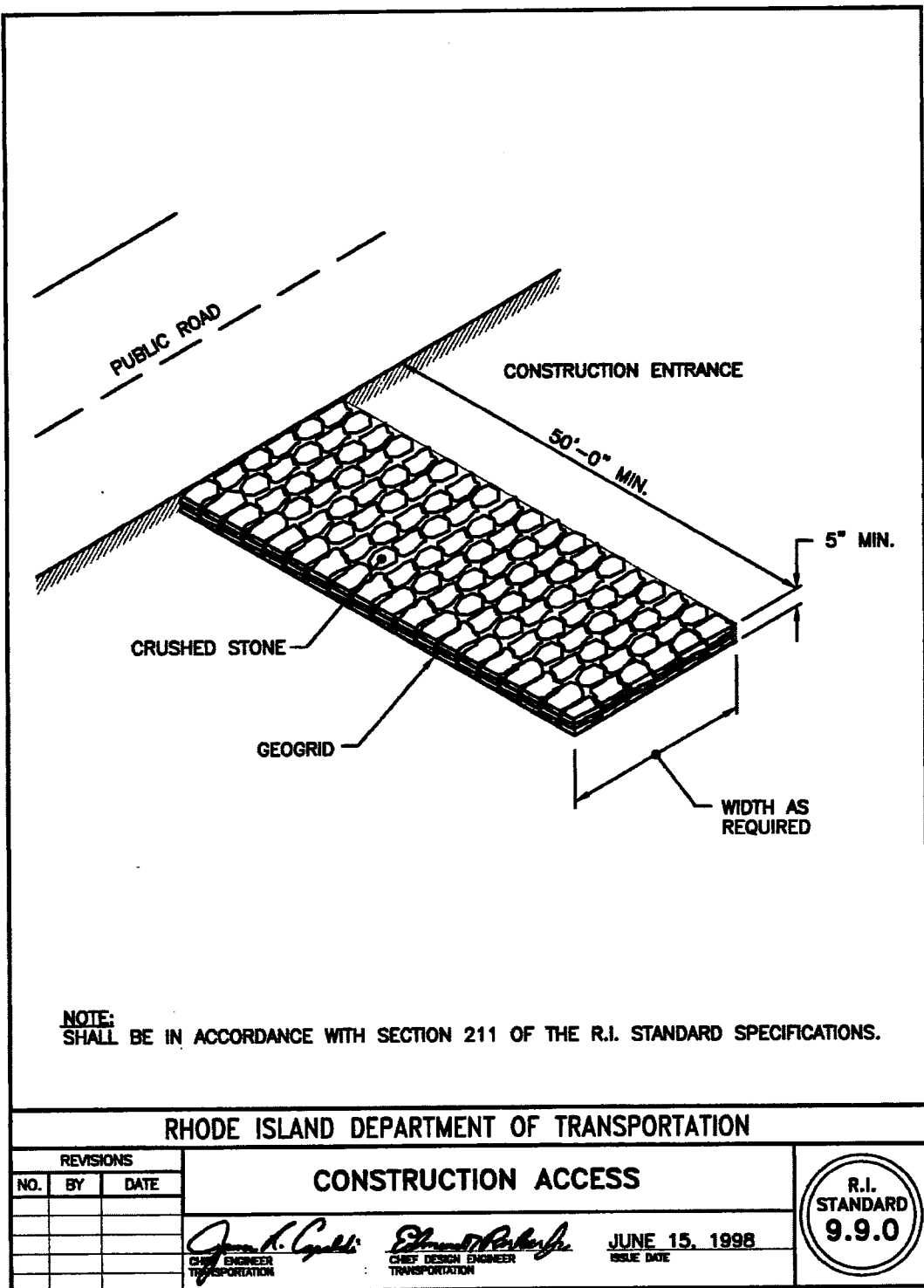
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DATE:
FEBRUARY, 2024

RI Environmental Management

C-5

MAR 29 2024



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 24 2024 FILE # 24-0038
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

