

COMPREHENSIVE PERMIT APPLICATION FINAL PLAN

FOR

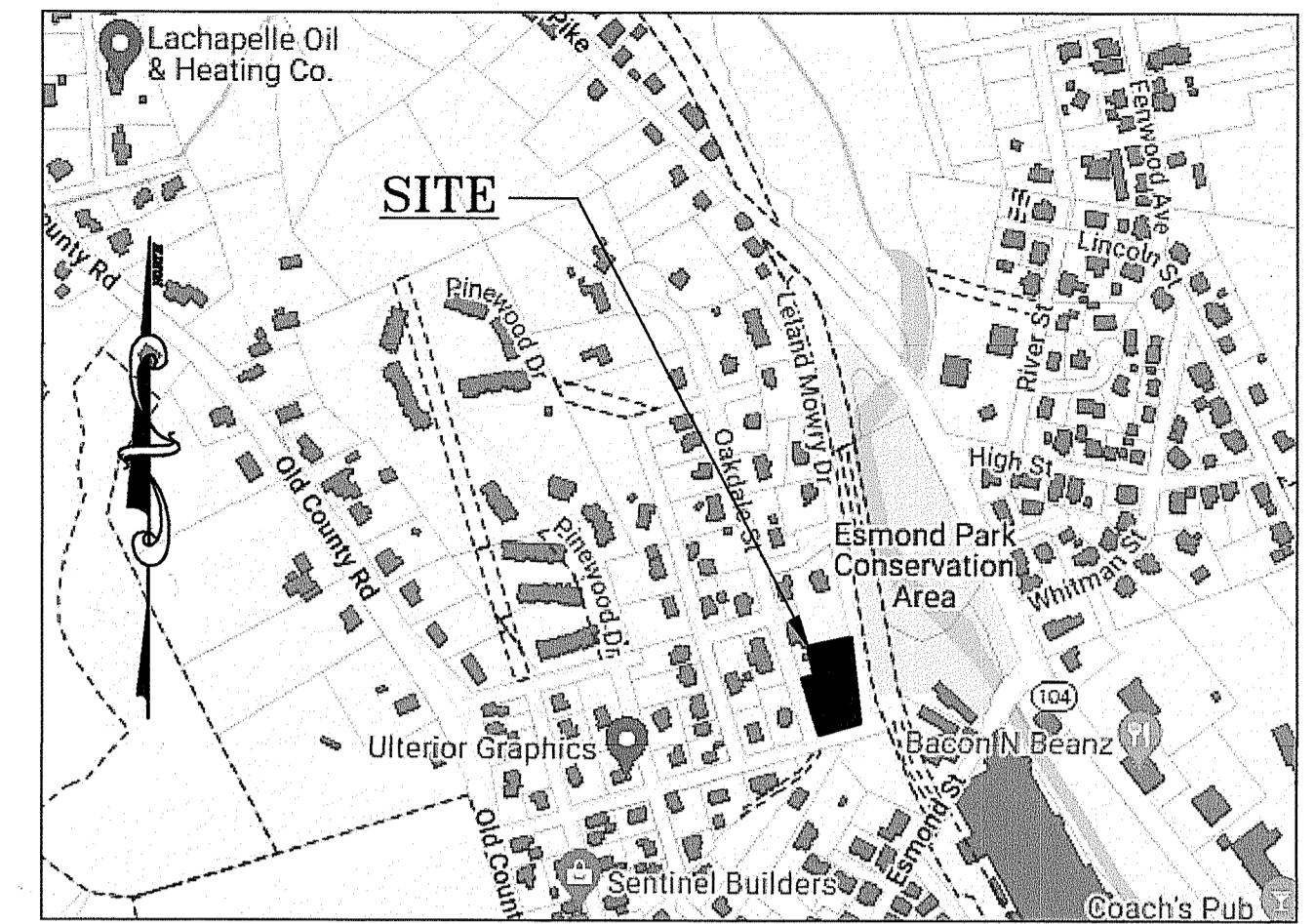
“THE CAROLINA DEVELOPMENT”

ASSESSOR'S MAP 25, LOT 133

LELAND MOWRY DRIVE & HILLSIDE STREET

in

SMITHFIELD, RHODE ISLAND



LOCUS MAP
APPROX. SCALE 1" = 500'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

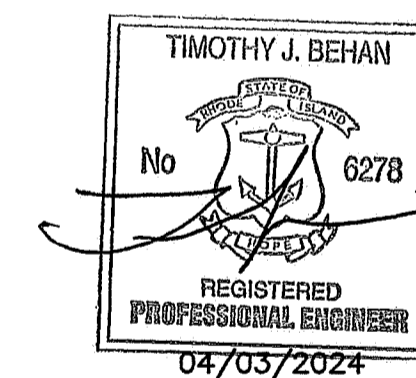
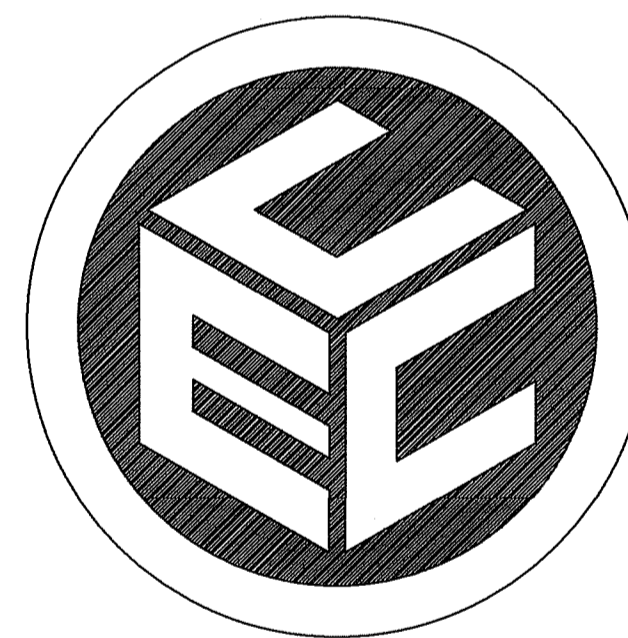
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PRELIMINARY PLAN APPROVAL

THE PRELIMINARY PLAN WAS APPROVED BY THE PLANNING BOARD ON MAY 2, 2023 WITH THE FOLLOWING CONDITIONS OF APPROVAL:

1. THE FINAL PLAN APPROVAL BEING BACK BEFORE THE BOARD.
2. EITHER BUILDING A SPLIT-LEVEL HOME OR RETAINING WALL WITH AT LEAST A 15 FOOT REAR YARD SETBACK FROM THE REAR OF THE FOUNDATION ON LOT-4.
3. 18-FOOT DRIVEWAYS WITH HAMMERHEAD TURNAROUND AT THE TOP.



PREPARED BY:

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
(401) 273-6600

DATE: APRIL 2024

PERMITTING NOTE:

THE FOLLOWING LOCAL, STATE, FEDERAL AND OTHER PERMITS/ APPROVALS SHALL BE REQUIRED FOR THE PROPOSED PROJECT:

STATE

1. RIDEM FRESHWATER WETLANDS PERMIT INSIGNIFICANT ALTERATION
2. RIDEM RIPDES/WQ PERMIT

OTHER

1. PROVIDENCE WATER
2. SMITHFIELD SEWER DEPARTMENT
3. LOCAL FIRE DEPARTMENT APPROVAL

OWNER/APPLICANT:
LA NONA CONSTRUCTION, LLC
154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
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ZONING TABLE:

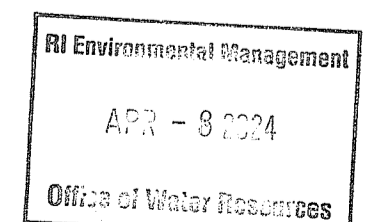
ZONE: R-20 RESIDENTIAL DISTRICT

PARCEL ID: A.P. 25, LOT 133
TOTAL LOT AREA: 32816 S.F.

	REQUIRED
MIN. LOT AREA	20,000 S.F.
MIN. LOT DIMENSIONS	
FRONTAGE	125 FT.
MIN. YARD SETBACKS	
FRONT	30 FT.
SIDE	15 FT.
REAR	30 FT.
MAX. BLDG. HEIGHT	39 FT.
MAX. BLDG. COVERAGE	25%

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 06 2024 FILE #: 24-0050
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



PERMITTING PLAN SUBMISSION
NOT ISSUED FOR CONSTRUCTION

ALL PLANS AND IMPROVEMENTS CONFORM TO ALL EXISTING AND AMENDED STANDARDS OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION FOR LAND SURVEYORS.