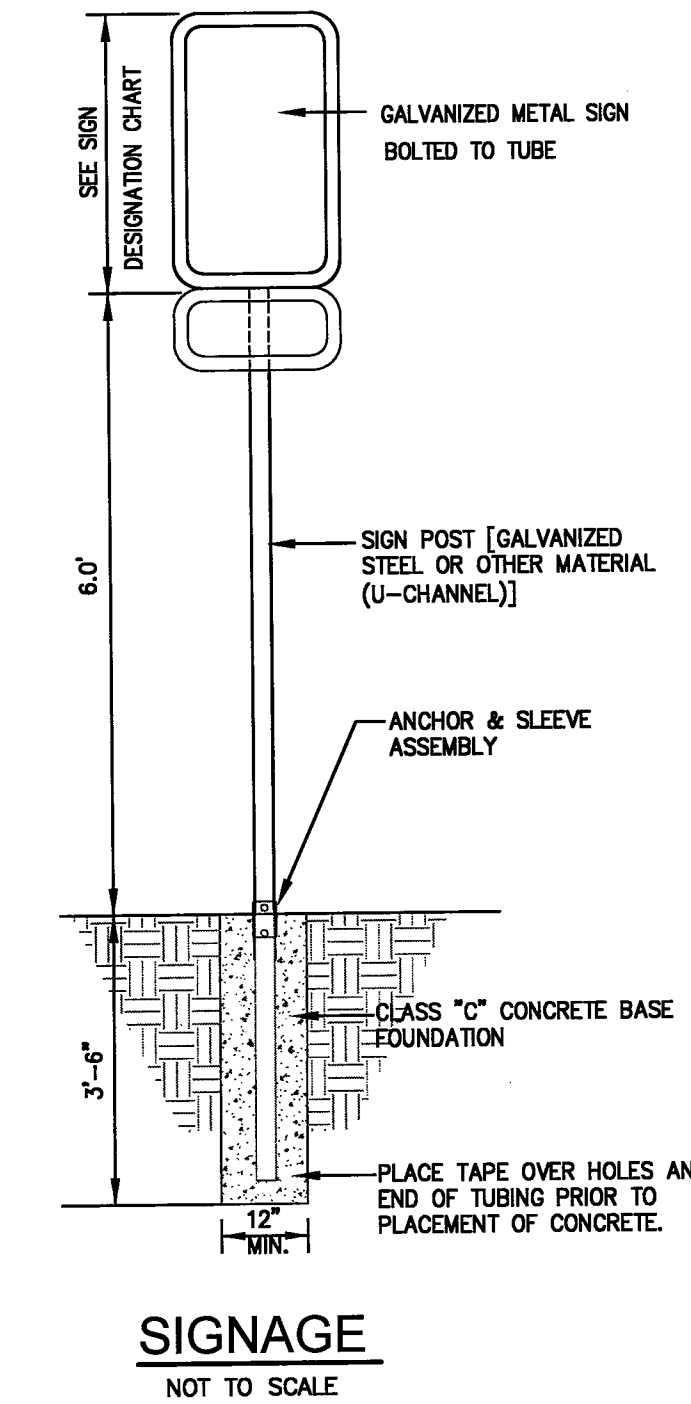
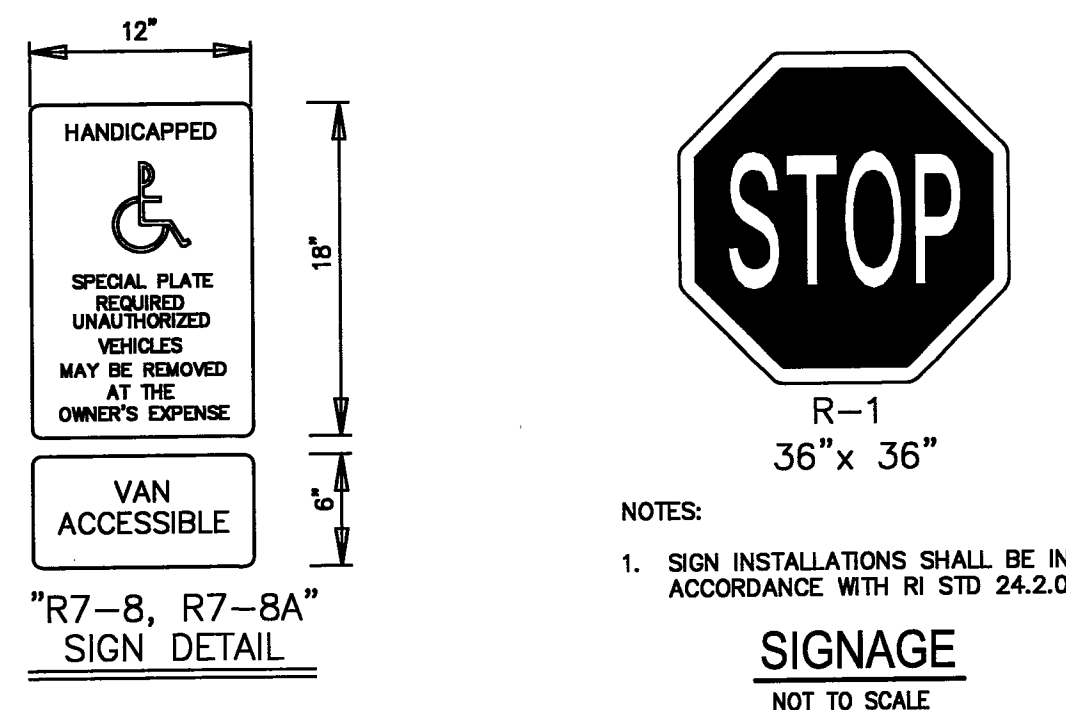
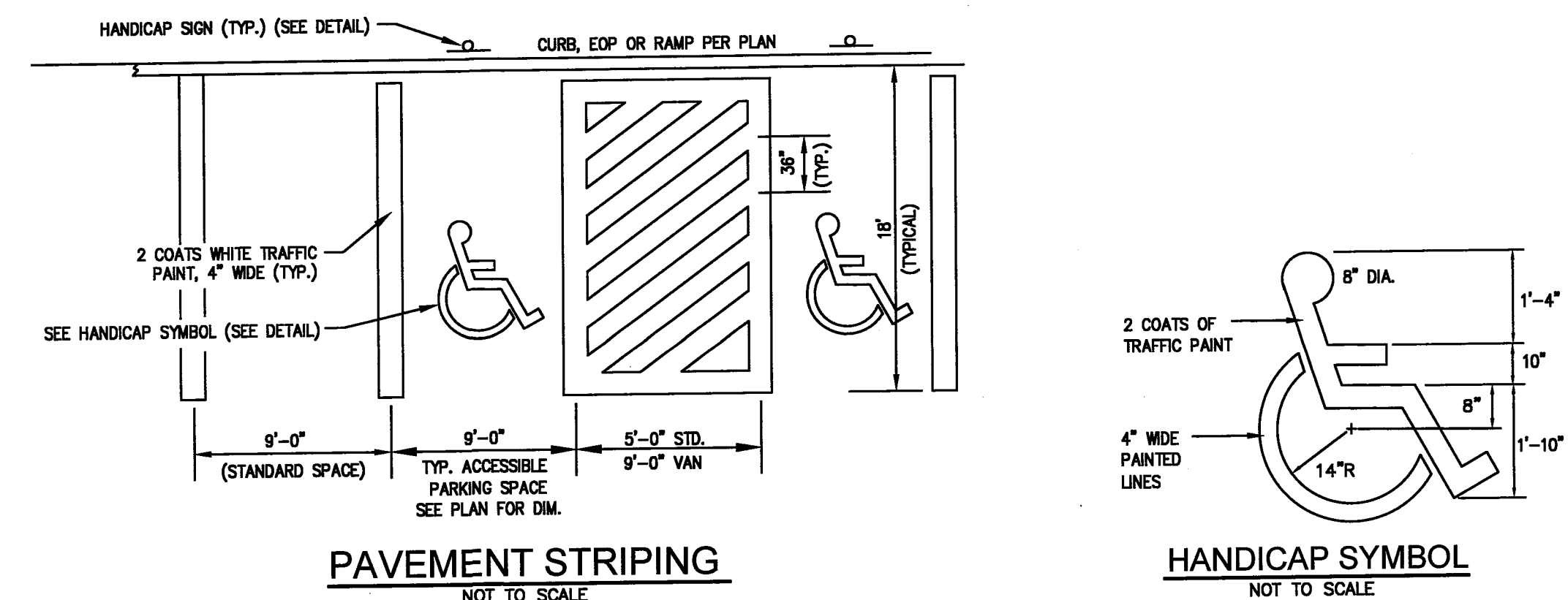
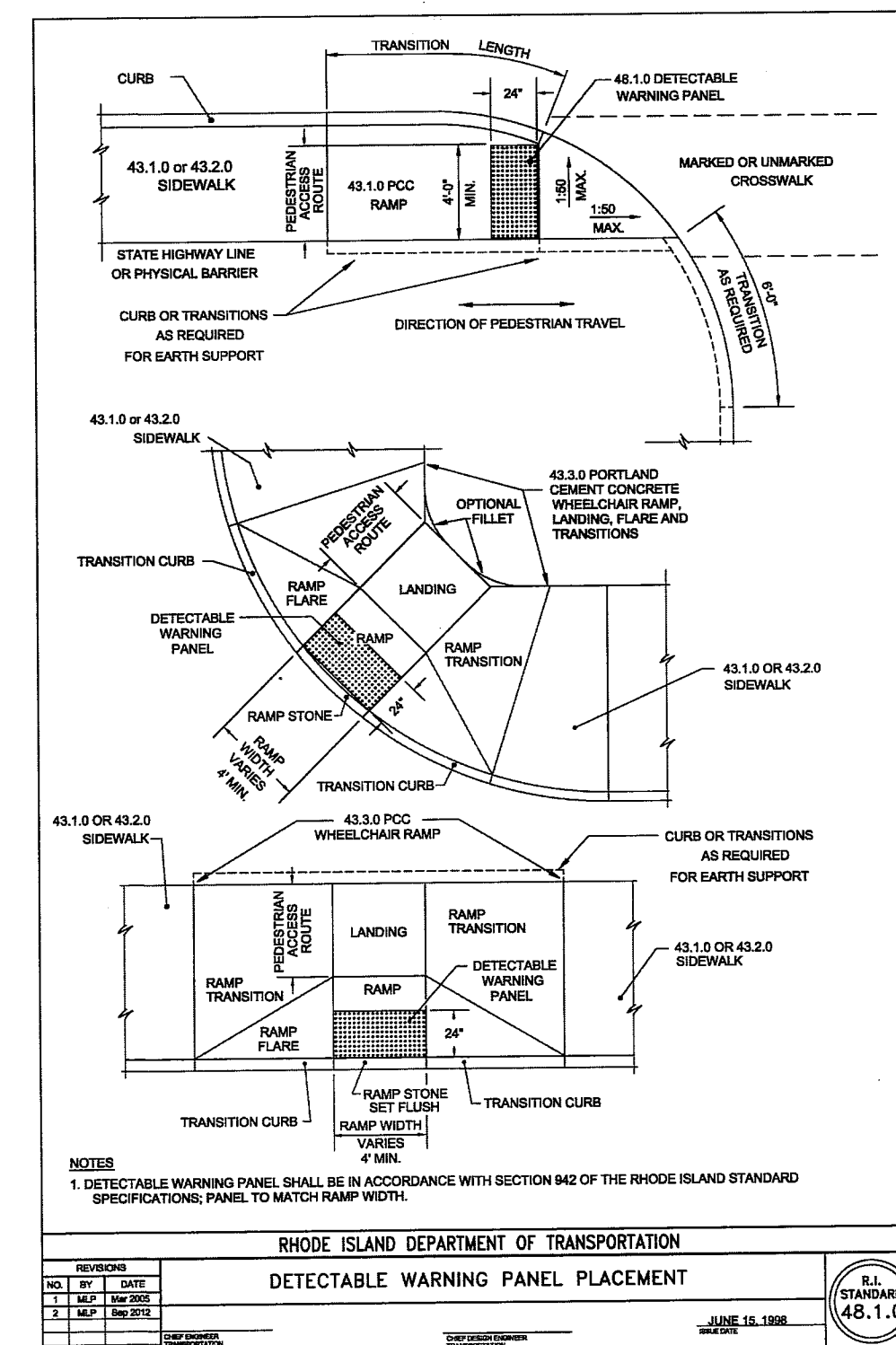
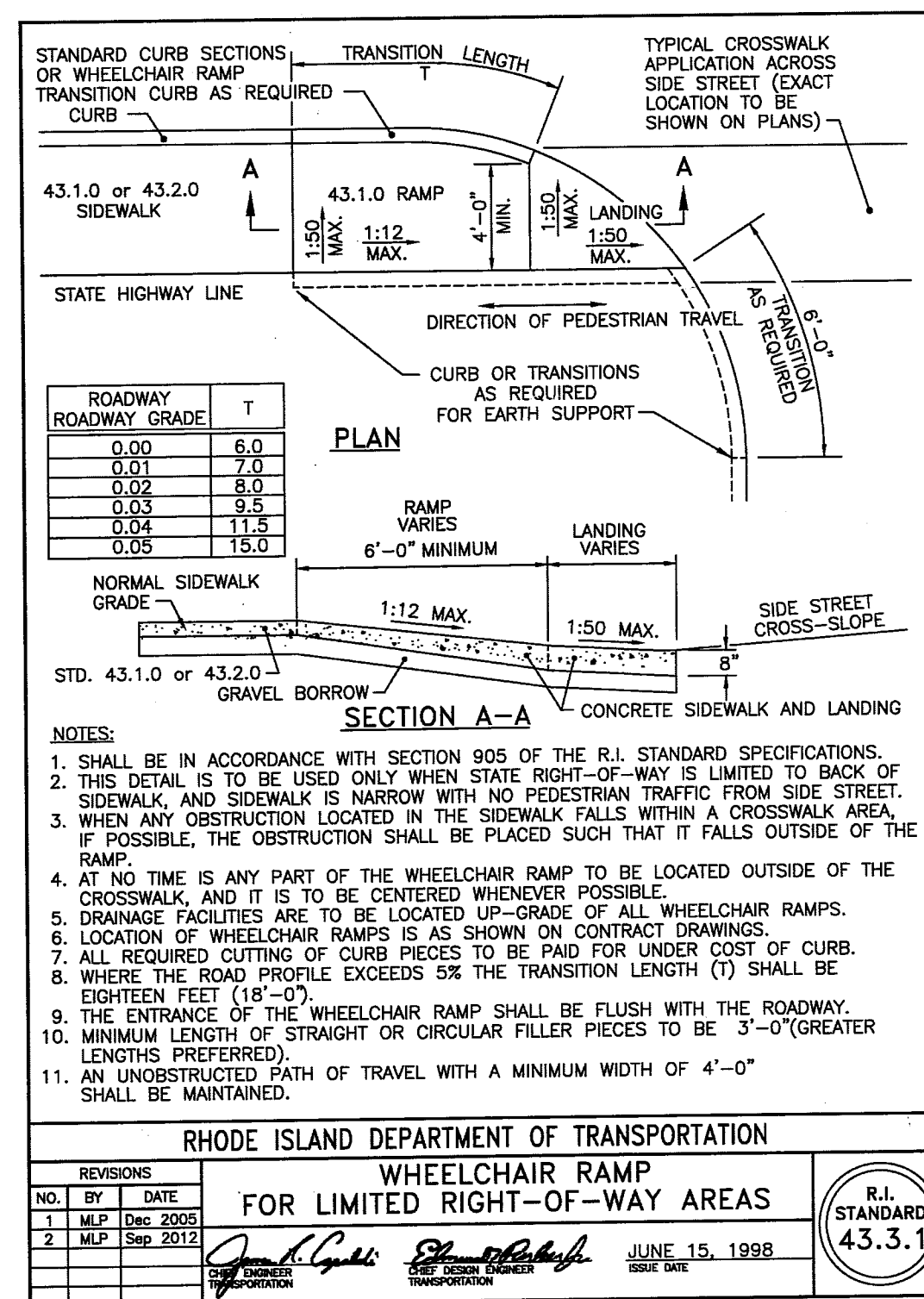
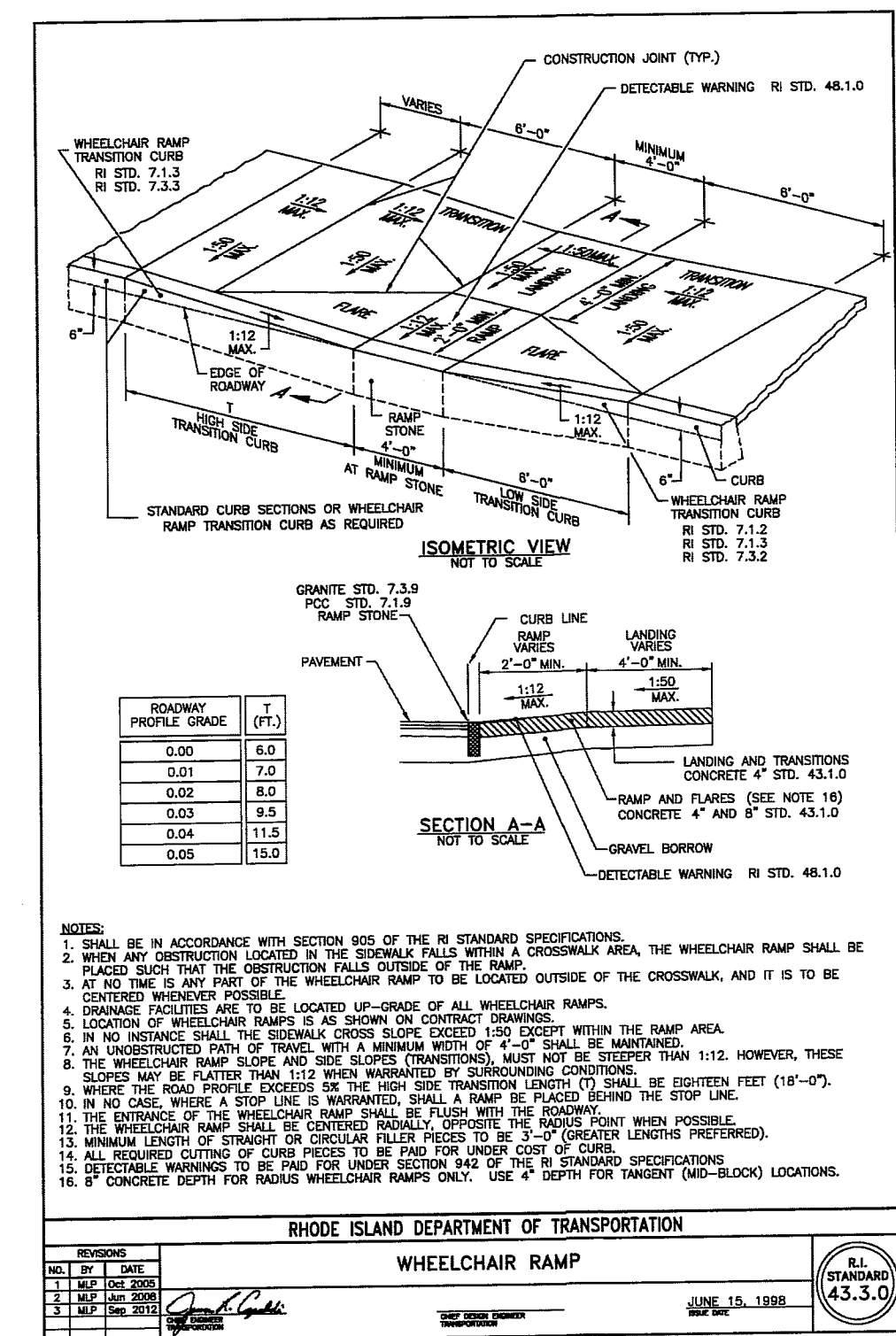