PROJECT NO. 24007.00

GENERAL NOTES:

- 1. THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.
- 2. SPECIFICATIONS & DETAILS GOVERNING THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2018 EDITION & TOWN OF SMITHFIELD SUBDIVISION & LAND DEVELOPMENT STANDARDS. THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S.
- 3. THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
- 4. THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED DRIVEWAY AND DRAINAGE SYSTEM IN ACCORDANCE WITH THE TOWN'S SPECIFICATIONS FOR CONSTRUCTION OF REQUIRED IMPROVEMENTS, AS SPECIFIED IN THE TOWN'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS.
- 5. ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION; THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
- 6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS, INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY, INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- 7. ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON NAVD83 DATUM, AND HAVE A POTENTIAL VERTICAL VARIANCE OF 1+ FEET.
- 8. NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
- 9. ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN-KIND, UNLESS OTHERWISE SHOWN OR AUTHORIZED BY THE TOWN.
- 10. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS, AND SHALL INSPECT THE SITE, ANY CHANGES TO THE PROJECT, OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED, SHALL BE REVIEWED BY, AND MUST BE ACCEPTABLE TO, THE ENGINEER.
- 11. THE ABSENCE OF PARTICULAR DETAILS OR SPECIFICATIONS FOR WORK CALLED FOR ON THE PLANS SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE PROPOSED WORK.
- 12. ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION OF AND APPROVAL BY THE TOWN. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK, AND NO WORK SHALL PROCEED WITHOUT THE AUTHORIZATION OF THE TOWN.
- 13. PRIOR TO THE START OF CONSTRUCTION, THE APPROVED LIMIT OF DISTURBANCE SHALL BE LOCATED AND FIELD-DELIMITED BY A RI PLS; NO CLEARING OR DISTURBANCE SHALL TAKE PLACE OUTSIDE THE ESTABLISHED LIMIT AT ANY POINT DURING CONSTRUCTION, UNLESS EXPLICITLY AUTHORIZED BY THE TOWN.
- 14. PRIOR TO THE START OF BATH-DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL SOIL EROSION & SEDIMENT CONTROL (SESC) DEVICES IN ACCORDANCE WITH RIDEM & TOWN STANDARDS.
- 15. COMMUNICATION LINES (ELECTRIC, TELEPHONE, AND CABLE TV) SHALL BE INSTALLED UNDERGROUND, UNLESS OVERHEAD SERVICE IS APPROVED BY THE TOWN.
- 16. ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, BOULDERS AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND TRANSPORTED AWAY FROM THE PROJECT SITE, UNLESS ON-SITE DISPOSAL AT AN APPROPRIATE LOCATION (OR LOCATIONS) IS APPROVED BY THE TOWN.
- 17. CATCH BASIN FRAME & GRATES SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND MORTAR. OTHER TYPES OF BRICK AND/OR PRECAST CONCRETE RINGS ARE NOT ACCEPTABLE. ALL PARKING LOT AND SITE ENTRANCE DRAINAGE SHALL REMAIN ON THE PROPERTY. A BITUMINOUS BERM SHALL BE CONSTRUCTED ALONG THE EDGE OF THE PARKING LOT AND ENTRANCE TO DIRECT DRAINAGE AS SHOWN ON THE PLANS.
- 18. ANY SLOPES GREATER THAN 2H:1V SHALL BE STABILIZED WITH RIDOT CLASS R-4 RIP RAP LAID ON TOP OF FILTER FABRIC (MIRAFI 180N OR APPROVED EQUAL), DEPTH OF RIP RAP TO BE 1.5 TIMES MAXIMUM STONE SIZE.
- 19. AFTER SUBSTANTIAL COMPLETION OF THE ROAD AND DRAINAGE SYSTEMS, THE DEVELOPER SHALL INSTALL/ CONSTRUCT MISCELLANEOUS WORK ITEMS SUCH AS GUARDRAILS, RIP RAP, SIGNAGE, OR ROAD MARKINGS NOT SHOWN ON THE PLANS BUT DETERMINED TO BE NECESSARY BY THE TOWN AND/OR DESIGN ENGINEER.

CONSTRUCTION NOTES:

- 1. DEVELOPER SHALL RETAIN THE SERVICES OF A RHODE ISLAND PROFESSIONAL ENGINEER TO REVIEW AND APPROVE SHOP DRAWINGS, SAMPLES, AND OTHER SUBMITTALS OF THE CONTRACTOR FOR CONFORMANCE WITH THE DESIGN CONCEPT (THIS PLAN SET) AND TOWN REGULATIONS, WHICH INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:
 - A. DRAINAGE SYSTEM SHOP DRAWINGS/SKETCHES FOR PIPE, PIPE JOINTS, PIPE BEDDING/BACKFILL MATERIALS (SIEVE ANALYSIS, ETC.), COMPACTION METHODS, MANHOLE STRUCTURES, FRAME & GRATES, PROPOSED RIM ELEVATIONS, PIPE INVERTS AND PIPE DIAMETERS. ANY SUBSTANTIAL CHANGES TO THE DESIGN CONCEPT SHALL BE BROUGHT TO THE TOWN'S ATTENTION.
 - B. ROADWAY CONSTRUCTION SHOP DRAWINGS/SKETCHES FOR GRAVEL BASE MATERIALS, BITUMINOUS CONCRETE COURSES, SIGNAGE/STRIPING, UNDERDRAINS, GUARDRAILS, RETAINING WALLS AND CURBING/BERMS.
 - C. SOIL EROSION CONTROL AND DEWATERING METHODS.
 - D. COMPACTION METHODS FOR INSTALLING PIPE/MANHOLES, GRAVEL ROAD BASE AND BITUMINOUS CONCRETE COURSES.
 - E. TESTING METHODS AND TESTING FREQUENCY FOR DRAINAGE AND ROAD SYSTEMS. TESTING FREQUENCY SHALL BE IN ACCORDANCE WITH RIDOT AND TYPICAL ENGINEERING STANDARDS.
- 2. THE SHOP DRAWING SUBMITTAL PACKAGE SHALL BE STAMPED BY A RHODE ISLAND PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN/TOWN ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWING RECORDS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT, INCLUDING THE WARRANTY PERIOD.
- 3. MARKED-UP CONSTRUCTION DRAWINGS SHALL BE MAINTAINED AND KEPT AT THE JOB SITE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS IN ACCORDANCE WITH TOWN REGULATIONS AND PROVIDENCE WATER. AS-BUILT DRAWING SHALL COMPLY WITH PROVIDENCE WATER RULES AND REGULATIONS. AS-BUILTS SHALL BE STAMPED BY A R.I. PROFESSIONAL LAND SURVEYOR AND R.I. PROFESSIONAL ENGINEER.
- 5. PRIOR TO ACCEPTANCE OF INFRASTRUCTURE, A R.I. P.E. SHALL CERTIFY THE INFRASTRUCTURE WAS INSTALLED IN ACCORDANCE WITH THE DESIGN INTENT AND MEETS RIDOT/TOWN STANDARDS & PERMIT STIPULATIONS, AND IS READY FOR USE. AS-BUILT DRAWING SHALL COMPLY WITH PROVIDENCE WATER RULES AND REGULATIONS AND BE ACCEPTED AND APPROVED BY PROVIDENCE WATER.

GROUNDWATER REMOVAL & PROTECTION FROM FLOODING:

- 1. SOME EXCAVATIONS FOR PIPELINES, STRUCTURES, AND APPURTENANT WORK REQUIRED MAY OCCUR BELOW EXISTING GROUNDWATER LEVELS.
- 2. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND/OR ANY OTHER FACILITIES FOR THE CONTROL, COLLECTION, AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK, AND SHALL PROVIDE ALL PUMPS, PIPING, AND DITCHING FOR THE REMOVAL OF WATER FROM THE TRENCHES AND EXCAVATIONS SO THAT ALL TRENCHES AND EXCAVATIONS MAY BE KEPT FREE FROM WATER AT ALL TIMES, AND SO THAT THE WORK MAY BE PERFORMED IN THE DRY.
- 3. DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT OF WORK BY THE ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF EXCAVATIONS OF THE TYPE TO BE EMPLOYED FOR THE WORK.
- 4. PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN SATISFACTORY PROGRESS OF SAME.
- 5. THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO LOSS OF GROUND WILL RESULT FROM THESE OPERATIONS. ANY DAMAGE TO EXISTING FEATURES OR TO THE CONTRACT WORK RESULTING FROM THE CONTRACTOR'S DEWATERING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR, AS DIRECTED BY THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW AND EXISTING WORK FROM FLOODING OR DAMAGE DURING STORMS OR OTHER CAUSES.
- 6. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- 7. WATER FROM THE TRENCHES, EXCAVATIONS, AND DRAINAGE OPERATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS WILL CAUSE NEITHER INJURY TO PUBLIC HEALTH OR PRIVATE PROPERTY, NOR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS.
- 8. THE CONTRACTOR SHALL CONSTRUCT DITCHES, ESTABLISH GRADING, AND PERFORM ANY AND ALL OTHER WORK AS MAY BE NECESSARY TO DIVERT AND PREVENT SURFACE WATER AND WATER FROM DEWATERING OPERATIONS FROM ENTERING EXCAVATION AND WORK AREAS.