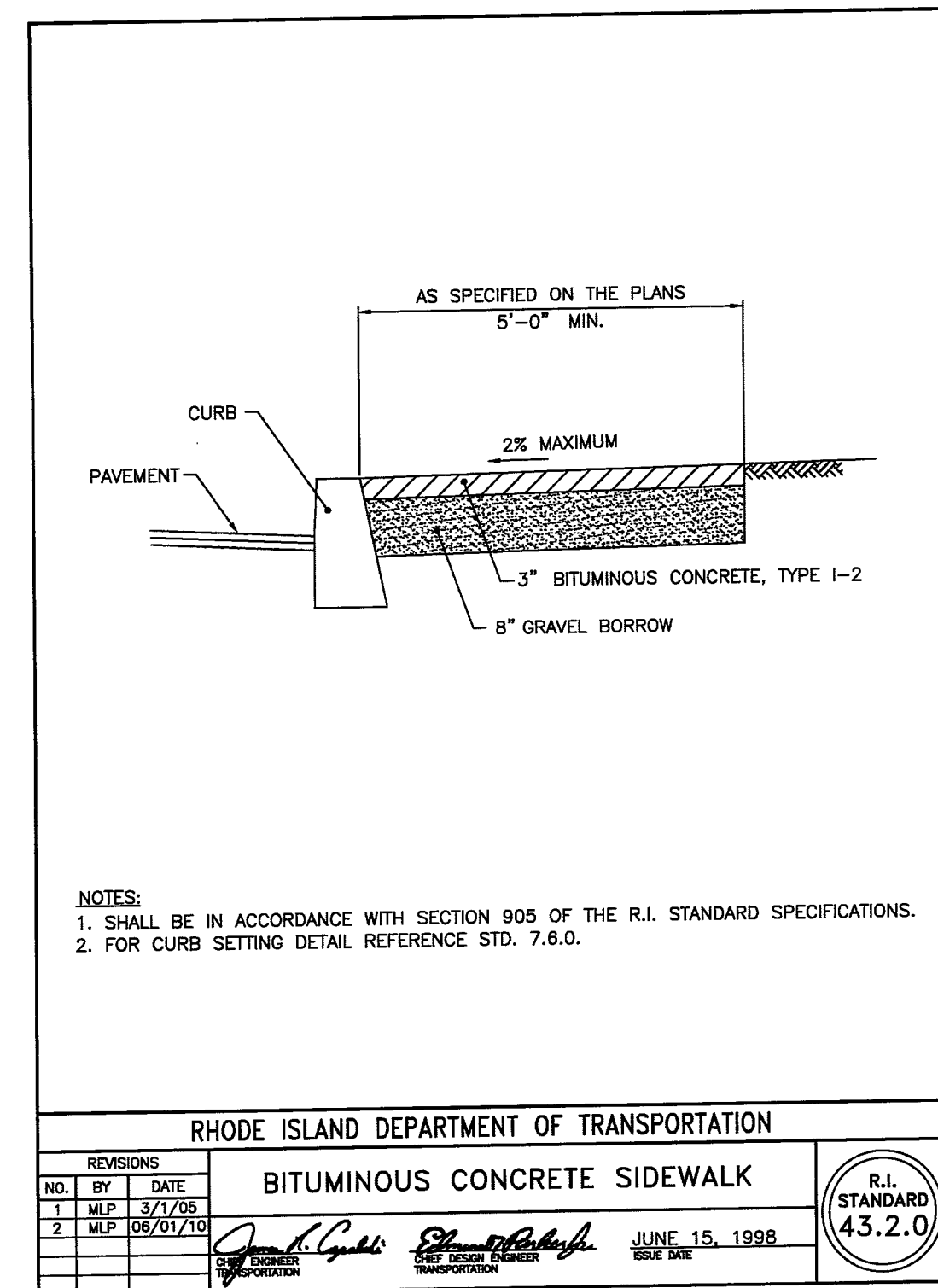
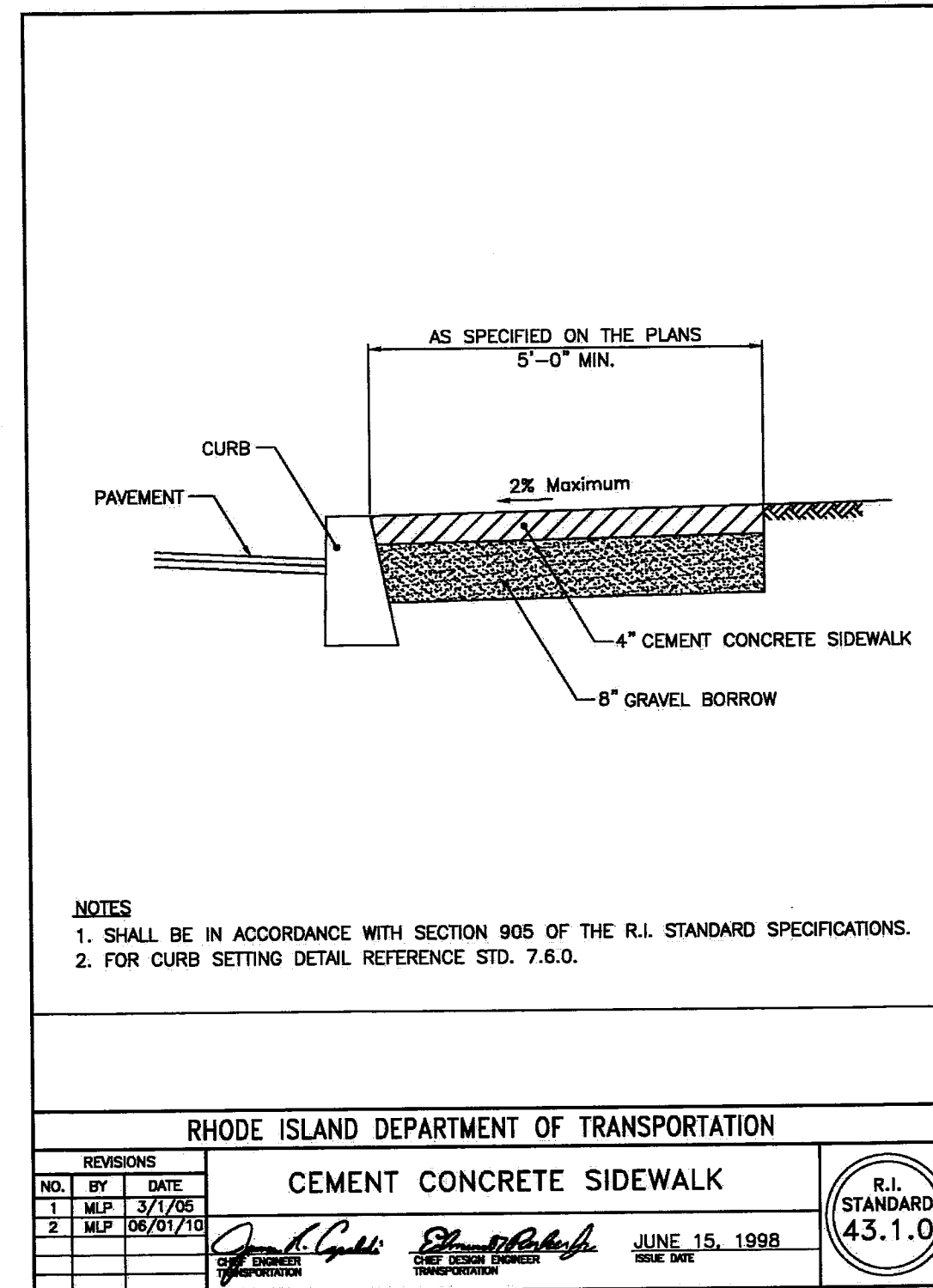
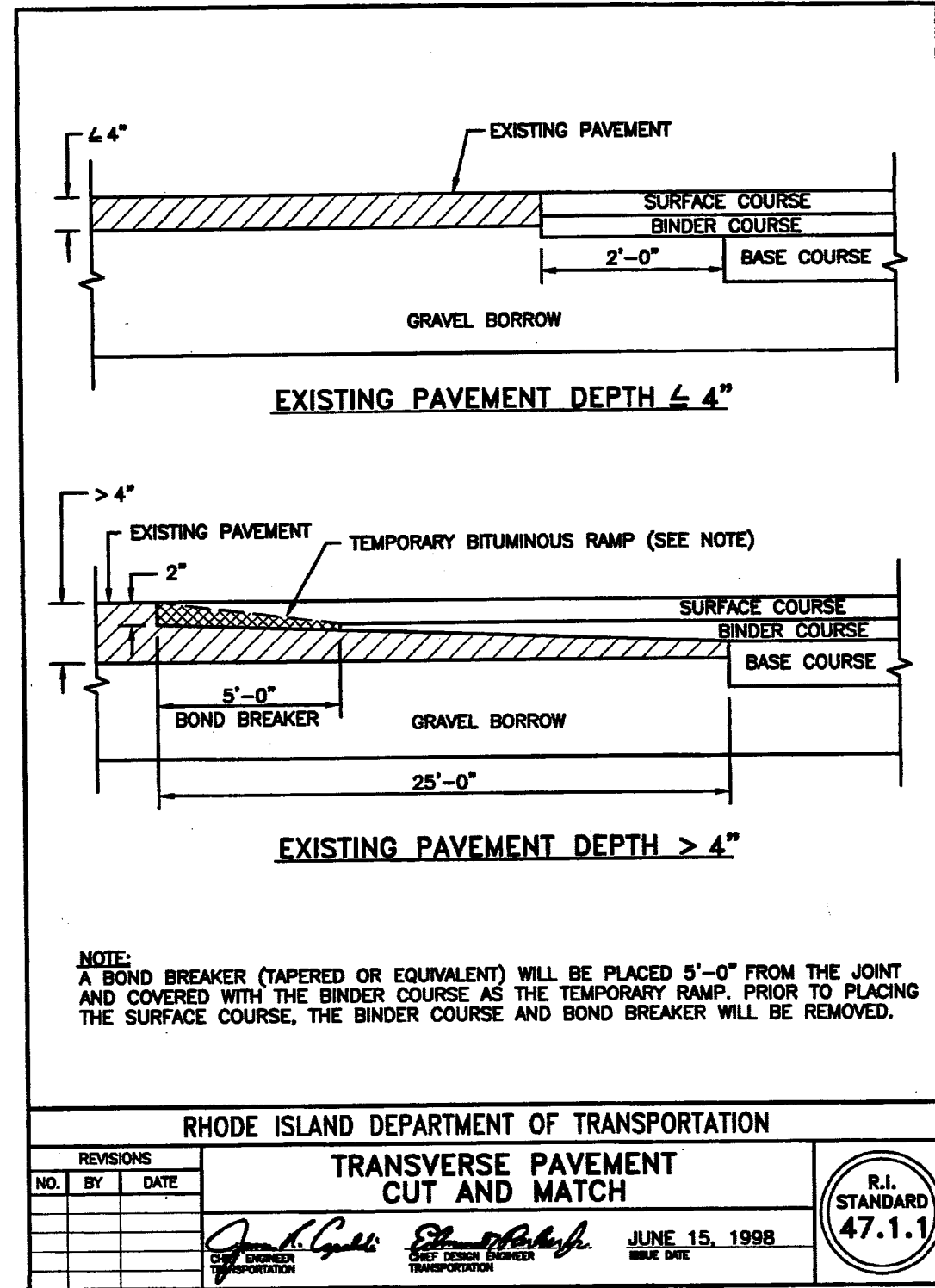
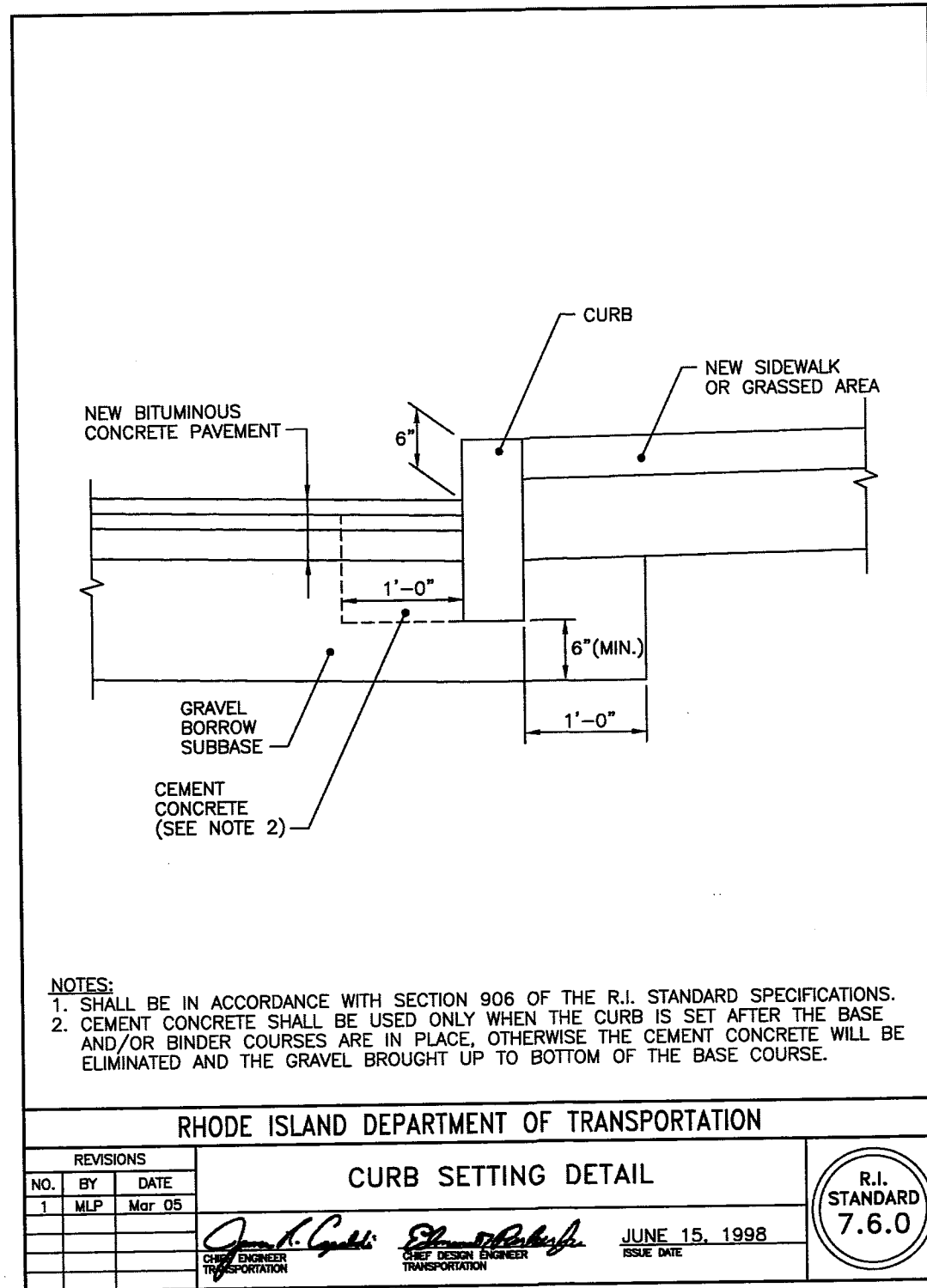
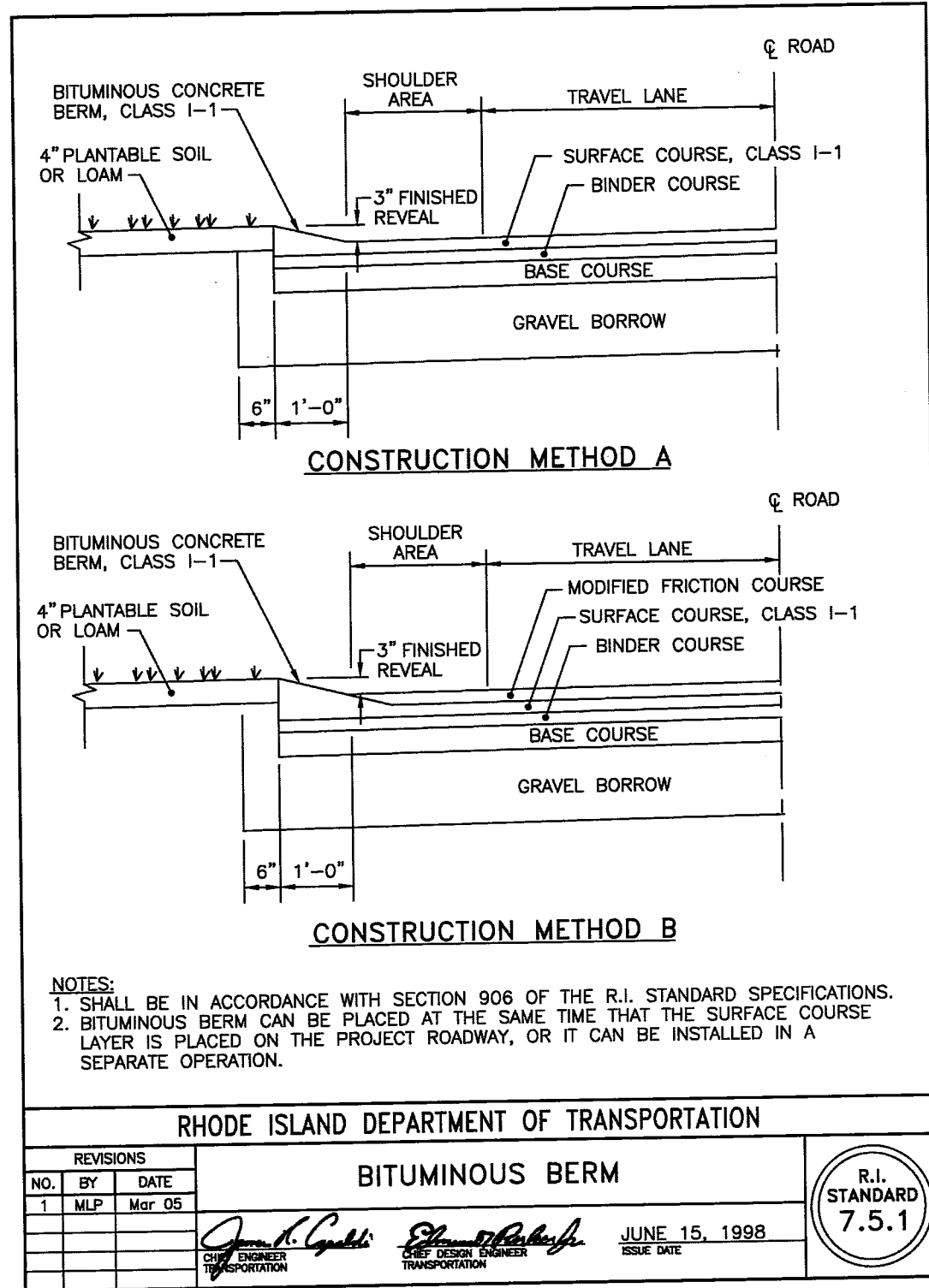
CONSTRUCTION DETAILS - 1
FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE

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C-6
RI Environmental Management
Office of Water Resources
MAR 29 2024
7 OF 13 SHEETS



CONSTRUCTION DETAILS - 2

FOR

A.P. 278, LOT 145

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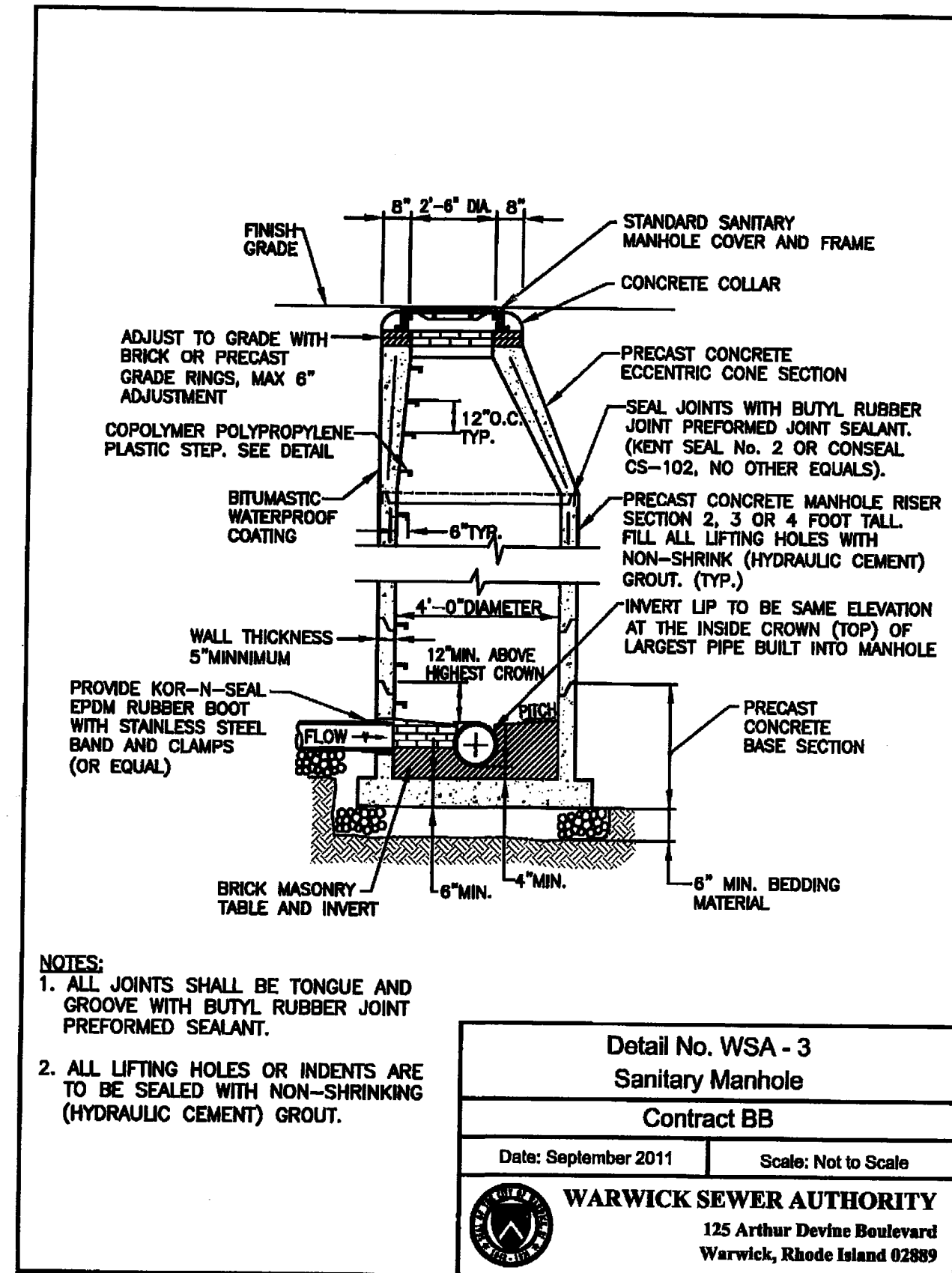
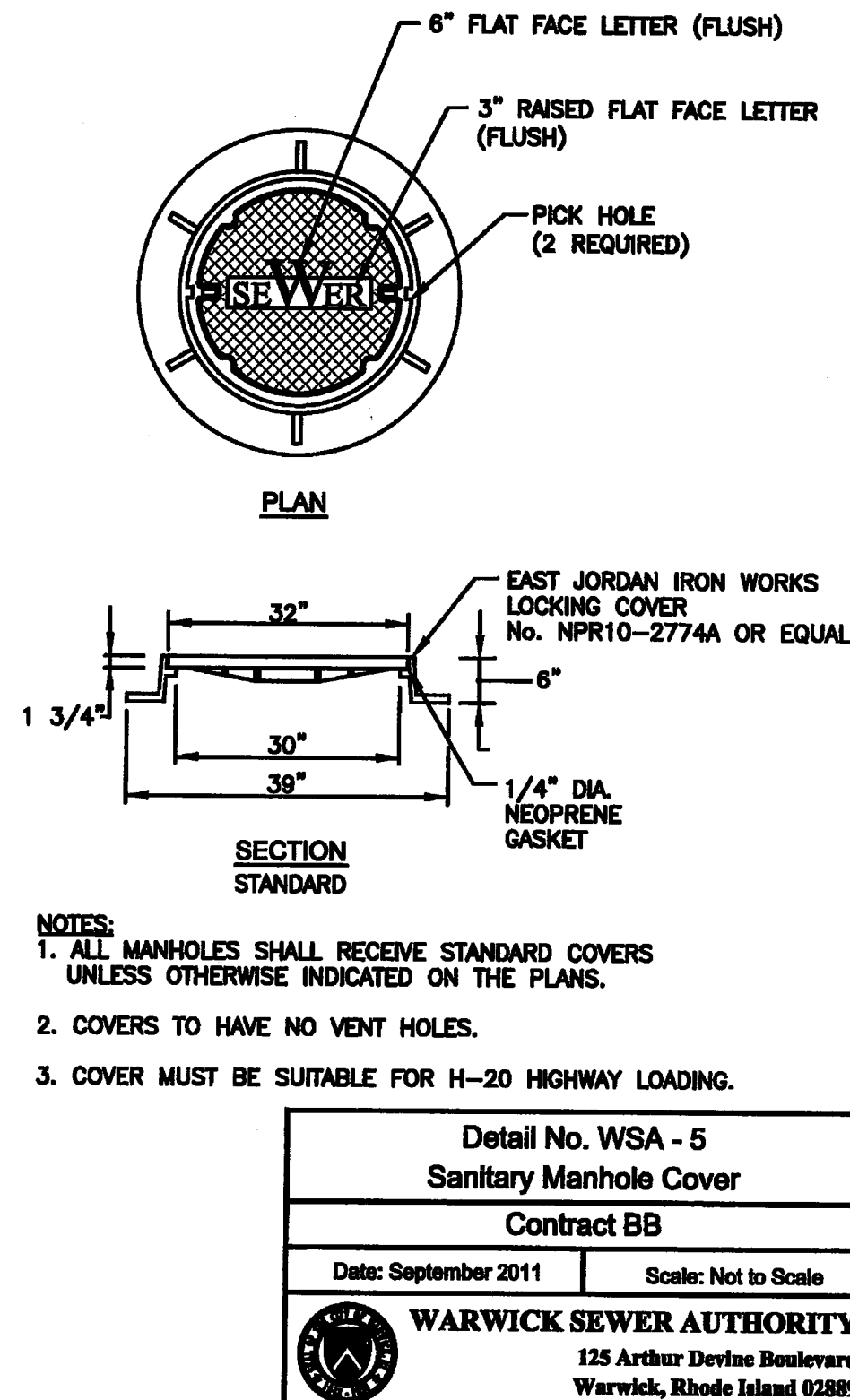
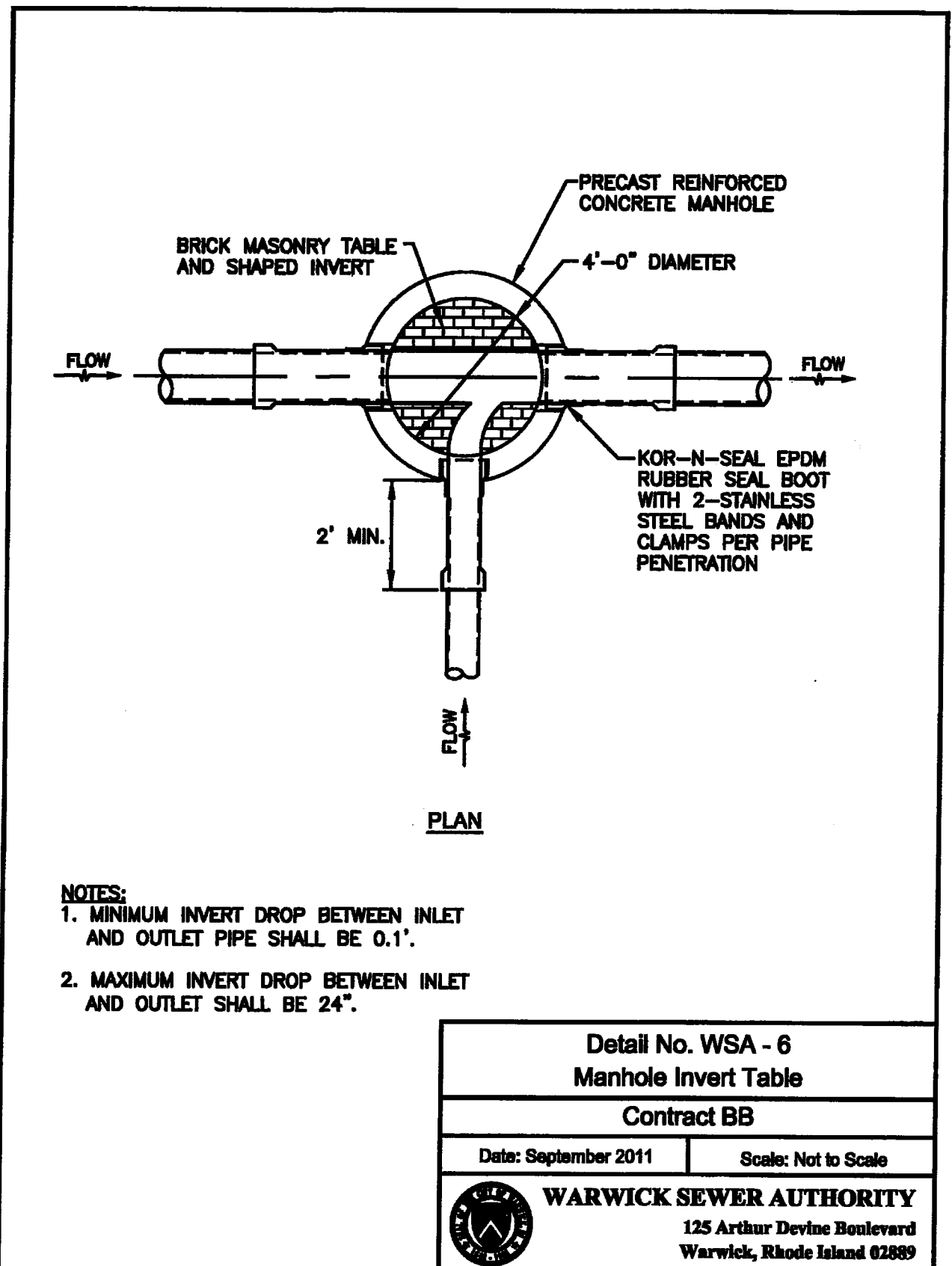
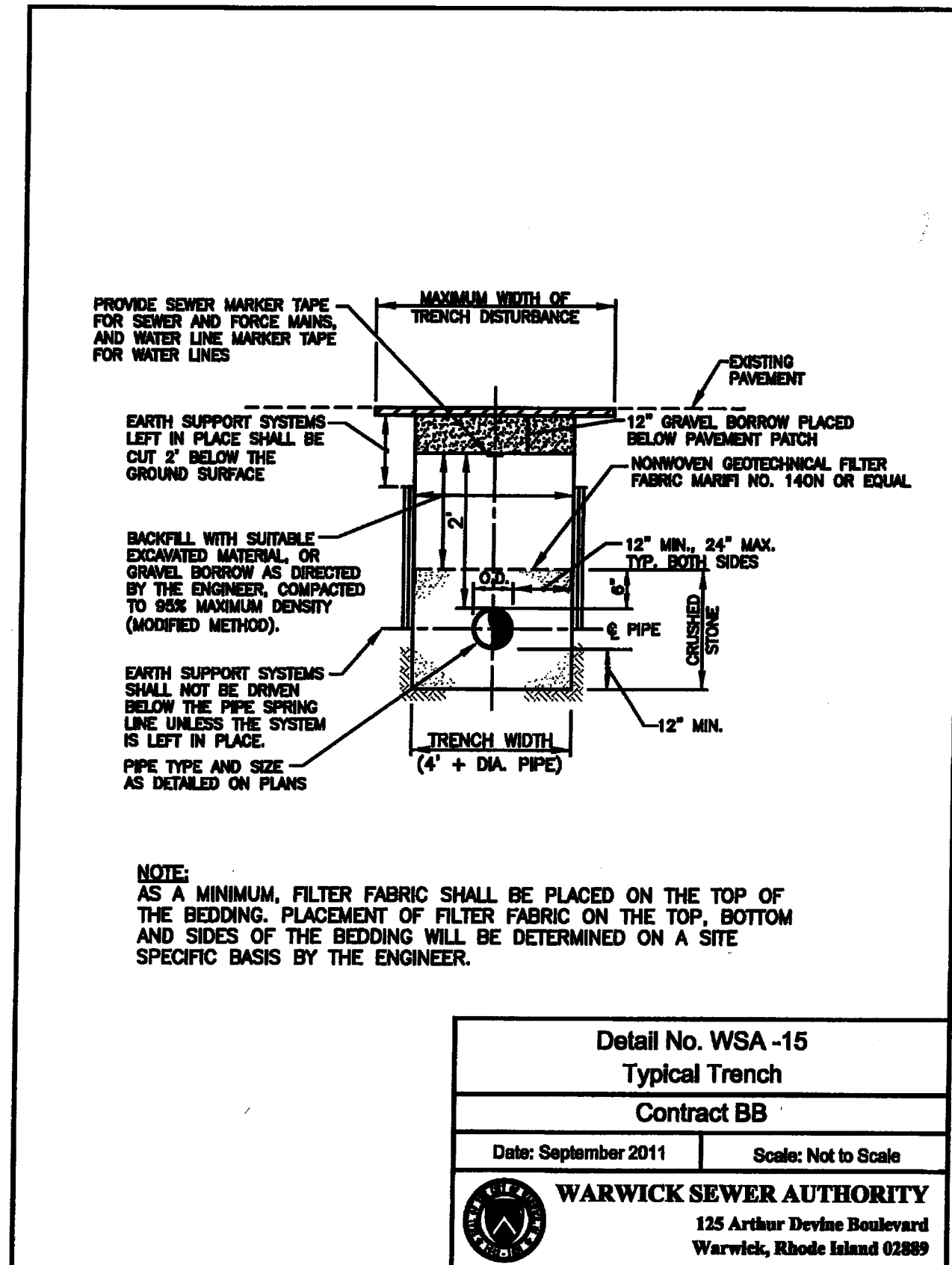
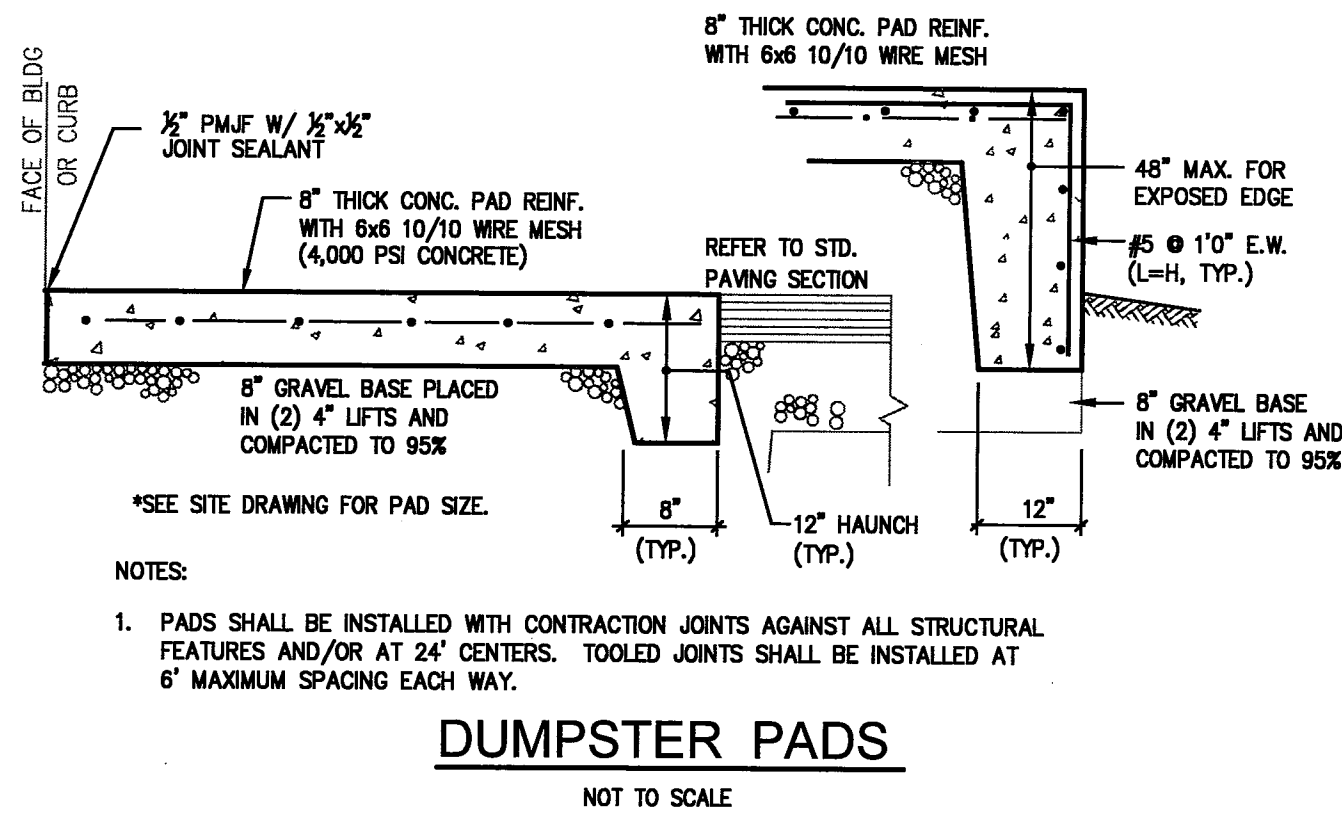
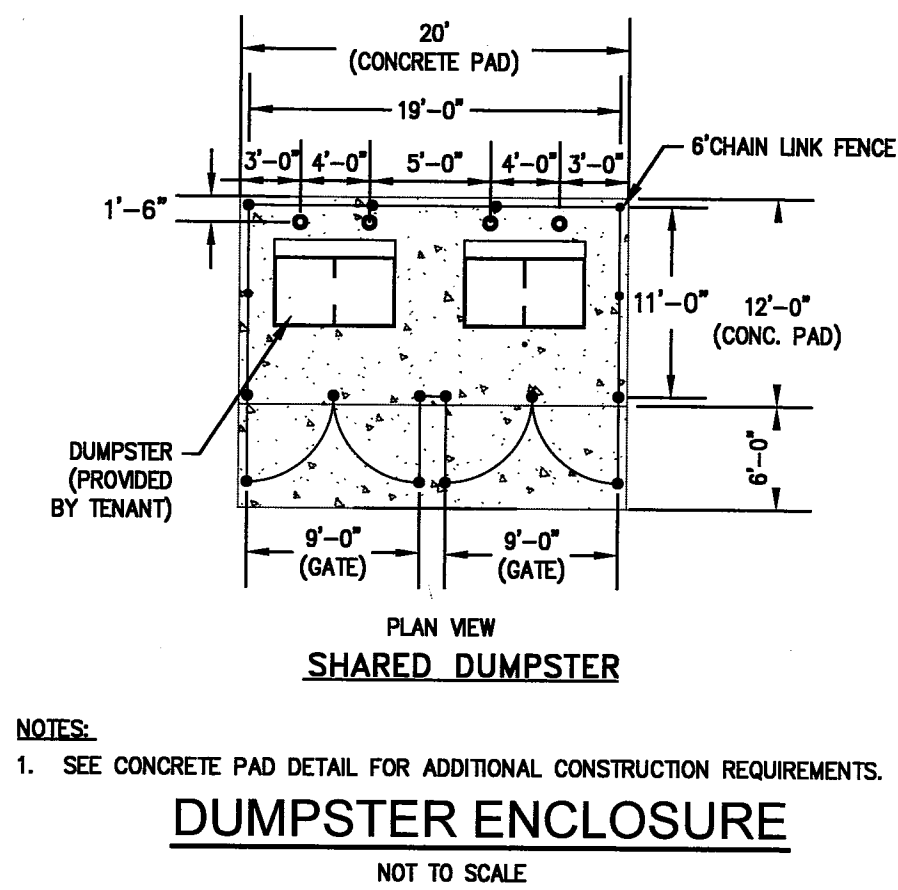
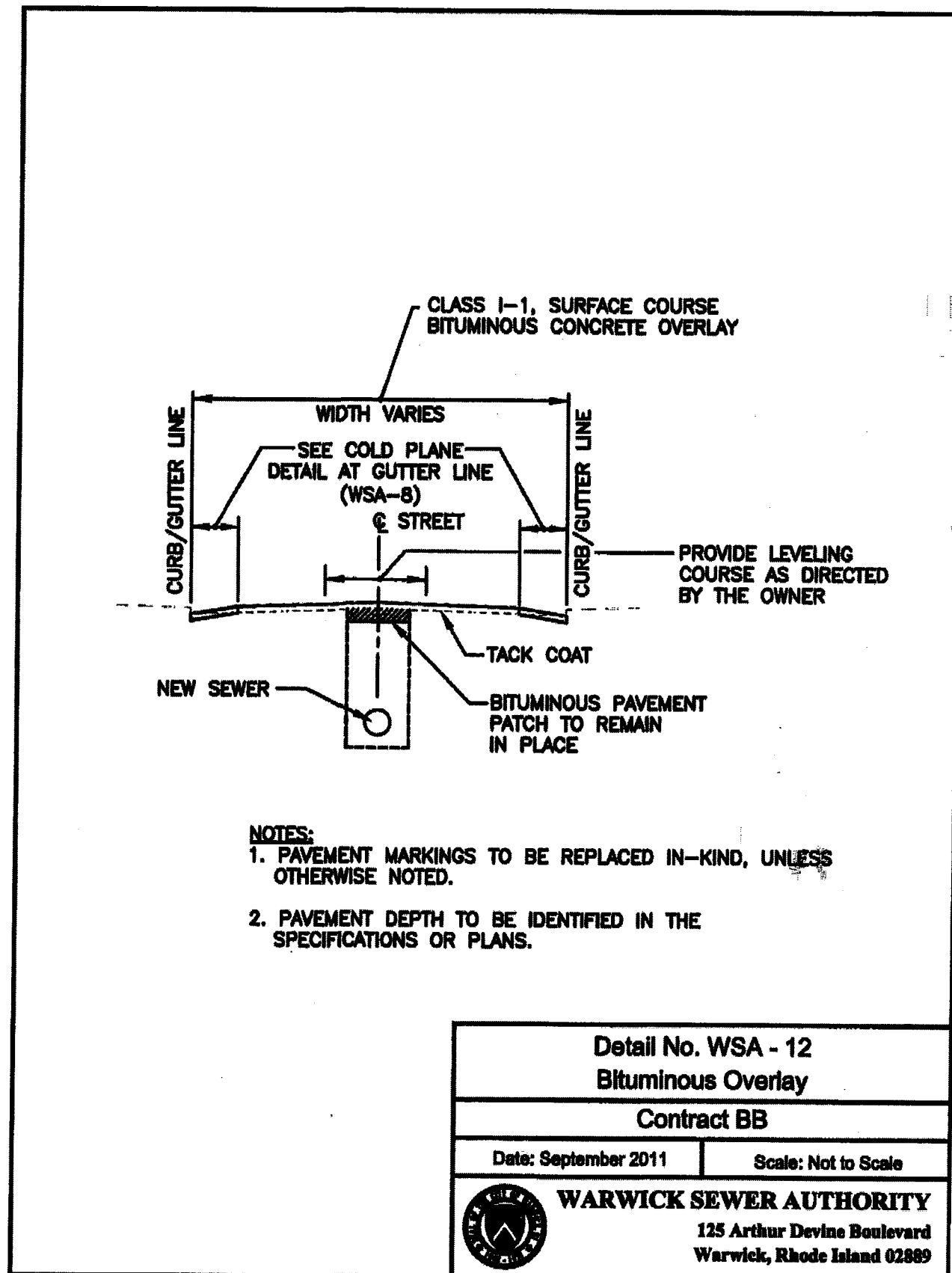
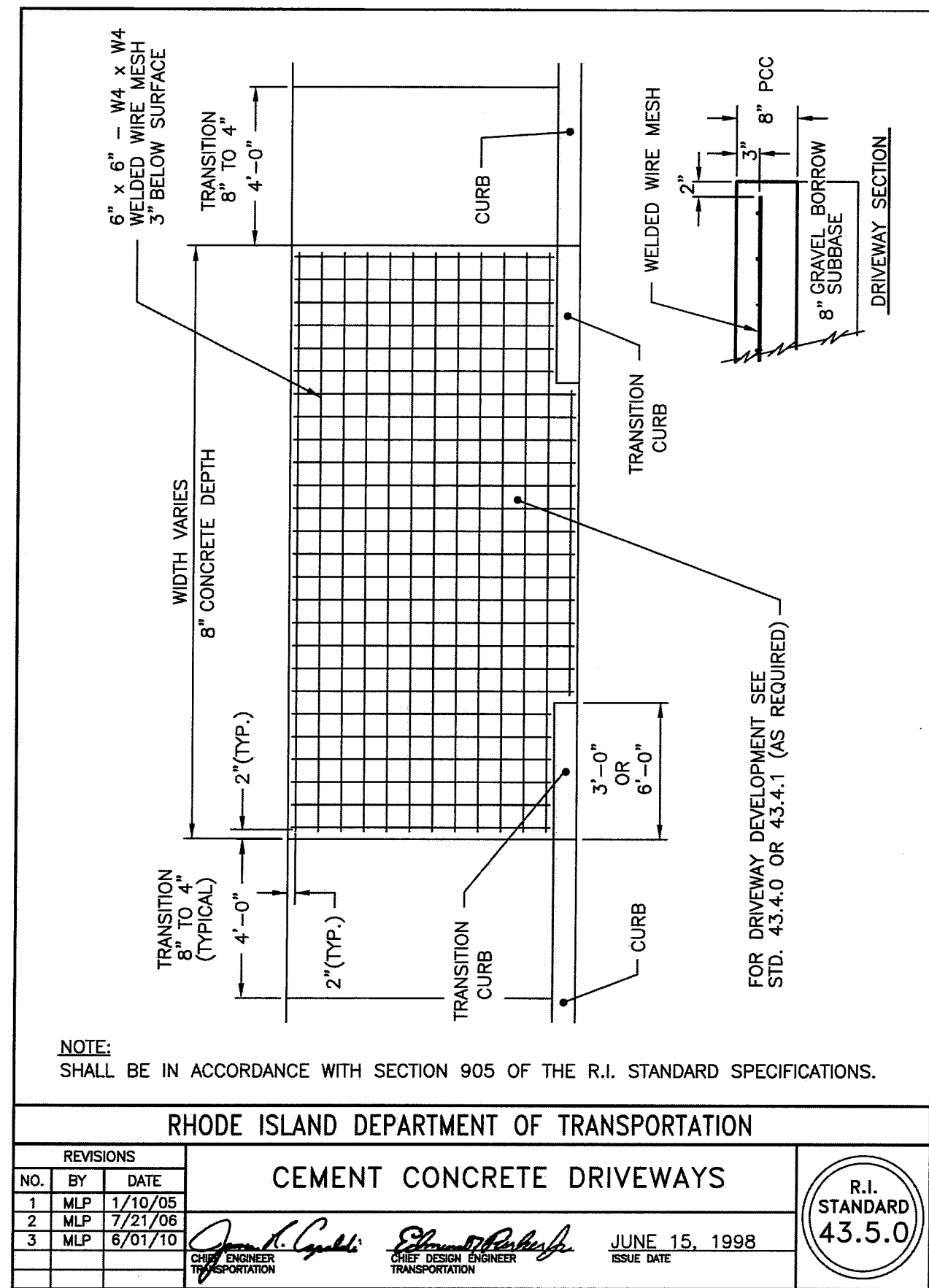
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C-7