EARTHWORK NOTES:

- 1. SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION - AUGUST 2018 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS TOWN STANDARDS; WHERE APPLICABLE, THE TOWN'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS.
- 2. RIDOT STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE RIDOT WEBSITE UNDER 'STANDARDS AND SPECIFICATIONS' (WWW.DOT.STATE.RI.US/ENGINEERING/STANDARDS/INDEX.ASP). EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
- 3. ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND TOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. ALL MATERIALS AND METHODS SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS. ALL FILL BENEATH PAVEMENTS SHALL BE GRAVEL AS DEFINED IN THE RIDOT SPECIFICATIONS.
- 4. ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION.
- 5. ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY SUBGRADE AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT OF THE GRAVEL SUBBASE/BERM MATERIAL AS DIRECTED AND APPROVED.
- 6. SUITABLE SURPLUS MATERIAL GENERATED BY EXCAVATIONS WITHIN THE PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA; MINING OF SITE MATERIALS (I.E. REMOVAL OF SUITABLE IN-SITU MATERIALS FROM THE SITE AND REPLACEMENT WITH IMPORTED BORROW MATERIALS) SHALL NOT BE PERMITTED.
- 7. ALL EXISTING LOAM SHALL BE STRIPPED, STOCKPILED AND REUSED ON SITE. LOAM SHALL BE AMENDED AS NEEDED TO PROMOTE A HEALTHY GROWTH OF GRASS.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE MAY 2012 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), INCLUDING ALL SUBSEQUENT REVISIONS.
- 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE STREET RIGHT-OF-WAYS.
- 4. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

EXISTING CONDITIONS/UTILITIES NOTES:

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE". NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PRECISE LOCATIONS & DETAILS GOVERNING THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2018 EDITION & TOWN OF SMITHFIELD SUBDIVISION & LAND DEVELOPMENT STANDARDS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 2. ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION AND REPRESENT APPROXIMATE LOCATIONS. SOME OBSTRUCTIONS, OBSTACLES, OR DIFFICULTIES IN THE PATH OF UTILITIES, EITHER ANTICIPATED OR DISCOVERED IN THE PERFORMANCE OF THE WORK, MAY NOT HAVE BEEN INDICATED BY DRAWINGS. THE CONTRACTOR SHALL BE UNDERSTOOD TO HAVE ENTERED INTO THE CONTRACT WITH FULL KNOWLEDGE THAT IN ANY WORK INVOLVING EXCAVATION OPERATIONS IN PUBLIC HIGHWAYS OR ADJACENT TO OTHER DEVELOPMENTS, SOME UNFORESEEN OBSTACLES, DIFFICULTIES, SOIL OR GROUND WATER CONDITIONS, ETC., MAY BE ENCOUNTERED, AND THAT THE CONTRACTOR HAS INCLUDED IN HIS BID AND CONTRACT OBLIGATIONS THE ASSUMPTIONS OF THE RISKS AND COSTS TO WHICH SUCH OBSTACLES, ETC. MAY SUBJECT HIM/HER.
- 3. THE LOCATION OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES AS SHOWN HAS BEEN COLLECTED FROM THE BEST AVAILABLE SOURCES, AND THE OWNER, TOGETHER WITH HIS AGENTS, DOES NOT IMPLY OR GUARANTEE THE DATA AND INFORMATION IN CONNECTION WITH UNDERGROUND PIPES, CONDUITS, AND STRUCTURES, AND SUCH OTHER PARTS, AS TO THEIR COMPLETENESS, NOR THEIR LOCATIONS AS INDICATED. THE CONTRACTOR SHALL ASSUME THAT THERE ARE EXISTING WATER, GAS AND OTHER UTILITY CONNECTIONS IN ROUTE, WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES OR DAMAGE THERE TO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 4. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS HE DEEMS NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS, OR WHICH ARE MADE KNOWN TO THE CONTRACTOR DURING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL DAMAGES TO EXISTING UTILITIES AND STRUCTURES.
- 5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A R.I. PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRABERS. ALL EXISTING AND PROPOSED UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW.
- 6. ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER/STATE/TOWN.
- 7. WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER PIPES, FIXTURES, GUARDRAILS, FENCES, GAS PIPES, OR OTHER STRUCTURES REQUIRING SPECIAL CARE, DUE NOTICE SHALL BE GIVEN TO THE OWNER. WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED. THE ENTIRE WORK SHALL BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING UTILITIES, AND SUCH OTHER PARTS, AS TO THEIR RESPONSIBILITY AND EXPENSE SHALL BE WITH THE CONTRACTOR. ALL DAMAGED ITEMS OF WORK OR ITEMS REQUIRED TO BE REMOVED AND REPLACED DUE TO CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO ADDITIONAL EXPENSE TO THE OWNER.

GENERAL SOIL EROSION/ SEDIMENTATION CONTROL NOTES:

- 1. THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK, LATEST EDITION, SHALL BE APPLICABLE TO THIS PROJECT AS APPLICABLE, AND IS MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- 2. ALL REQUIRED SITE IMPROVEMENTS MAY BE INSPECTED BY THE DESIGNATED AUTHORITY (E.G. TOWN ENGINEER, PLANNING BOARD, OTHER DESIGNATED AGENT(S)) TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE CONSTRUCTION/INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL 48-HOUR PRIOR NOTIFICATION IS GIVEN TO THE DESIGNATED AUTHORITY.
- 3. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED FINAL CONSTRUCTION DRAWINGS AND THE APPLICABLE SPECIFICATIONS.
- 4. LOCATIONS AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE, AND HAVE BEEN DEPICTED BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN ON THE PLANS, SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY, AND THE COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION & SEDIMENTATION CONTROLS FOR THE DURATION OF THE WORK (SEE OTHER APPLICABLE NOTES).

LONG-TERM POLLUTION PREVENTION NOTES:

SITE OWNER/OPERATOR SHALL REFER TO AND FOLLOW THE APPROVED OPERATION & MAINTENANCE (O&M) PLAN PREPARED FOR THIS PROJECT. A BRIEF SUMMARY OF LONG-TERM POLLUTION PREVENTION TECHNIQUES THAT MAY BE APPLIED TO THE PROJECT (AS APPROPRIATE) IS PROVIDED BELOW:

- 1. SOLID WASTE CONTAINMENT:
 - A. OWNER TO PROVIDE TRASH CONTAINER. CONTAINER TO HAVE A COVER TO PREVENT TRASH FROM BLOWING OUT.
 - B. SWEEP COMMON PARKING LOT ANNUALLY.
- 2. HAZARDOUS MATERIALS CONTAINMENT:
 - A. STORE ALL HAZARDOUS MATERIALS INSIDE STORAGE LOCKERS OR OTHER APPROVED METHODS WHICH HAVE SECONDARY CONTAINMENT SYSTEMS.
 - B. SECONDARY CONTAINMENT MUST BE INCLUDED WHEREVER SPILLS MIGHT OCCUR (E.G. FUELING AND HAZARDOUS MATERIAL TRANSFER AND LOADING AREAS).
- 3. ROADS AND PARKING AREA MANAGEMENT:
 - A. SWEEP COMMON DRIVEWAY AREA ANNUALLY.
 - B. USE DEICING CHEMICALS AND SAND JUDICIOUSLY, AS THEY HAVE THE POTENTIAL TO CAUSE WATER QUALITY PROBLEMS. PROVIDE AND SPREAD IN ACCORDANCE WITH O&M RECOMMENDATIONS.
 - * PLOW SNOW AND STORE ACCUMULATED SNOW PILES AWAY FROM INFILTRATION PRACTICES. KEEP SNOW PILES 50 FEET FROM WETLAND EDGE AND AREA SUBJECT TO STORM FLOW.
 - * DEBRIS SHOULD BE CLEARED FROM THE SITE PRIOR TO SNOW DISPOSAL.
 - * DEBRIS SHOULD BE CLEARED FROM THE SITE AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON.
 - C. ONLY USE ASPHALT BASED SEALANTS WHEN SEALING THE PAVEMENTS. DO NOT USE COAL-TAR BASED SEALANTS, AS THESE ARE MORE TOXIC.
- 4. LAWN, GARDEN, AND LANDSCAPE MANAGEMENT:
 - A. LAWN CONVERSION - REDUCE THE AMOUNT OF LAWN BY REPLANTING LAWN WITH GARDEN BEDS CONTAINING FLOWERS/SHRUBS. LAWNS REQUIRE MORE MAINTENANCE THAN FLOWER BEDS.
 - B. SOIL BUILDING - MAINTAIN A HEALTHY LAWN BY TESTING SOIL FOR PH, FERTILITY, COMPACTION, TEXTURE, AND CARBON CONTENT.
 - C. GRASS SELECTION - SELECT DROUGHT TOLERANT GRASS SPECIES.
 - D. MOWING AND THATCH MANAGEMENT - MAINTAIN GRASS AT MINIMUM 3 TO 4 INCHES IN HEIGHT. THIS WILL REDUCE WEED GROWTH.
 - E. FERTILIZATION - MINIMIZE FERTILIZATION. FERTILIZE NO MORE THAN TWICE A YEAR. APPLY CAREFULLY SO FERTILIZER DOES NOT SPREAD ONTO IMPERVIOUS SURFACES.
 - F. WEED MANAGEMENT - NEVER USE CHEMICAL HERBICIDES TO ELIMINATE OR CONTROL WEEDS. OWNER SHALL REMOVE WEEDS BY PULLING OR DIGGING OUT.
 - G. PEST MANAGEMENT - LIMIT PESTICIDE USE. CHOOSE PESTICIDES THAT POSE THE LEAST RISK TO HUMAN HEALTH AND THE ENVIRONMENT.
 - H. SENSIBLE IRRIGATION - WATER NO MORE THAN 1" PER WEEK. USE DROUGHT-RESISTANT GRASSES. CUT GRASS AT 3-4 INCHES.

SEEDING/PLANTING:

- 1. ALL DISTURBED AREAS MUST BE SEEDED OR PLANTED (WHETHER TEMPORARILY OR PERMANENTLY) WITHIN THE CONSTRUCTION SEASON; THE TYPICAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- 2. TOPSOIL IN SEEDED AREAS SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- 3. THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- 4. THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE	CREeping RED FESCUE
70	APRIL 1 - JUNE 15		
ASTORIA BENTGRASS	5	AUGUST 15 - OCT.	
BIRDFOOT TREETOP	15		
PERENNIAL RYEGRASS	10		
APPLICATION RATE	100 LBS./ACRE		
LIMING AND FERTILIZING AS REQUIRED TO COMPLEMENT OR		UPGRADE EXISTING CONDITIONS.	

- 5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- 6. ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- 7. ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL DURING THE FULL WARRANTY PERIOD. SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE CONTRACTOR SHALL BE SOLELY AND FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.

PLAN REFERENCES:

- 1. WETLANDS FLAGGING DELINEATED BY AVIZINIS ENVIRONMENTAL SERVICES, INC. IN FEBRUARY OF 2024.
- 2. SURVEY PLAN ENTITLED "FINAL-MINOR SUBDIVISION, LOT LAYOUT PLAN-RECORD PLAN"; DATED: NOVEMBER 28, 2023 BY KELLY LAND SERVICES, INC. SCALE: 1"=30'.

TEST HOLE NOTES:

- 1. TEST HOLES AT VARIOUS LOCATIONS ON THE PARCEL WERE PERFORMED ON JANUARY 26, 2024.
- 2. ALL TEST HOLES WERE EXCAVATED TO A MINIMUM DEPTH OF 9-FEET.
- 3. GROUNDWATER SEEPAGE WAS NOT ENCOUNTERED IN ANY OF THE TEST HOLES.
- 4. ESHGWT IS GREATER THAN 9-FEET BELOW GROUND SURFACE.
- 5. NO LEDGE WAS ENCOUNTERED IN ANY TEST HOLE.
- 6. FILL WAS ENCOUNTERED AT TEST HOLES 1 AND 4. IT WAS ASSUMED TO BE BACKFILL OF FORMER FOUNDATIONS.

SUBSURFACE CONDITIONS NOTES:

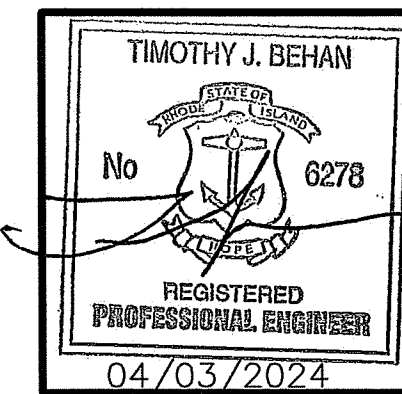
- 1. ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED. SOIL TEST REPORTS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE DESIGN ENGINEER. ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THEIR OWN EXPENSE. IT IS UNDERSTOOD THAT THE MAKING OF THE DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FROM ALL THE ACCESSIBLE FACTUAL INFORMATION, INCLUDING THE NATURE OF THE MATERIALS TO BE EXCAVATED, THE DIFFICULTIES OF MAKING AND MAINTAINING THE REQUIRED EXCAVATIONS, AND THE DIFFICULTIES OF DOING OTHER WORK AFFECTED BY THE GEOLOGY AND OTHER SUBSURFACE CONDITIONS AT THE SITE OF THE WORK, ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
- 2. THE INDICATED ELEVATION OF THE WATER TABLE IS THAT EXISTING AT THE DATE THE TEST HOLE DATA WAS DETERMINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND ALLOW FOR THE ELEVATION OF GROUNDWATER AT THE DATE OF PROJECT CONSTRUCTION. A DIFFERENCE IN ELEVATION BETWEEN GROUNDWATER SHOWN IN SOIL LOGS AND GROUNDWATER ACTUALLY ENCOUNTERED DURING CONSTRUCTION WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA WORK.
- 3. REVIEW OF THE RIDEM ENVIRONMENTAL RESOURCE MAP SHOW THE SITE SOILS ARE CLASSIFIED AS MERRIMAC-URBAN LAND COMPLEX (MU).

LEGEND

- PARCEL PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- 40----- EXISTING MAJOR CONTOUR
- 28----- EXISTING MINOR CONTOUR
- G ----- EXISTING GAS LINE
- W ----- EXISTING WATER LINE
- S ----- EXISTING SEWER LINE
- GG OO GAS VALVE BOX
- Z WV WATER VALVE BOX
- UP-297 UTILITY POLE AND NUMBER
- SMH EXISTING SEWER MANHOLE
- DMH EXISTING DRAINAGE MANHOLE
- CB EXISTING CATCH BASIN
- X39.50 EXISTING SPOT GRADE
- 40 PROPOSED CONTOUR LINE
- X39.50 PROPOSED SPOT GRADE
- PROPOSED FENCE
- W W PROPOSED WATER LINE
- S S PROPOSED SEWER LINE
- BUILDING SETBACK LINE
- HYD EXISTING HYDRANT

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 06 2024, FILE # 24-0080
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

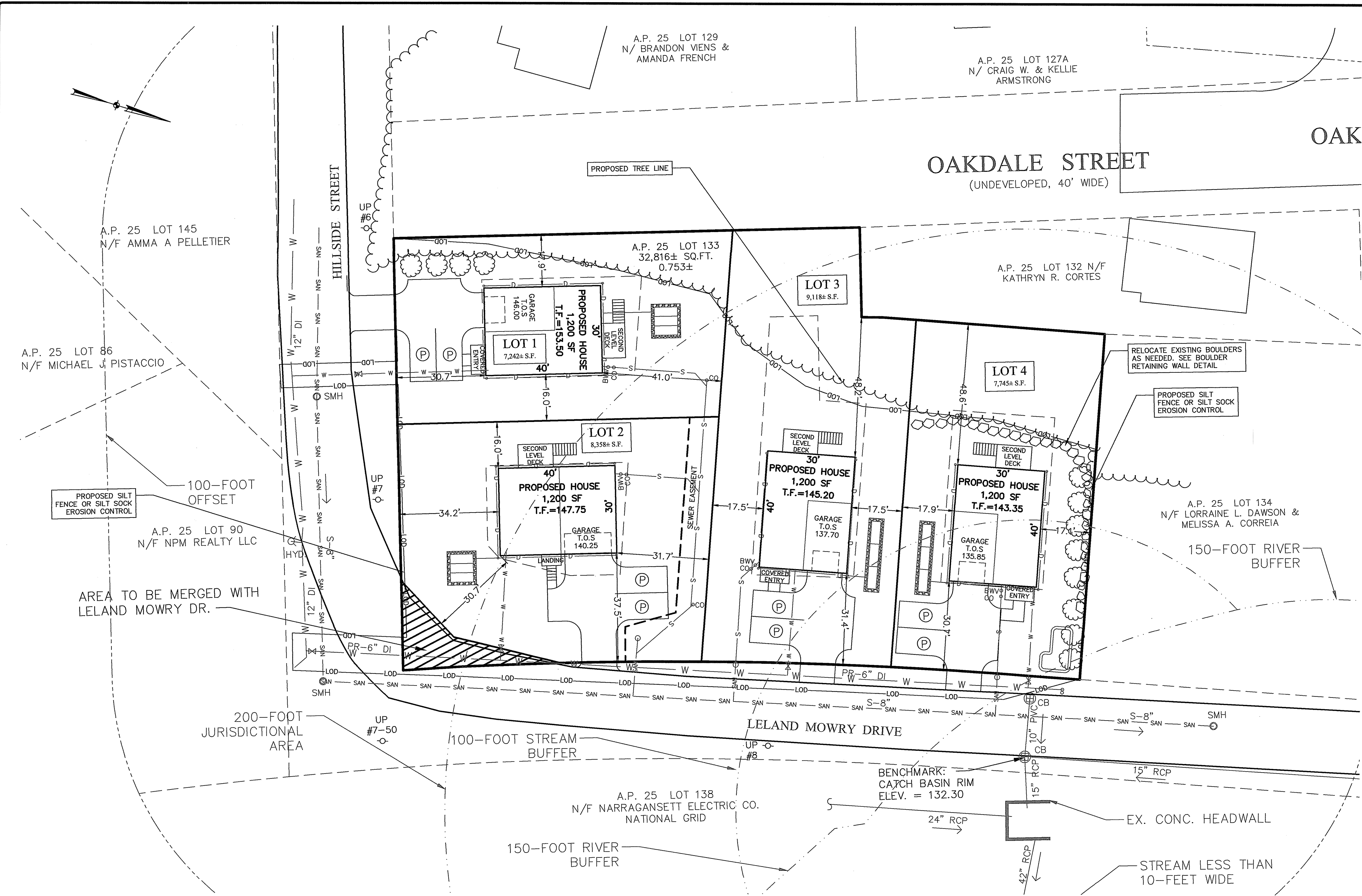
OWNER/APPLICANT:
LA NONA CONSTRUCTION, LLC
154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
EMAIL: cssconstructionri@gmail.com



FINAL APPLICATION PLAN
FOR
THE CAROLINA DEVELOPMENT
ON
A.P. 25, LOT 133
LELAND MOWRY DRIVE AND HILLSIDE STREET
SMITHFIELD, RHODE ISLAND

SCALE:	SHEET NO: 2 OF 9	
DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: APRIL 2024	PROJECT NO	24007.00

PERMITTING PLAN SUBMISSION
NOT ISSUED FOR CONSTRUCTION



LEGEND

- PARCEL PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - 40' - EXISTING MAJOR CONTOUR
- - - 28' - EXISTING MINOR CONTOUR
- G — G — EXISTING GAS LINE
- W — W — EXISTING WATER LINE
- S — S — EXISTING SEWER LINE
- GG ○ GAS VALVE BOX
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- CB EXISTING CATCH BASIN
- X39.50 EXISTING SPOT GRADE
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- PROPOSED FENCE
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- S — S — PROPOSED SEWER LINE
- - - BUILDING SETBACK LINE
- ⊕ HYD EXISTING HYDRANT

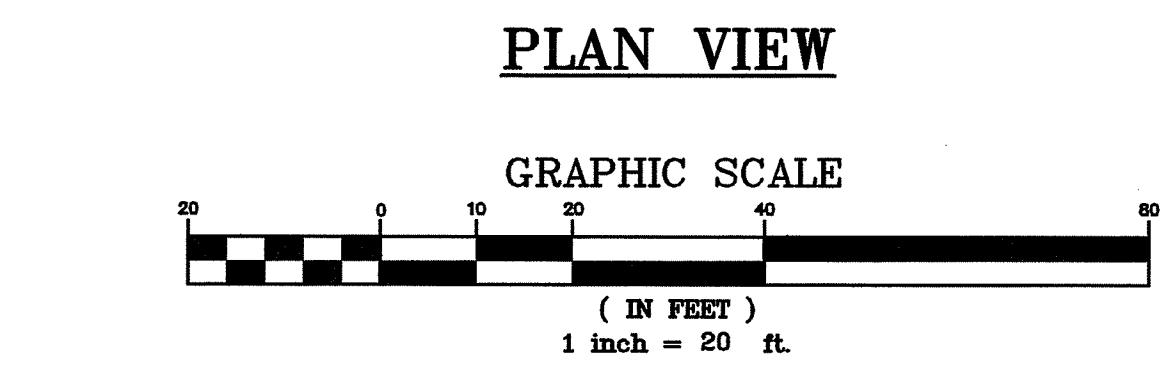
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED: JUN 06 2024 FILE #: 24-0080
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154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
EMAIL: ccsconstructionri@gmail.com

- PLAN NOTES**
- THIS PLAN IS PROVIDED FOR INFORMATION PURPOSE ONLY AND IS NOT A SURVEY PLAN.
 - PROPERTY SURVEY PERFORMED BY KELLY LAND SERVICES, INC. PLAN ENTITLED "FINAL-MINOR SUBDIVISION LOT LAYOUT-RECORD PLAN, A.P. 25 LOT 133", SCALE 1" = 30', DATED NOVEMBER 28, 2023, ALSO MADE PART OF SUBMISSION TO TOWN AS PART OF THE LAND DEVELOPMENT PROCESS.
 - EXISTING GROUND CONTOURS, TOPOGRAPHY AND UTILITY LOCATIONS PROVIDED BY KELLY LAND SERVICES, INC AND SUPPLEMENTED WITH INFORMATION FROM RIDEM GIS AND PLANS OF RECORD.
 - UTILITY LOCATIONS AND DATA PROVIDED FROM BEST AVAILABLE INFORMATION AND IS CONSIDERED APPROXIMATE. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. APPROXIMATE LOCATIONS OF SEWER LATERALS PROVIDED BY THE TOWN OF SMITHFIELD.
 - BASED ON THE RIDEM ENVIRONMENTAL RESOURCE MAP, AVAILABLE ONLINE, THE SITE IS NOT LOCATED IN A COMMUNITY WELL HEAD PROTECTION AREA, A NATURAL HERITAGE AREA, GROUNDWATER RESERVOIR, GROUNDWATER RECHARGE AREA OR SOLE SOURCE AQUIFER.
 - THE FEMA MAP, 44007C0169H, DATED OCTOBER 2, 2015, SHOWS THE SITE LOCATED IN ZONE X-AREA OF MINIMAL FLOOD HAZARD.
 - THERE ARE NO RHODE ISLAND HISTORIC CEMETERIES LOCATED ON OR ADJACENT TO THE SITE.
 - SUBJECT PARCEL PREVIOUSLY CONTAINED THREE BUILDING AND THE REMAINDER IS PREDOMINANTLY COVERED BY WITH WOODS AND/OR GRASS.
 - SUBJECT PARCEL IS SERVICED BY PROVIDENCE WATER.
 - SUBJECT PARCEL IS SERVICED BY SMITHFIELD MUNICIPAL SEWERS.



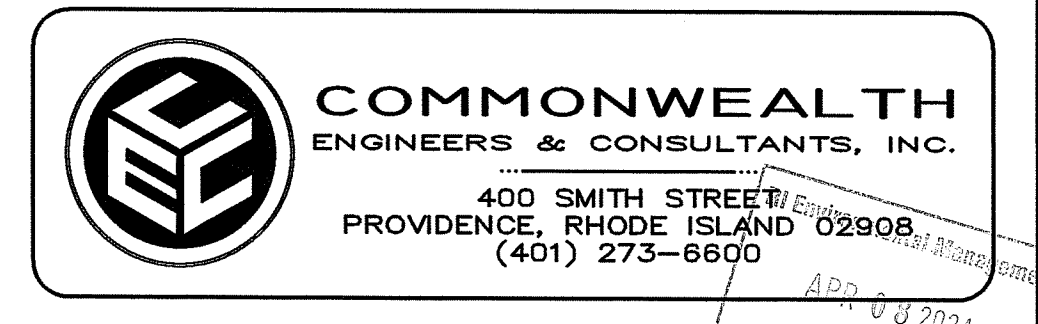
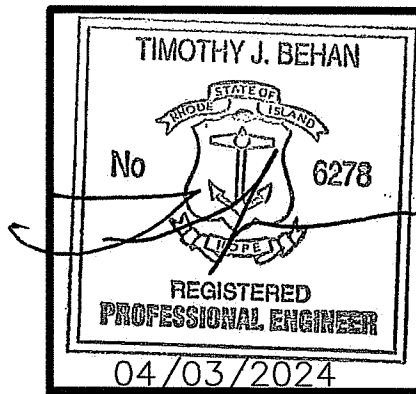
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 - ALL WATER LINES SHALL BE SEPARATED FROM SEWER LINES BY 10 HORIZONTAL FEET UNLESS OTHERWISE CONSTRUCTED IN ACCORDANCE WITH WATER AND SEWER AUTHORITY STANDARDS.