Office of Water Resources

8 OF 13 SHEETS



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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Nancy L. Freeman

CONSTRUCTION DETAILS - 3

FOR

A.P. 278, LOT 145

SITUATED AT

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WARWICK, RI

PREPARED FOR

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NO.	REVISION	BY	DATE

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TEL: 401-273-6000

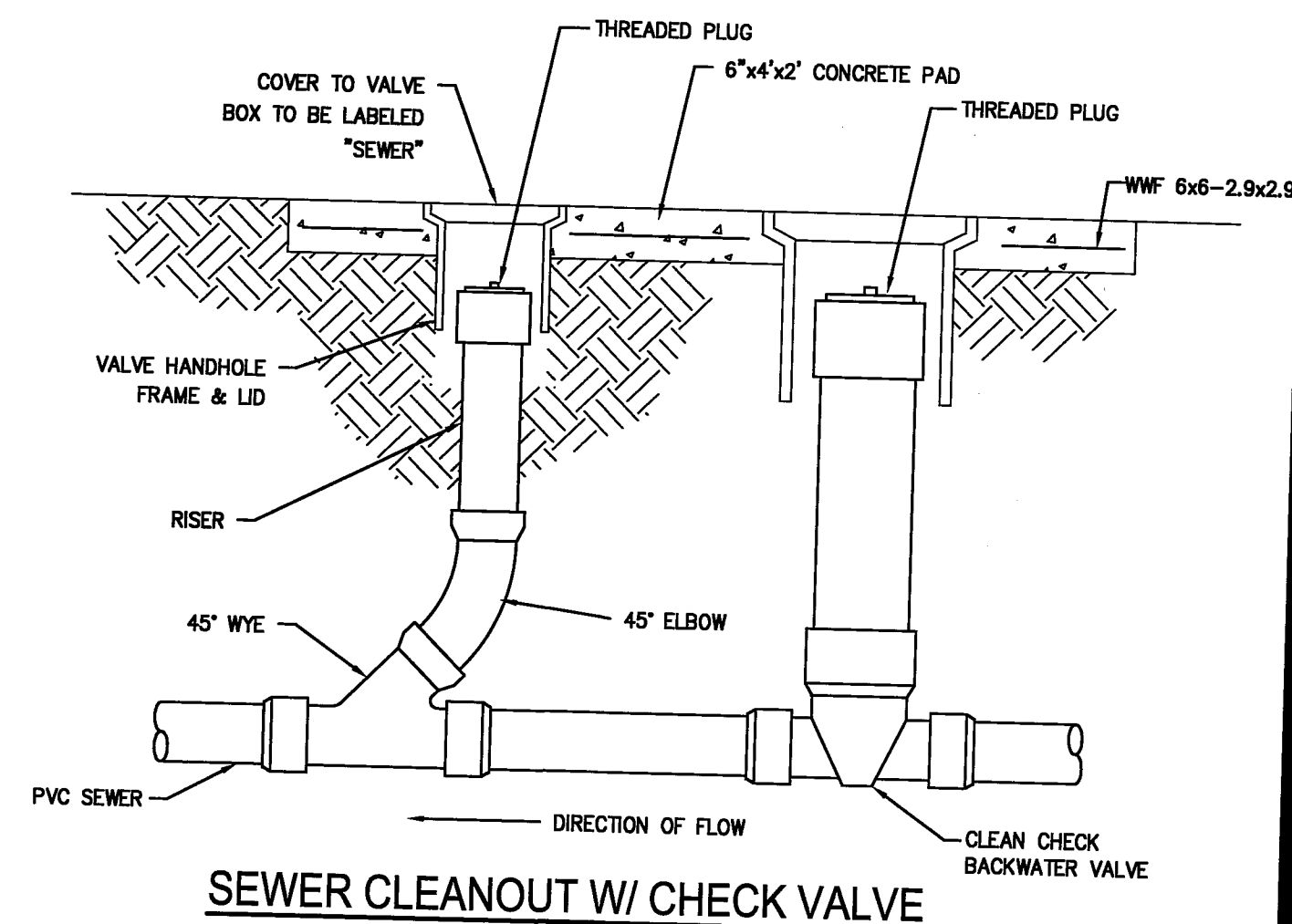
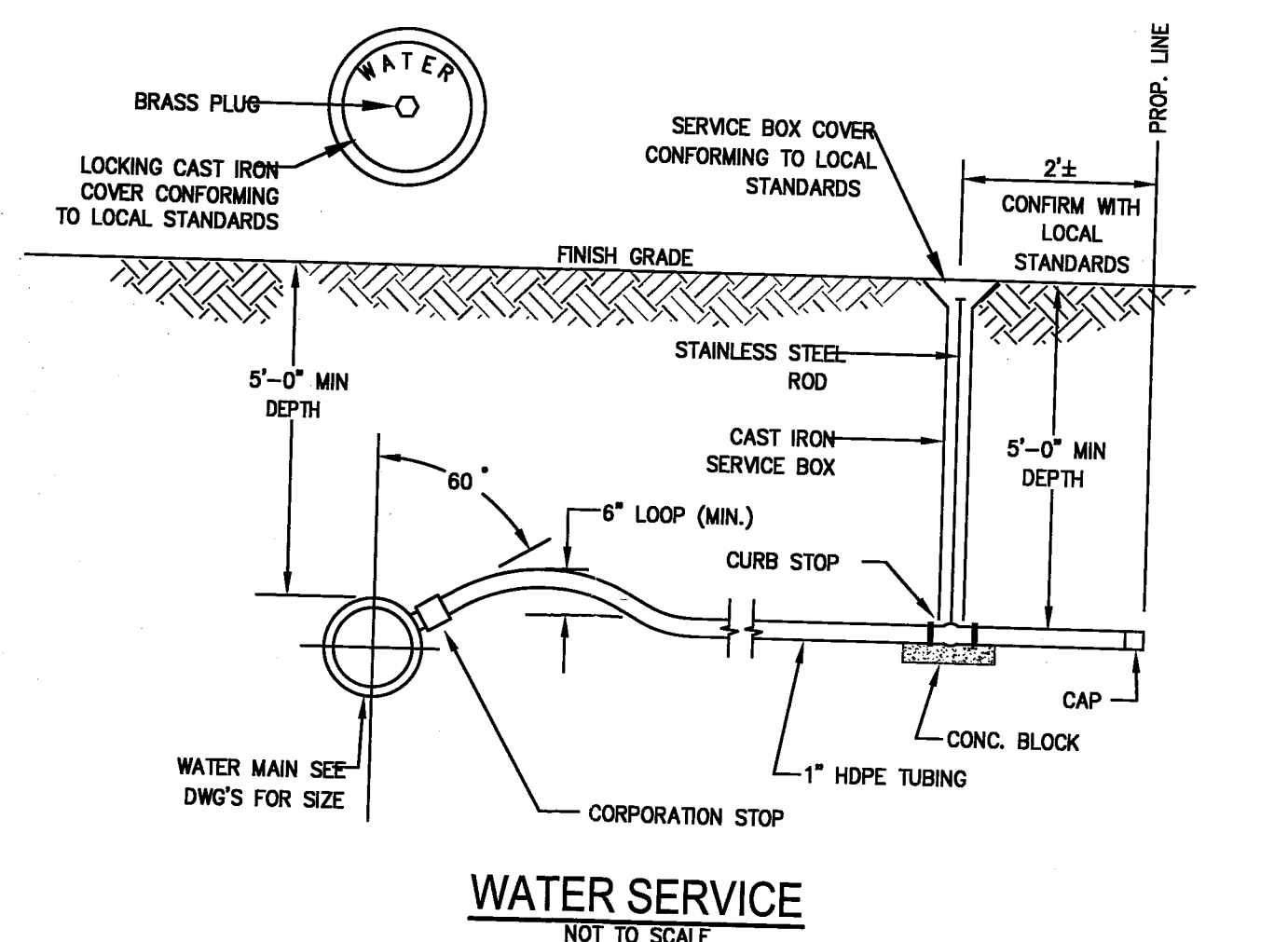
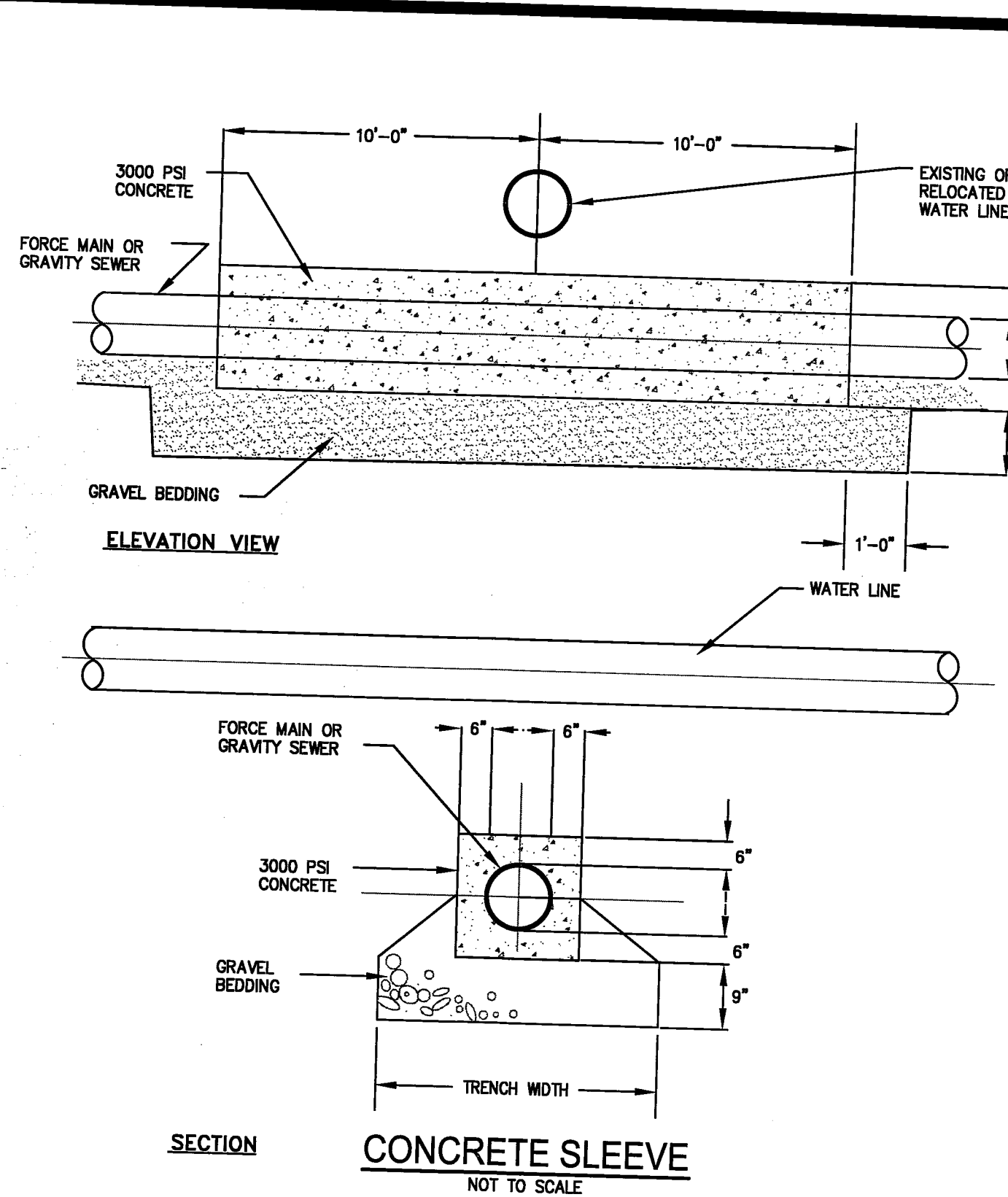
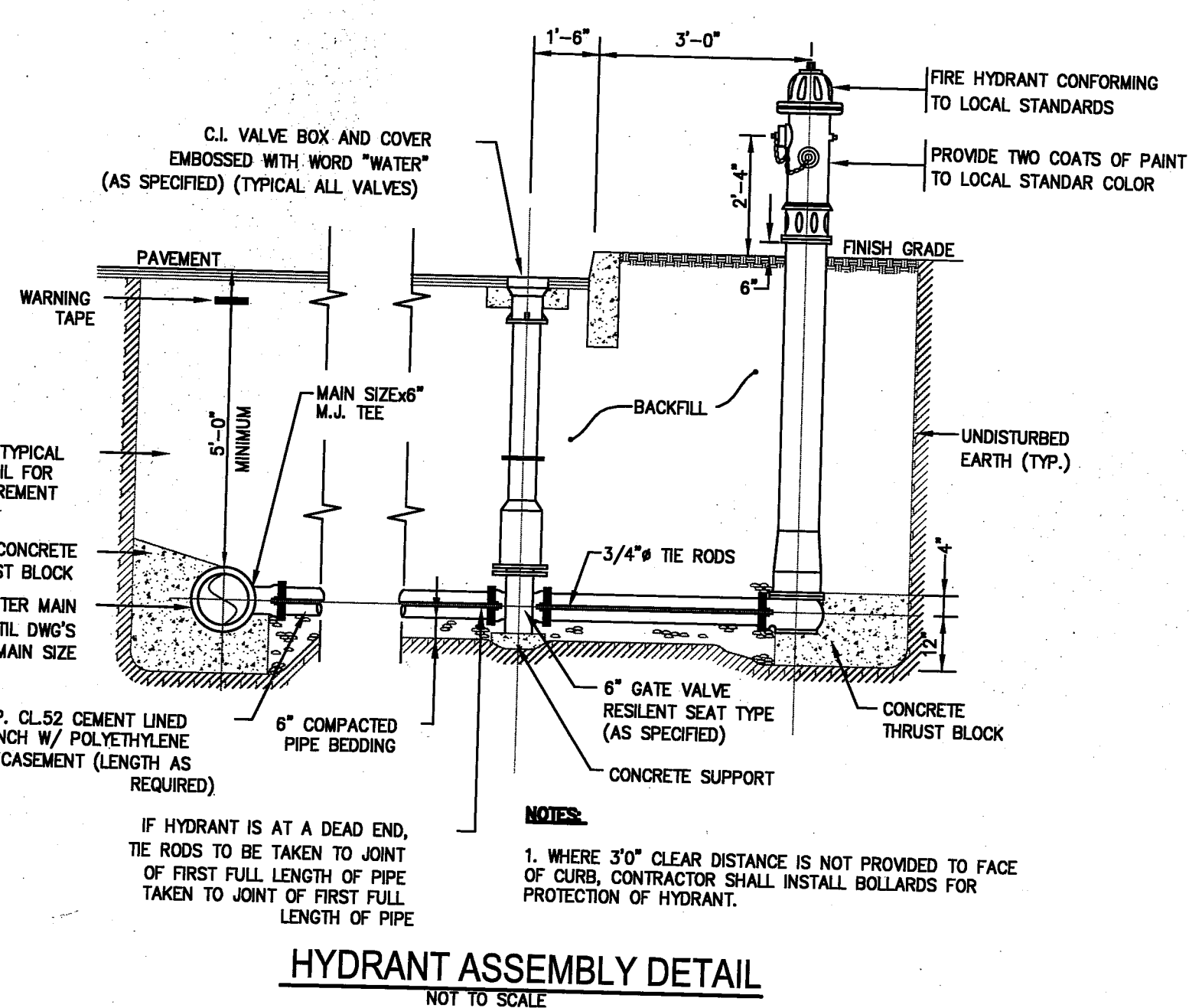
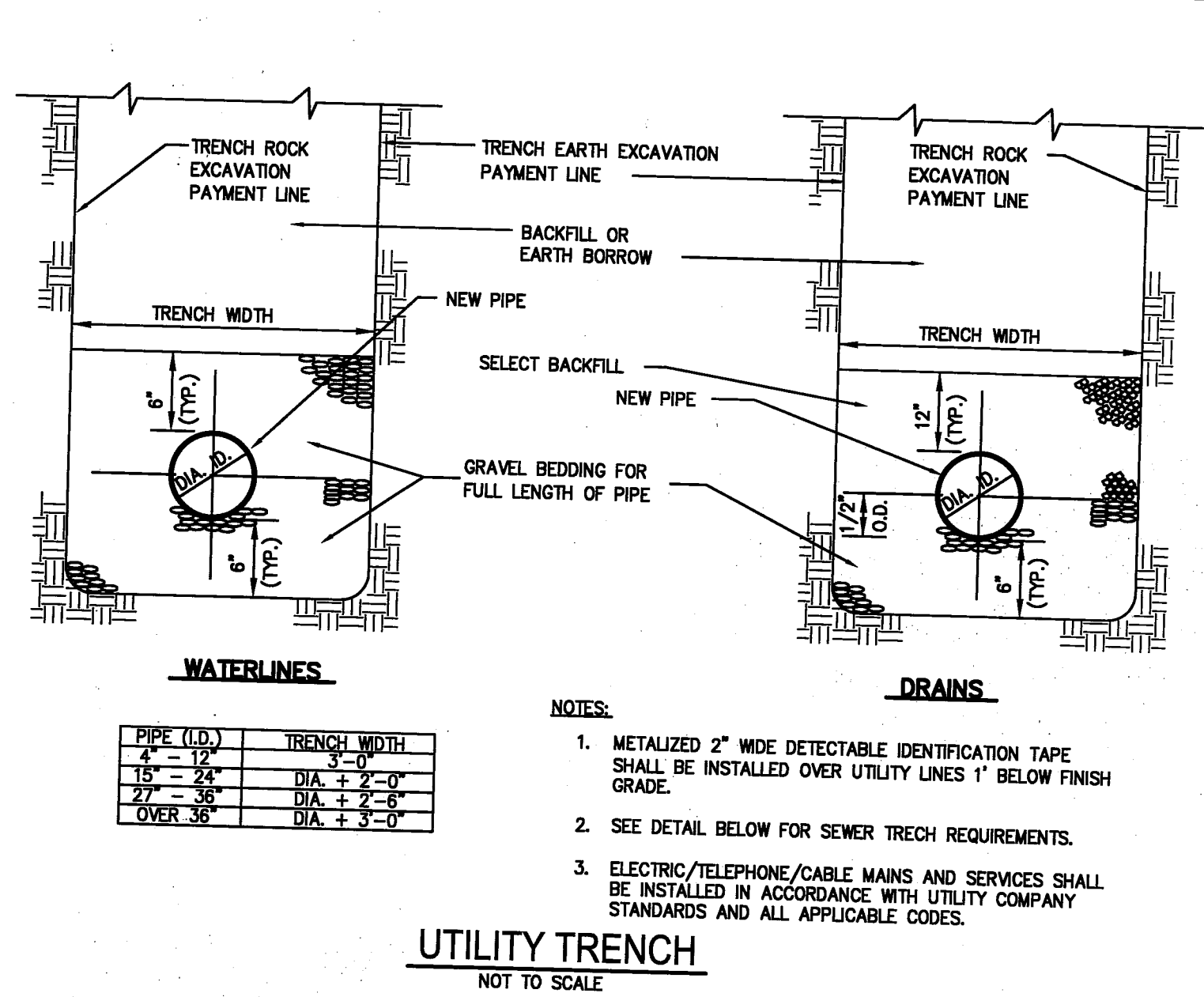
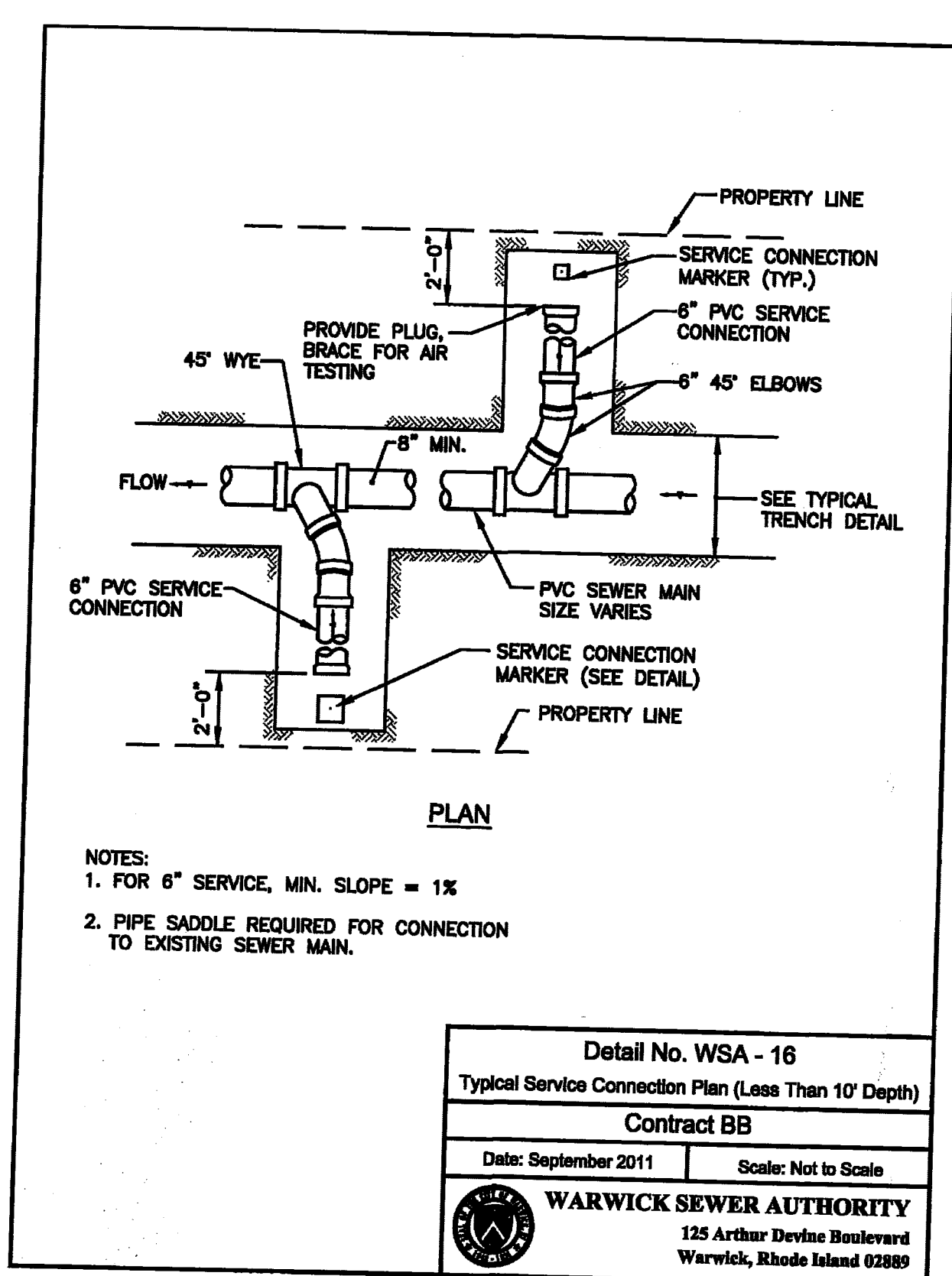
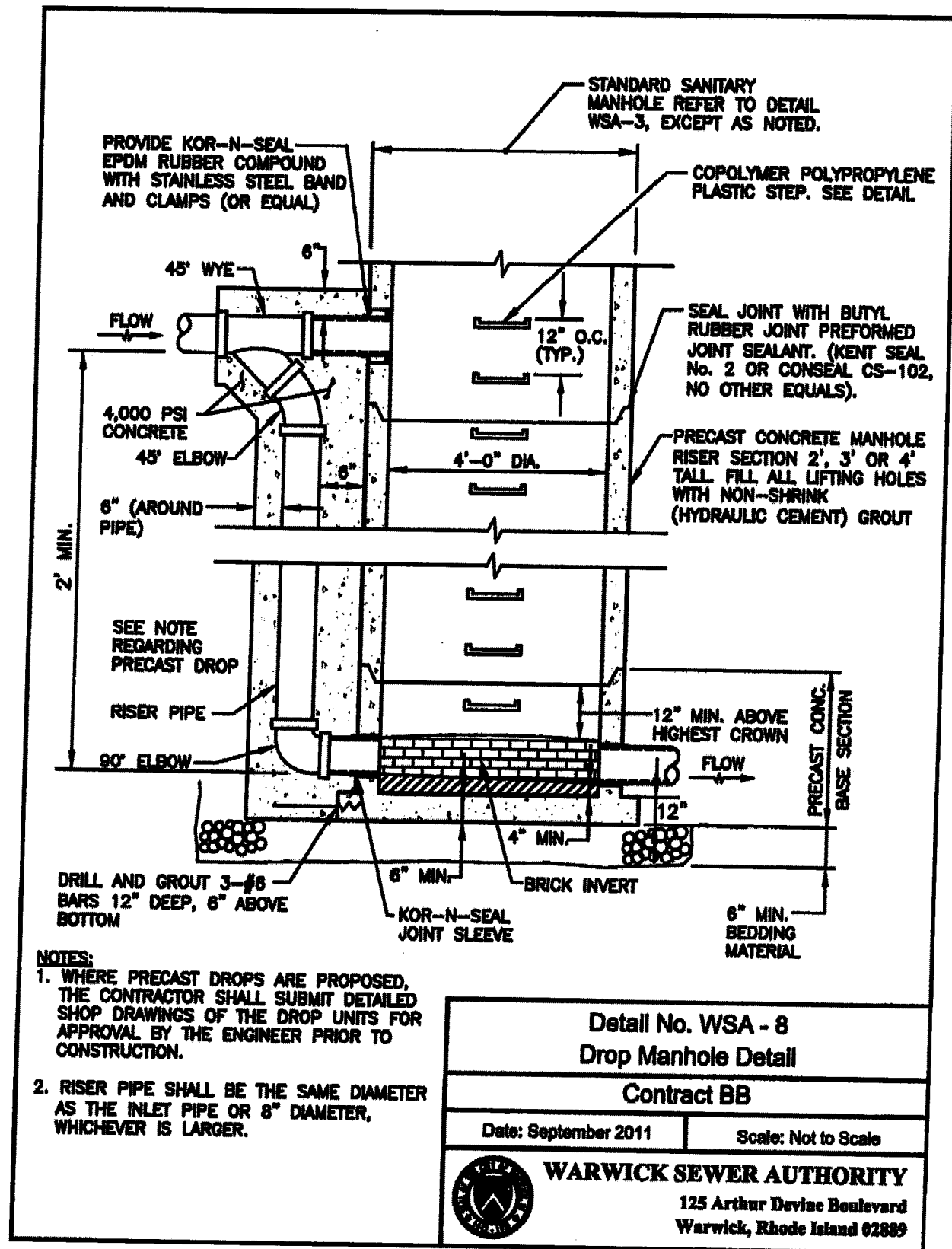
JOB NO. 7468-00	DRAWN BY K.Y.Y.
DWG. NO. 7468-00-PERMIT_DET	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
SHEET	DATE: FEBRUARY, 2024