ZONING: R-20
MIN. LOT AREA 20,000 SQ. FT.
FRONTAGE 125 FT.

SETBACKS
FRONT 30 FT.
SIDE 15 FT.
REAR 30 FT.

- PLAN REFERENCES:**
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 - SURVEY PLAN ENTITLED "FINAL-MINOR SUBDIVISION, LOT LAYOUT PLAN-RECORD PLAN"; DATED: NOVEMBER 28, 2023 BY KELLY LAND SERVICES, INC. SCALE: 1"=30'.

PERMITTING PLAN SUBMISSION
NOT ISSUED FOR CONSTRUCTION



FINAL APPLICATION PLAN
FOR
THE CAROLINA DEVELOPMENT
ON
A.P. 25, LOT 133
LELAND MOWRY DRIVE AND HILLSIDE STREET
SMITHFIELD, RHODE ISLAND
PROPOSED CONDITIONS PLAN

SCALE: 1-INCH = 20-FOOT	SHEET NO: 4 OF 9
DRAWN BY: SMA	DESIGN BY: SMA
CHECKED BY: TJB	DATE: APRIL 2024
PROJECT NO 24007.00	

LEGEND

- PARCEL PROPERTY LINE
- - - - ADJACENT PROPERTY LINE
- - - -40- EXISTING MAJOR CONTOUR
- - - -28- EXISTING MINOR CONTOUR
- ○ EXISTING GAS LINE
- W — EXISTING WATER LINE
- S — EXISTING SEWER LINE
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- ⊕ HYD EXISTING HYDRANT

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS

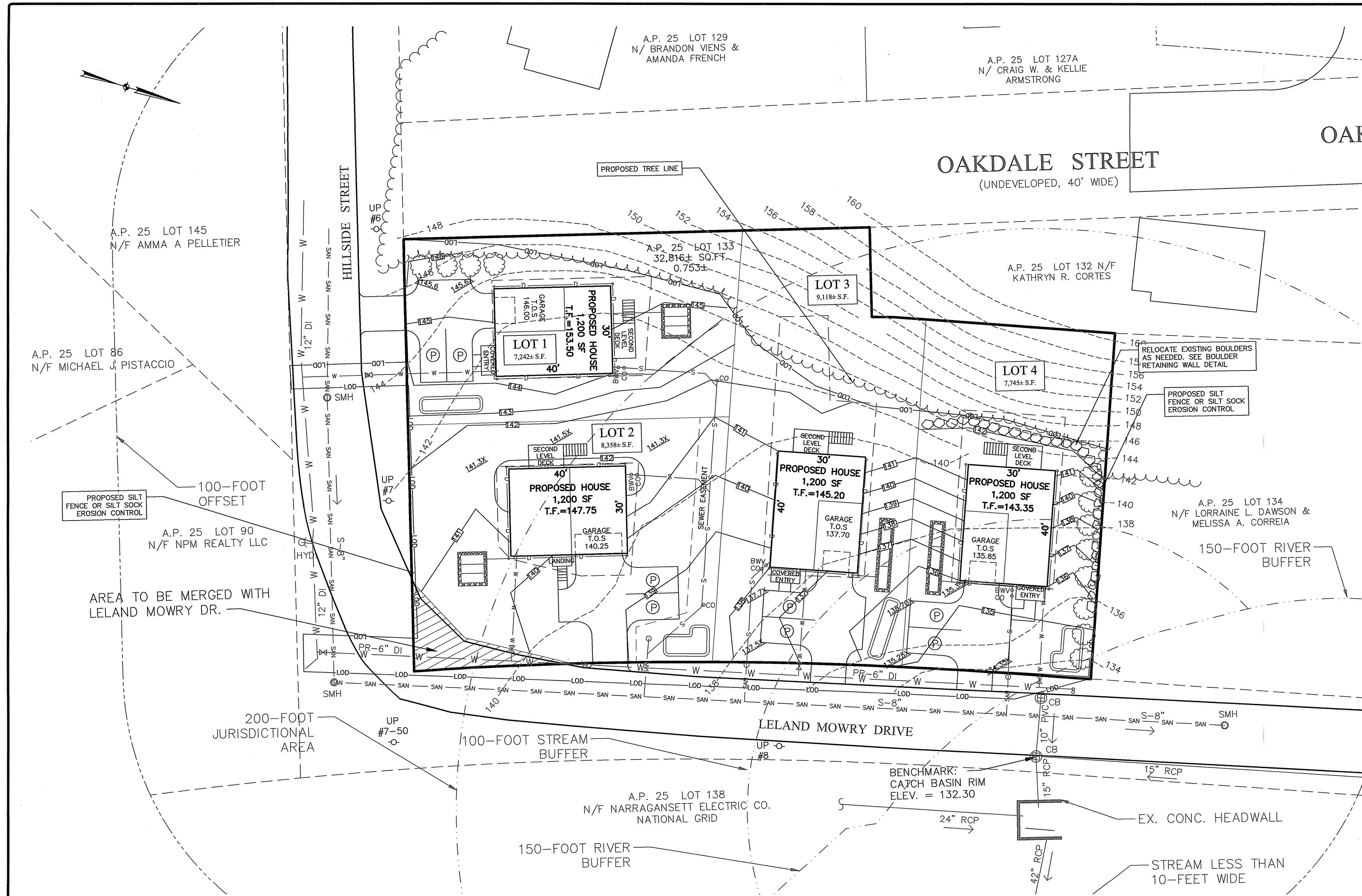
SPECIFIED IN THIS LETTER OF APPROVAL
DATED: JUN 06 2024 FILE # 24-0080

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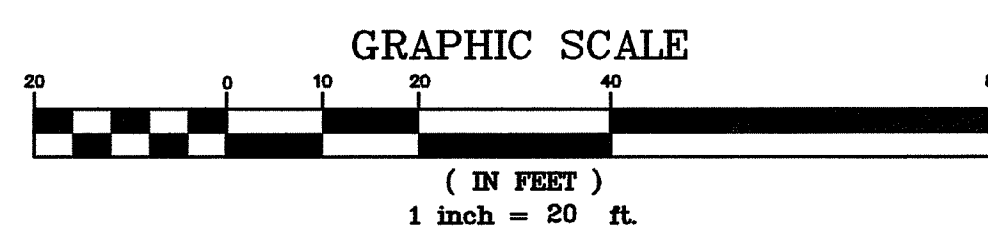
Signature

OWNER/APPLICANT:

LA NONA CONSTRUCTION, LLC
154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
EMAIL: cssconstructionri@gmail.com



PLAN VIEW



UTILITY NOTES:

1. PROPOSED 6"-DI WATER MAIN TO BE DESIGNED BY PROVIDENCE WATER.
2. BUILDING WATER SERVICES TO BE DESIGNED BY PROVIDENCE WATER.
3. PROPOSED NEW WATER MAIN AND NEW WATER SERVICES TO BE INSTALLED BY PROVIDENCE WATER APPROVED CONTRACTOR. WORK TO INCLUDE WATER MAIN INSTALLATION, SERVICE TAPS, CURB STOPS AND SERVICE LINE TO FOUNDATION FOR LOTS 1, 2 AND 3. PROVIDENCE WATER TO INSTALL TAP AND SERVICE LINE TO CURBSTOP AT LOT 4. CONTRACTOR TO INSTALL SERVICE LINE FROM CURBSTOP TO FOUNDATION AT LOT 4.
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8. ALL WATER LINES SHALL BE SEPARATED FROM SEWER LINES BY 10 HORIZONTAL FEET UNLESS OTHERWISE CONSTRUCTED IN ACCORDANCE WITH WATER AND SEWER AUTHORITY STANDARDS.

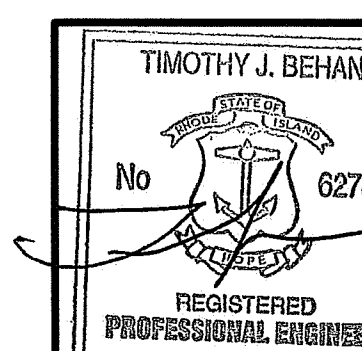
GRADING & DRAINAGE NOTES:

1. CONTRACTOR TO FINE GRADE LOTS IN ACCORDANCE WITH STATE OF RHODE ISLAND BUILDING CODE. LOTS SHALL BE GRADED SO THAT ADDITIONAL ACCUMULATION OF SURFACE WATER DOES NOT OCCUR ACROSS ADJOINING PROPERTY. SURFACE DRAINAGE SHALL BE DIVERTED TO THE DETENTION POND OR OTHER POINT OF COLLECTION SO AS NOT TO CREATE A HAZARD. LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. IMPERVIOUS SURFACES (DRIVEWAY) SHALL BE SLOPED AWAY FROM HOUSE AT A SLOPE OF 2% FOR AT LEAST 10 FEET.
2. DIRECT STORMWATER RUNOFF FROM ENTIRE SITE TO DISCHARGE INTO STORMWATER COLLECTION SYSTEM TO MAXIMUM EXTENT POSSIBLE.
3. DO NOT ALLOW STREET RUNOFF TO ENTER SUBJECT PROPERTY.

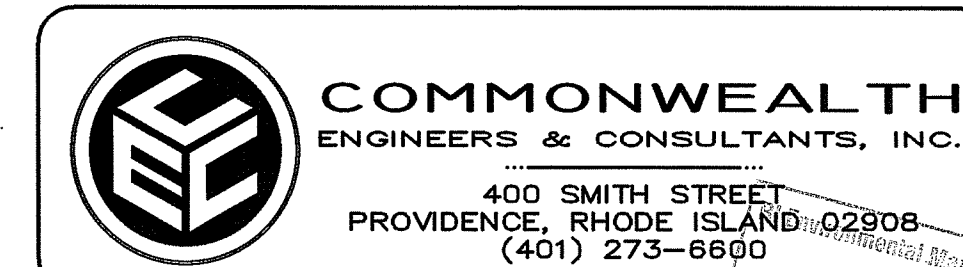
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PERMITTING PLAN SUBMISSION
NOT ISSUED FOR CONSTRUCTION



REVISIONS			
No.	DATE	DRWN	CHKD



FINAL APPLICATION PLAN
FOR
THE CAROLINA DEVELOPMENT
ON
A.P. 25, LOT 133
LELAND MOWRY DRIVE AND HILLSIDE STREET
SMITHFIELD, RHODE ISLAND

PROPOSED GRADING PLAN

SCALE: 1-INCH = 20- FEET SHEET NO: 5 OF 9
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: APRIL 2024 PROJECT NO 24007.00

LEGEND

- PARCEL PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - -40- EXISTING MAJOR CONTOUR
- - - - -28- EXISTING MINOR CONTOUR
- EXISTING GAS LINE
- W—W EXISTING WATER LINE
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- GG ○ GAS VALVE BOX
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- - - - - BUILDING SETBACK LINE
- ⊗ HYD EXISTING HYDRANT

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:

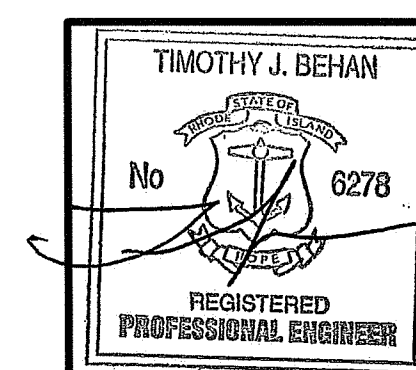
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OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 06 2024 FILE # 04-000
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Joseph D. Senechal

OWNER/APPLICANT:
LA NONA CONSTRUCTION, LLC
154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
EMAIL: cssconstructionri@gmail.com



04/03/2024

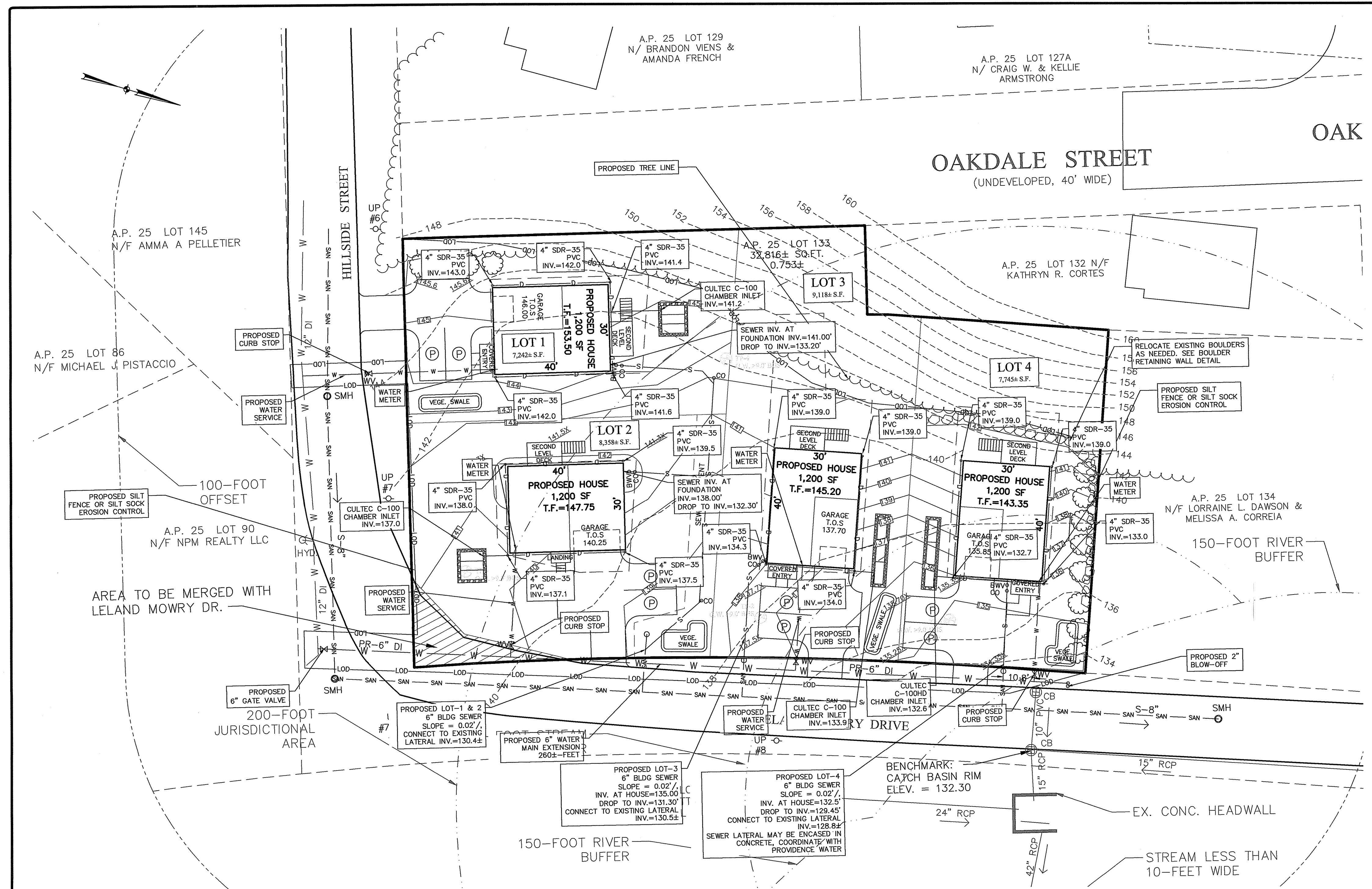
REVISIONS

No.	DATE	DRWN	CHKD

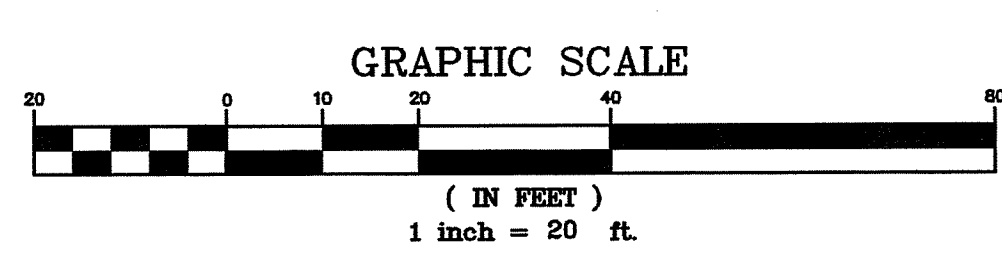
FINAL APPLICATION PLAN
FOR
THE CAROLINA DEVELOPMENT
ON
A.P. 25, LOT 133
LELAND MOWRY DRIVE AND HILLSIDE STREET
SMITHFIELD, RHODE ISLAND
PROPOSED UTILITIES PLAN