C-8

MAR 29 2024

RI Environmental Management

Office of Water Resources



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: APR 24 2024 FILE #: 24-0038
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

CONSTRUCTION DETAILS - 4

FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE

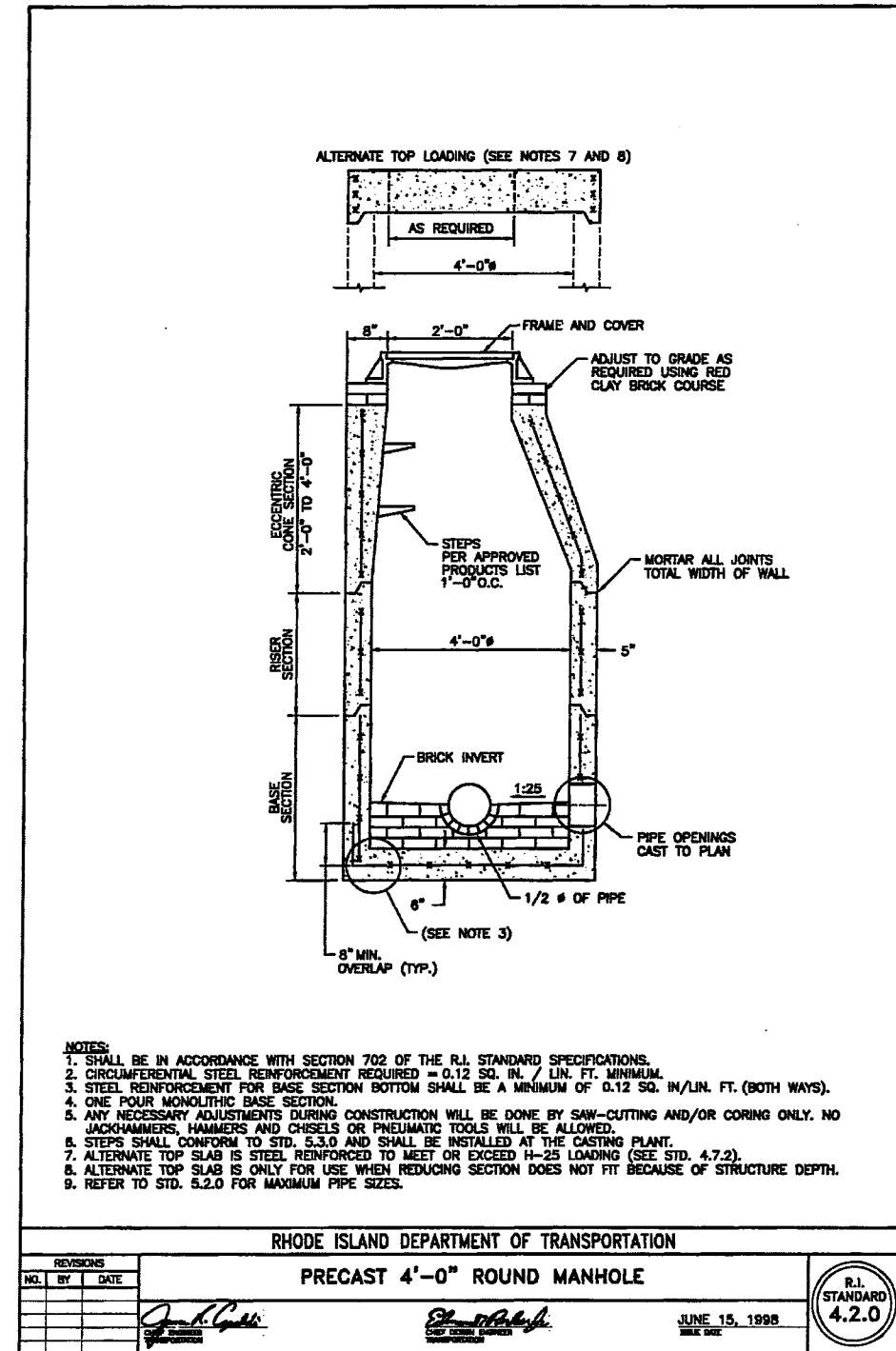
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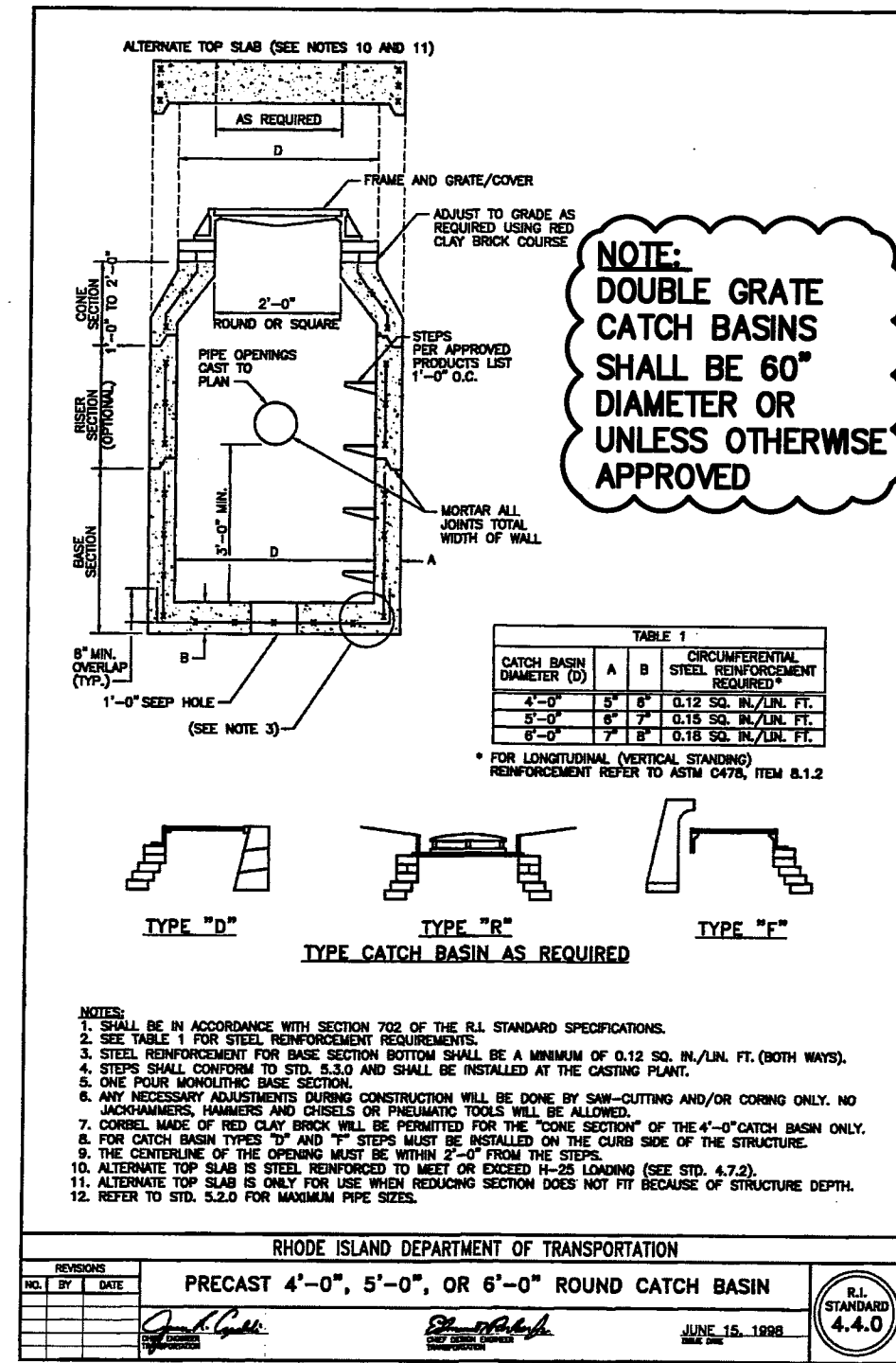
85 CORLISS STREET
P.O. BOX 6145
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TEL. 401-273-6000

JOB NO. 7468-00	DRAWN BY R.A.S.
DWG. NO. 7468-00-PERMIT_DET	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: FEBRUARY, 2024

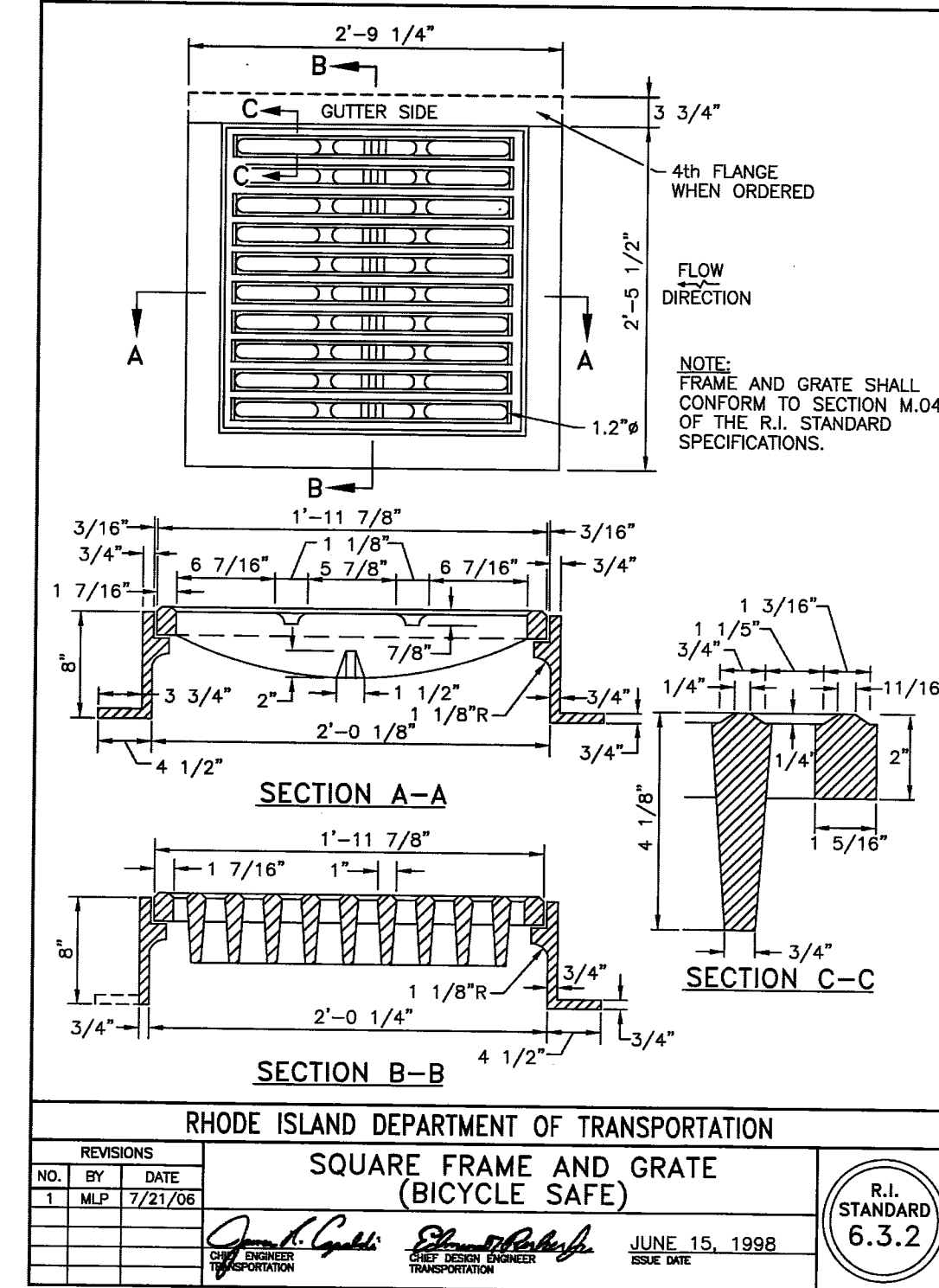
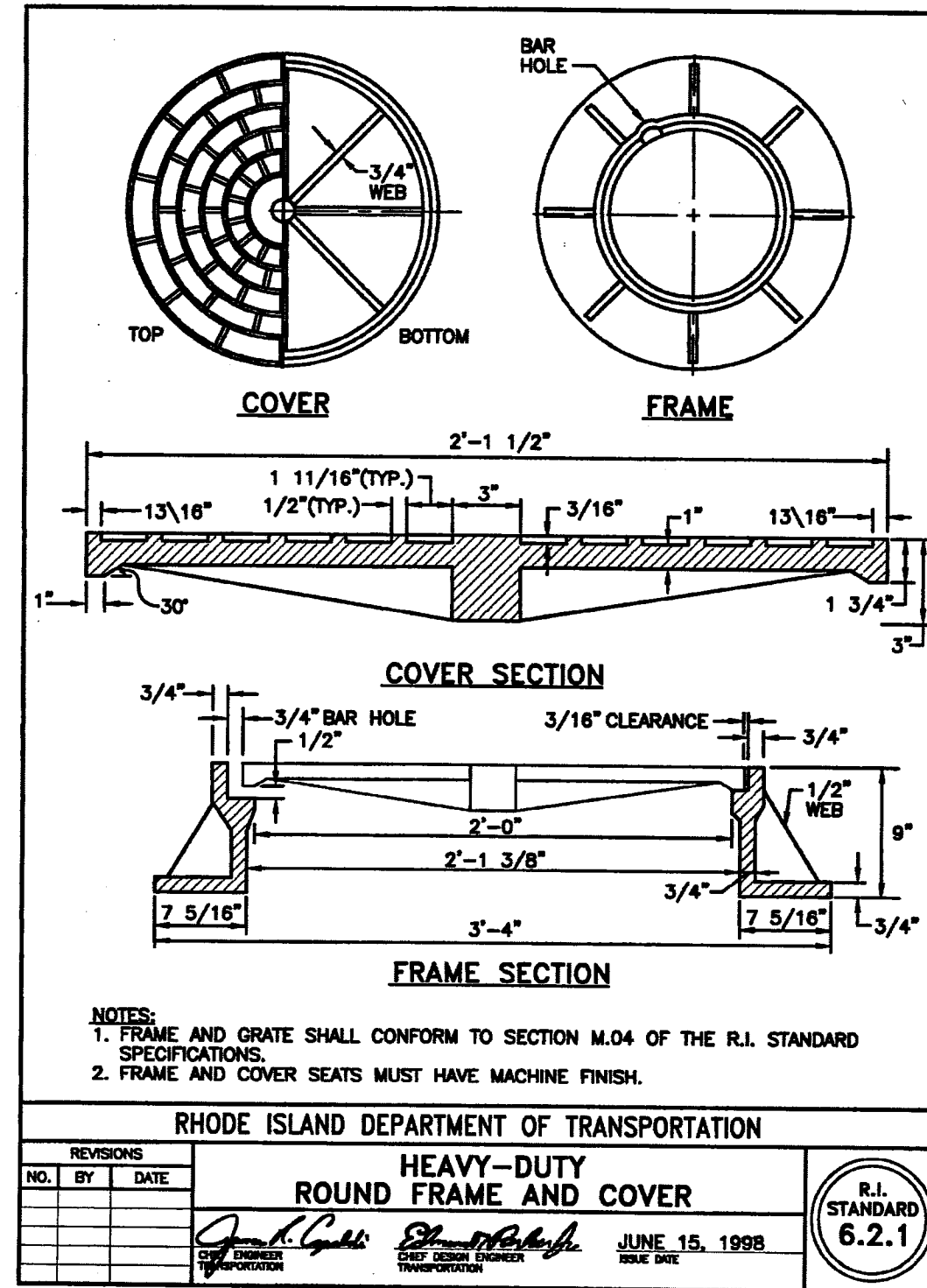
SHEET
C-9
MAR 29 2024
10 OF 13 SHEETS



PRECAST CONCRETE FLARED END SECTION
NOT TO SCALE (RIDOT STD. 2.3.0)



RIP RAP AT FLARED END SECTION
NOT TO SCALE



CONSTRUCTION DETAILS - 5

FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

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Nancy L. Freeman

JOB NO.
7468-00
DWG. NO.
7468-00-PERMIT DET

SCALE:
AS SHOWN

DRAWN BY K.Y.Y.
CHECK BY S.S.H.
APPROVED S.S.H.
DATE:
FEBRUARY, 2024

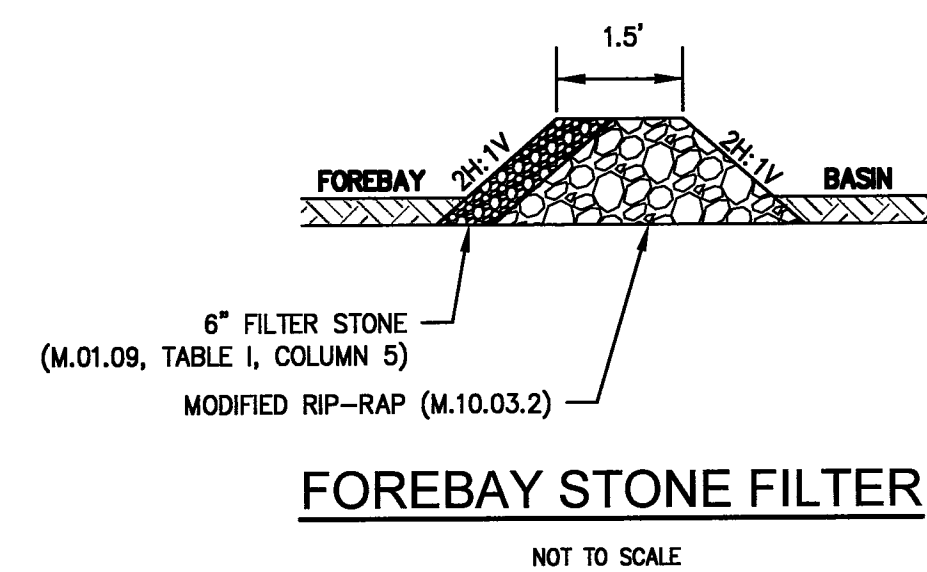
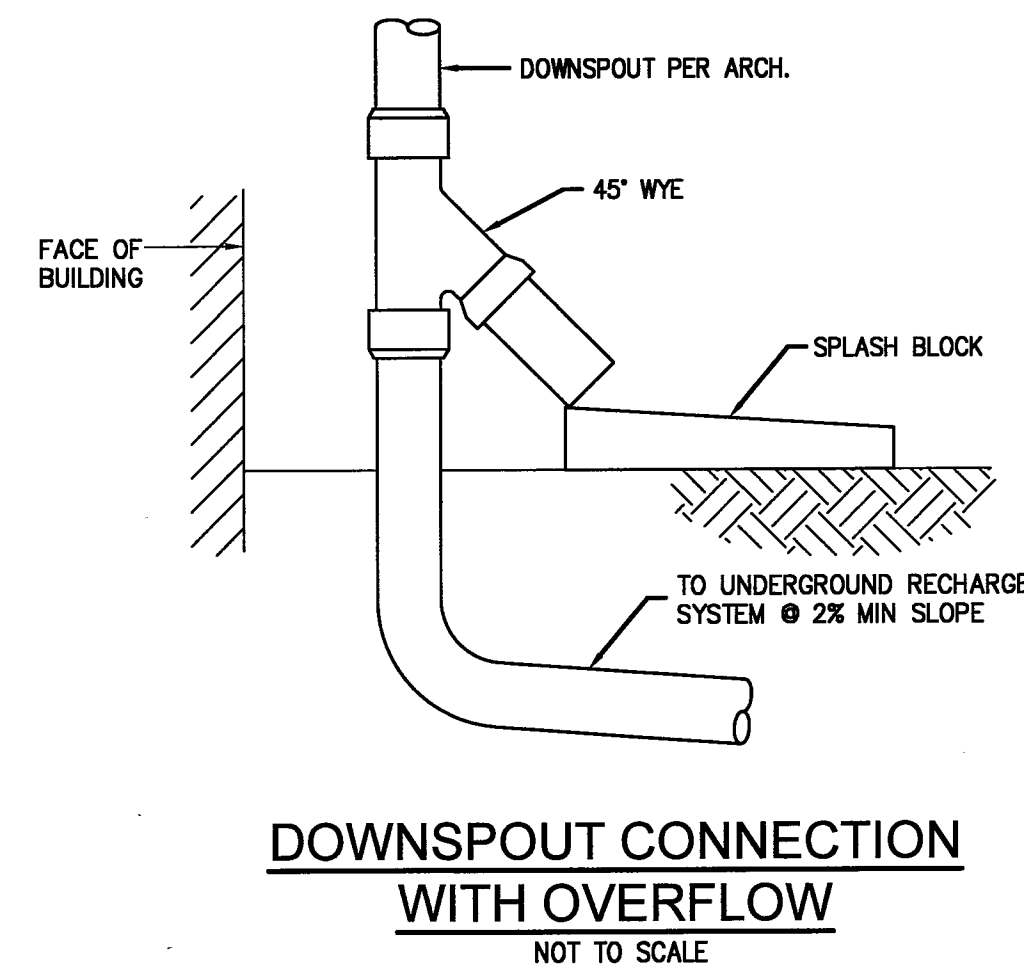
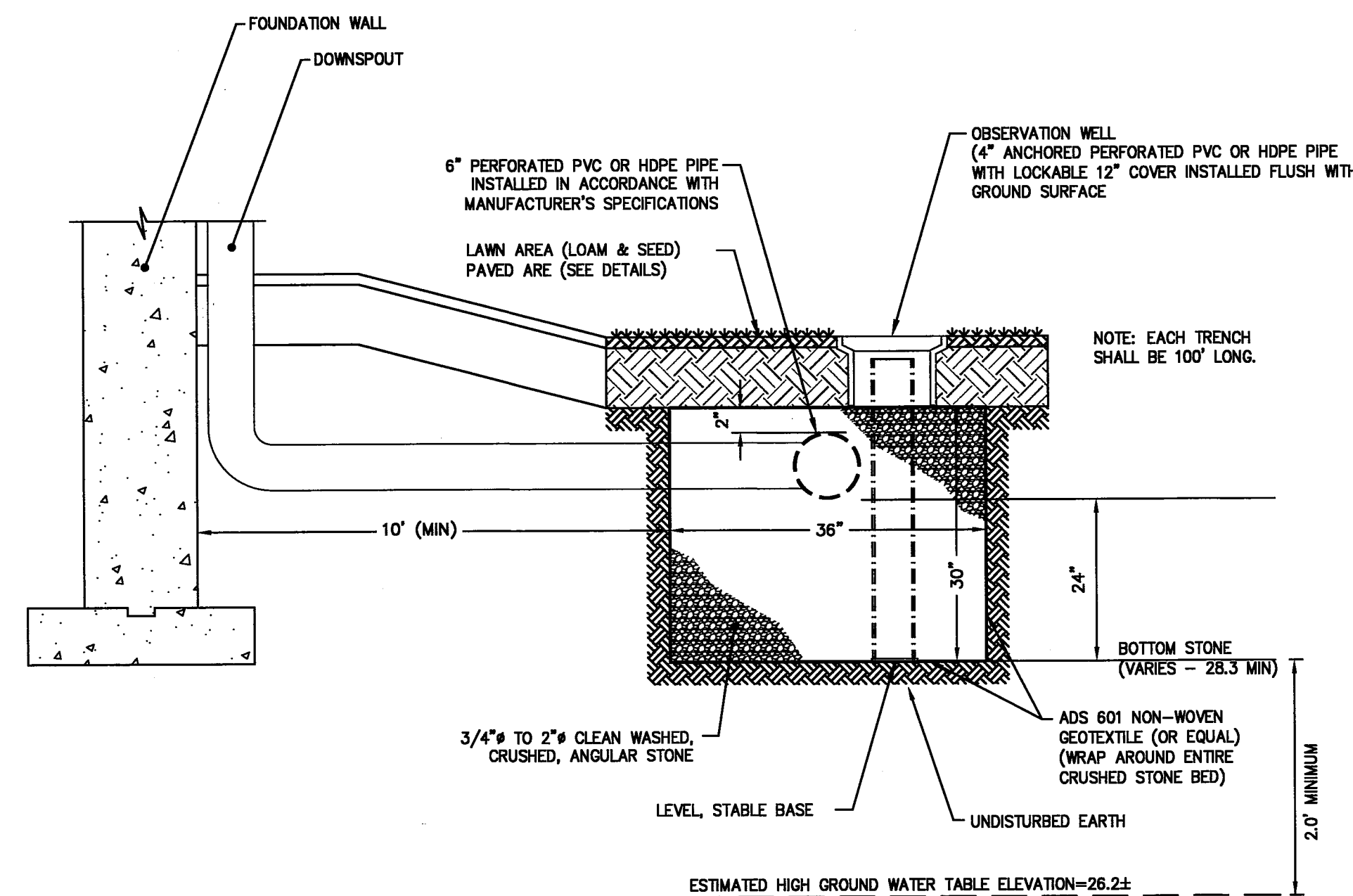
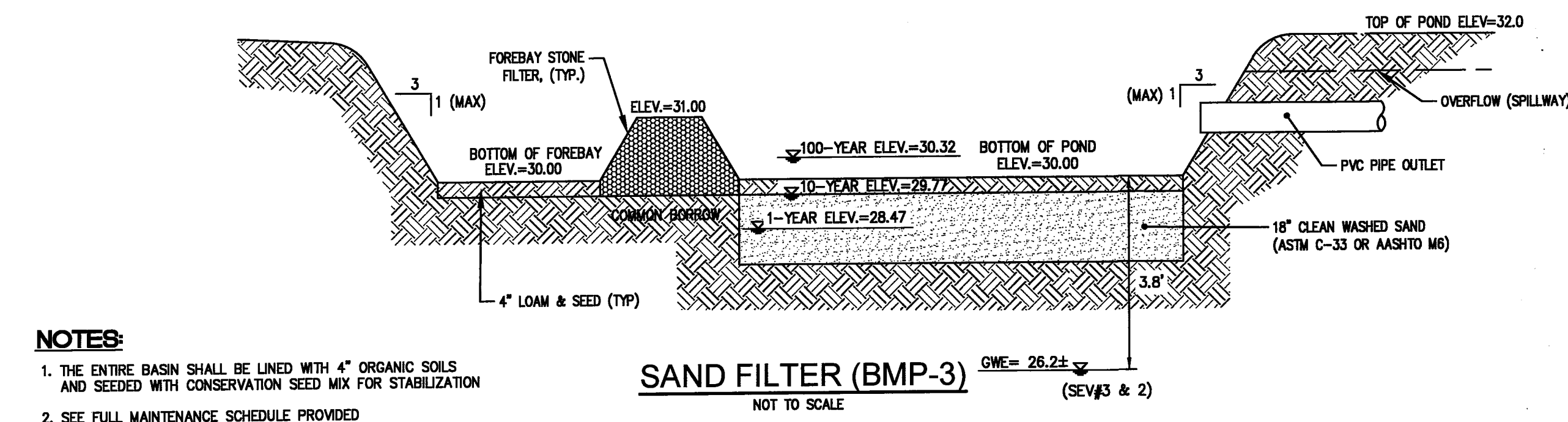
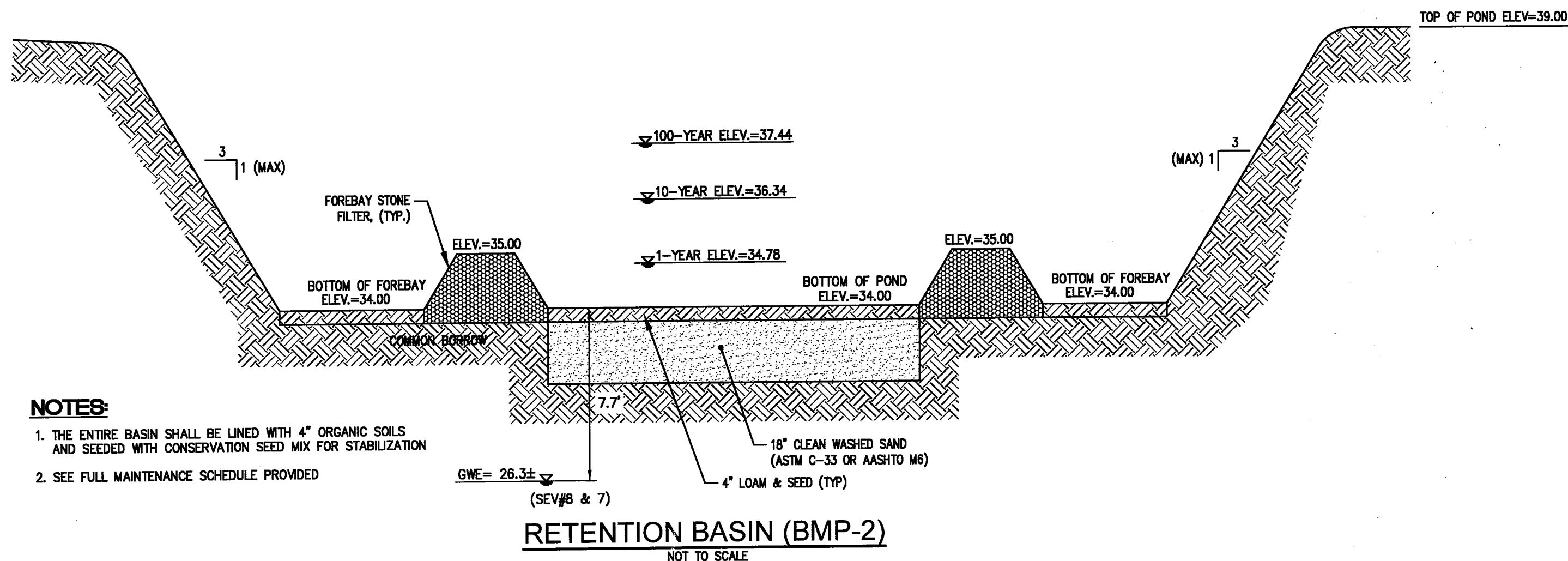
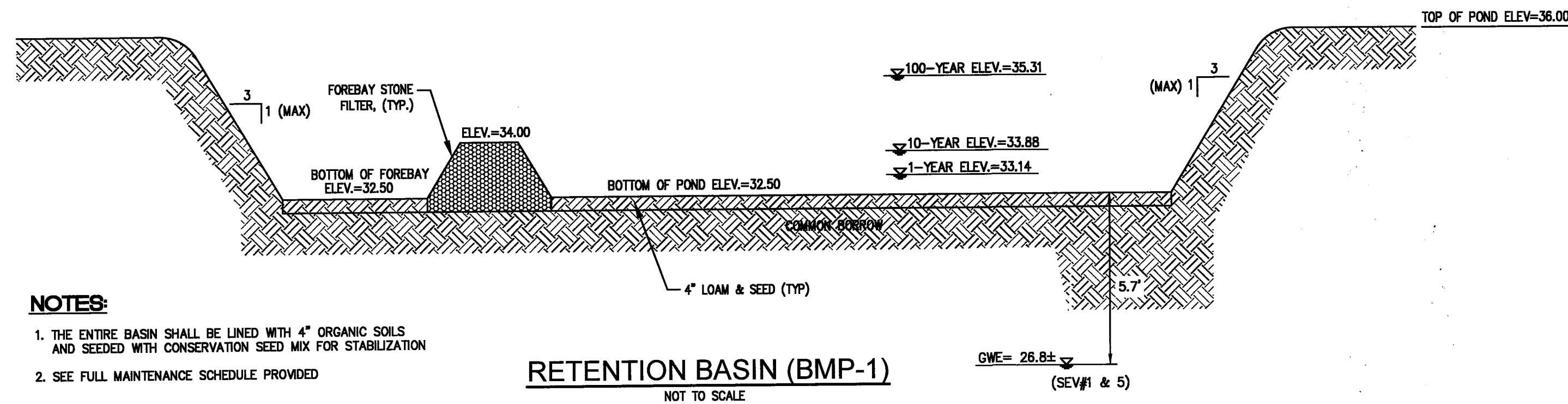
SHEET

RI Environmental Management
MAR 29 2024
Office of Water Resources

C-10

11 OF 13 SHEETS

L:\7468-00 1 Metro Center (Centerville Builders) - Warwick, RI\dwg\01-Current\7468-00-Permit_Det.dwg 03/29/2024 shermenway 07:47



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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CONSTRUCTION DETAILS - 6

FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE
1	TRENCH DIMENSIONS	SSH	03/28/2024

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JOB NO. 7468-00	DRAWN BY R.A.S.
DWG. NO. 7468-00-PERMIT_DET	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: FEBRUARY, 2024

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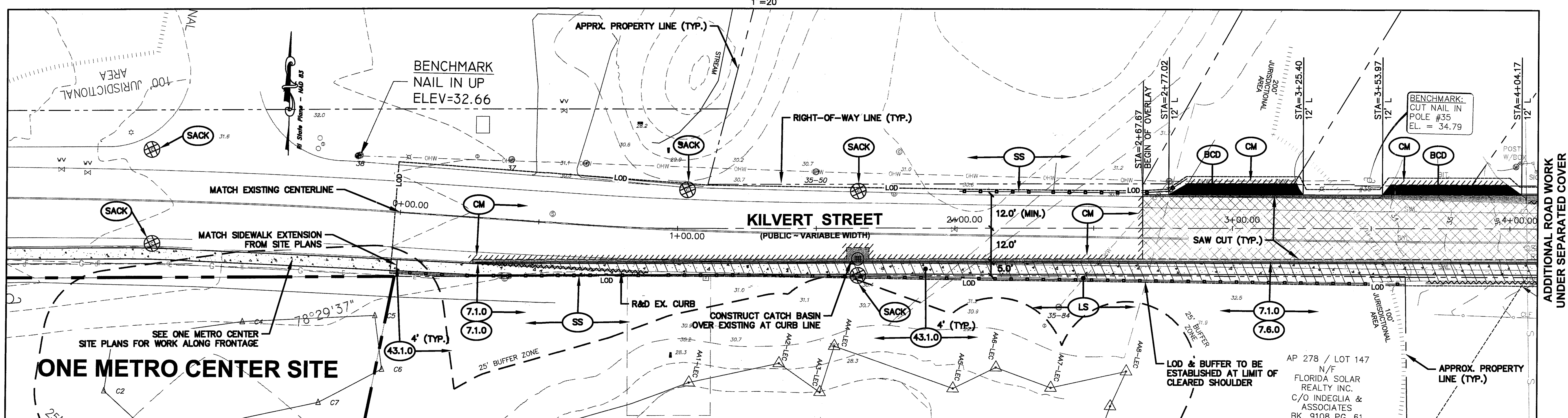
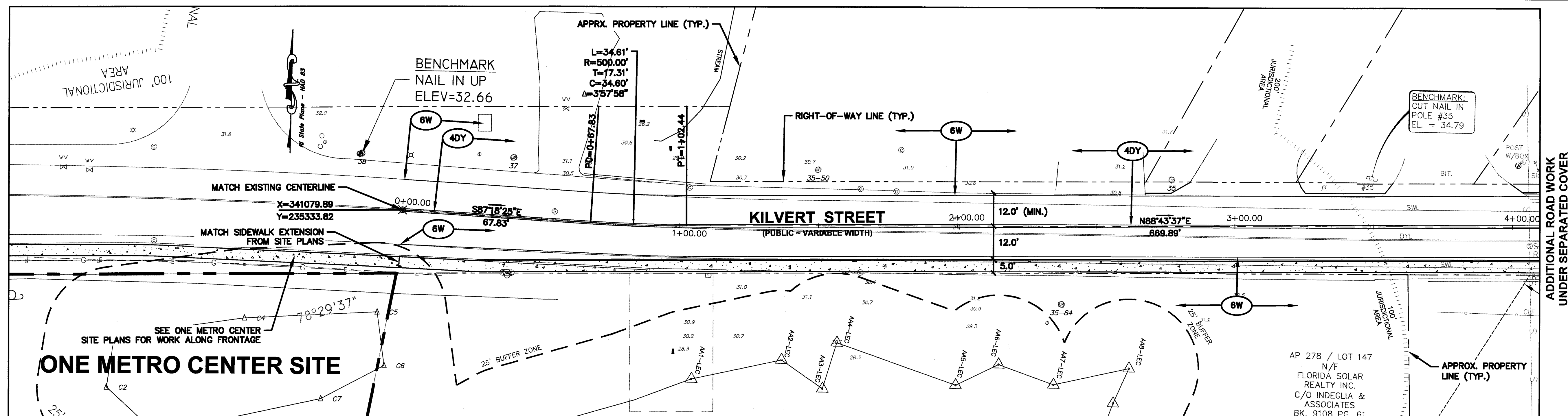
RI Environmental Management

MAR 29 2024

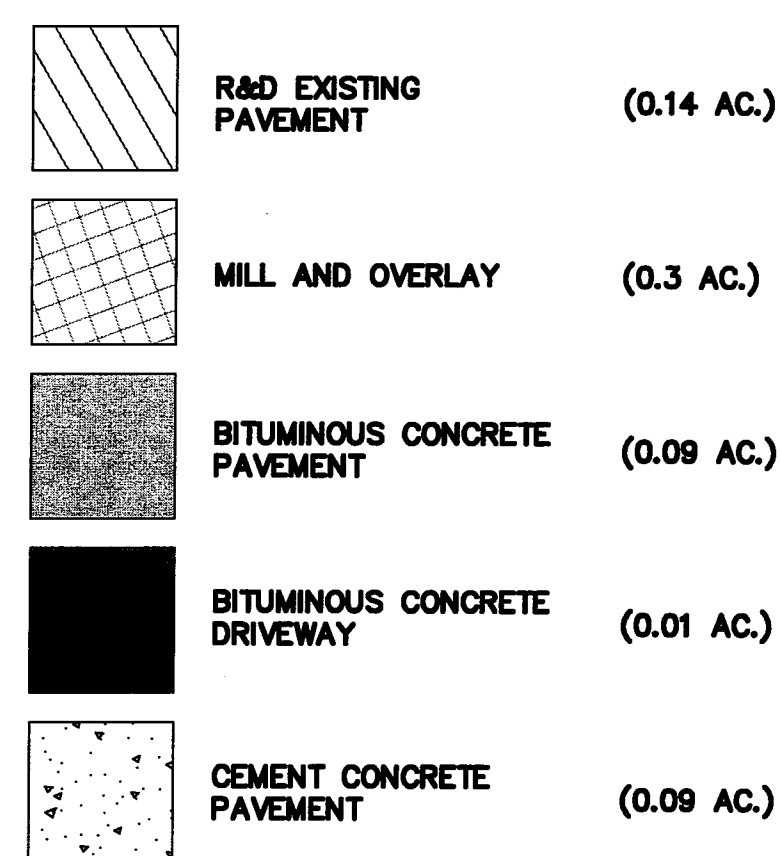
Office of Water Resources

C-11

12 OF 13 SHEETS

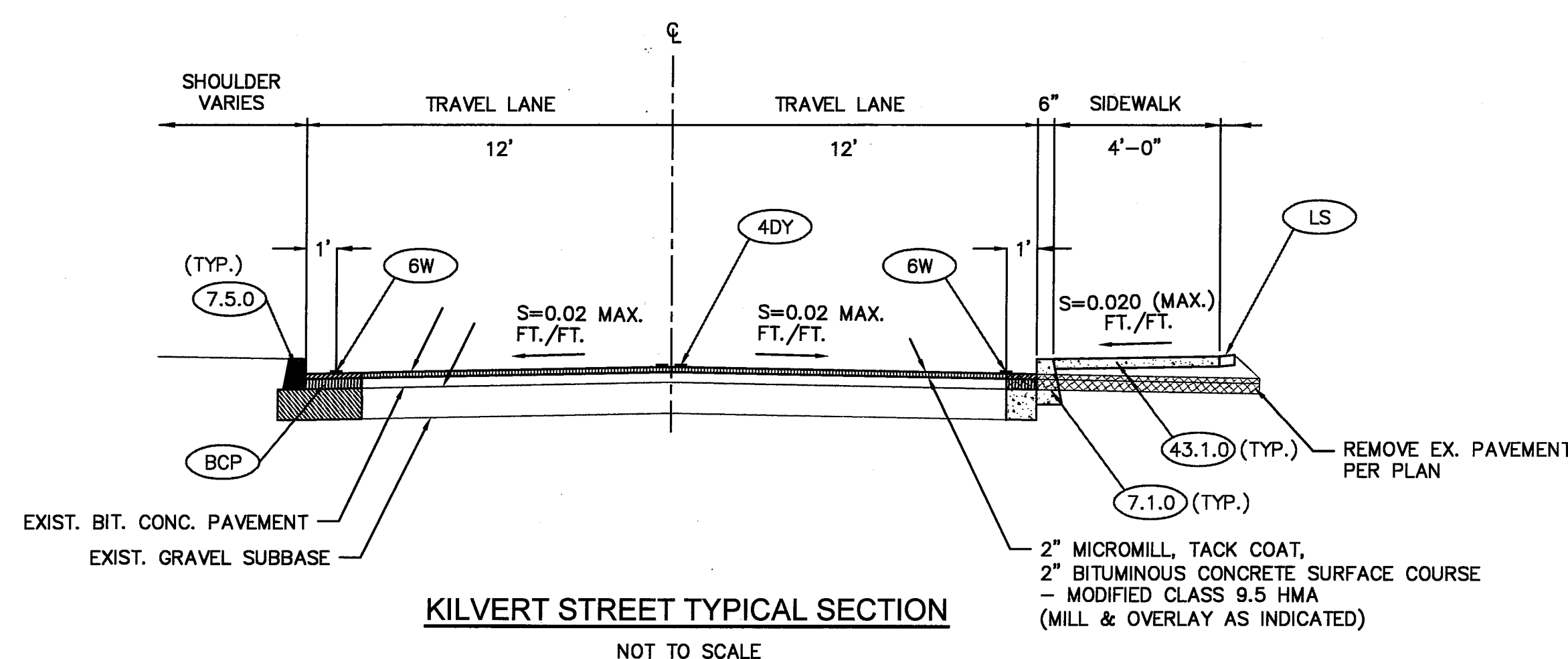


PAVEMENT LEGEND:



GROUND COVER SUMMARY:

PERVIOUS TO PERVIOUS	(0.05 AC.)
PERVIOUS TO IMPERVIOUS	(0.07 AC.)



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JOB NO. 7468--00 DWG. NO. 7468--00--PERMIT_KS_SITE	DRAWN BY K.Y.Y CHECK BY S.S.H.
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13 OF 13 SHEETS