SCALE: 1-INCH = 20-FOOT SHEET NO: 6 OF 9
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: APRIL 2024 PROJECT NO 24007.00

PERMITTING PLAN SUBMISSION
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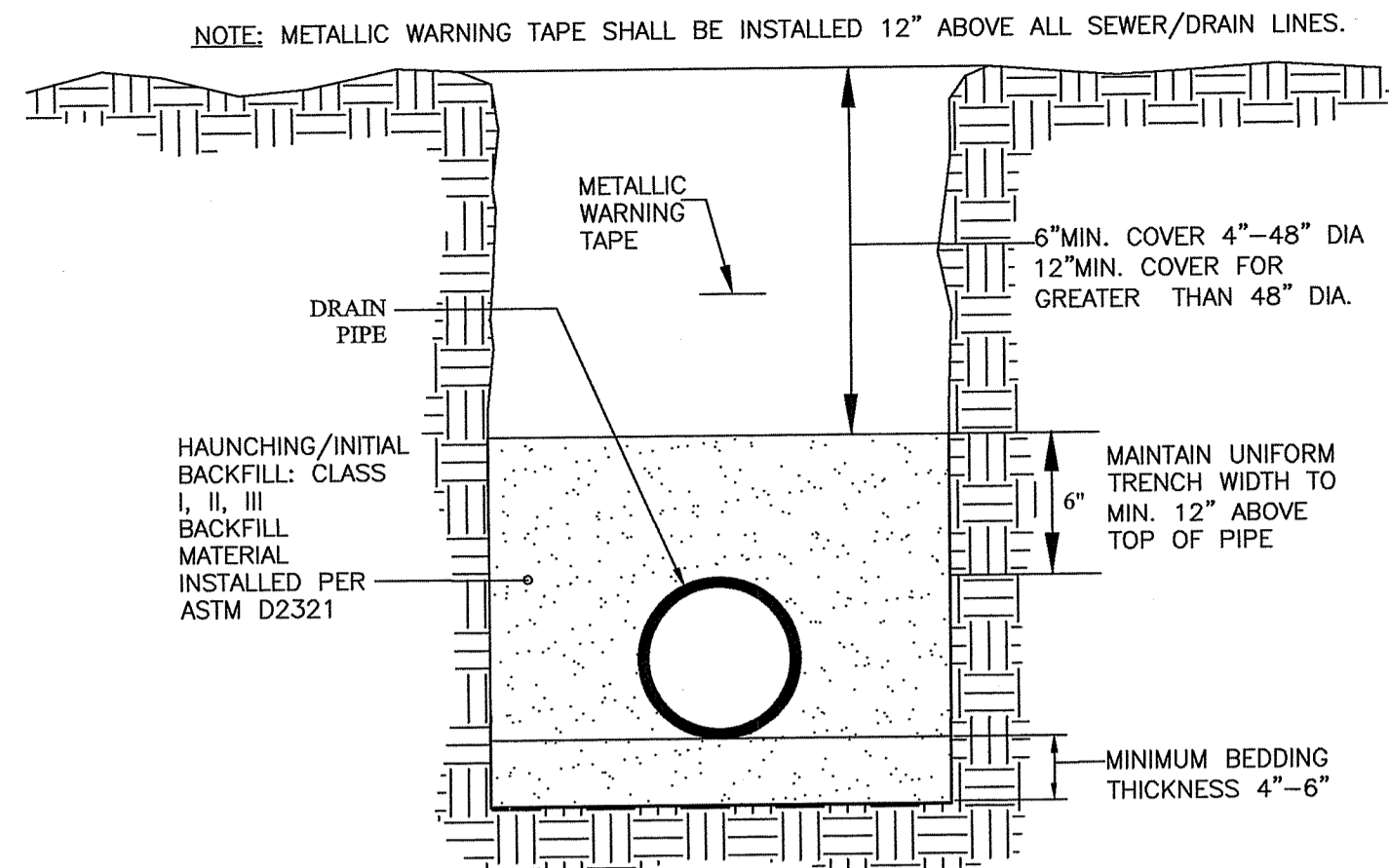
PLAN VIEW



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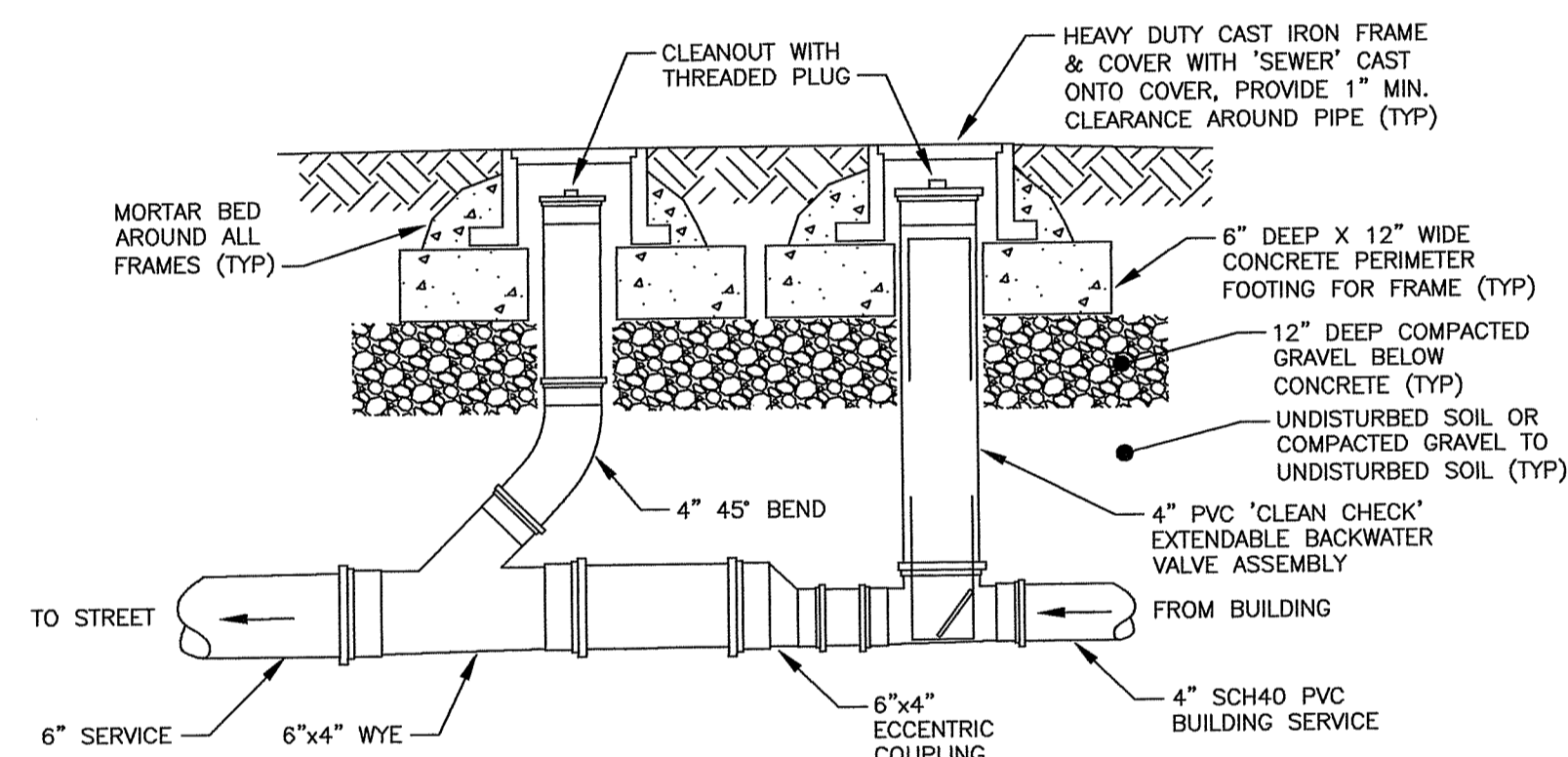
REFERENCE ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS."

RECOMMENDED MINIMUM TRENCH WIDTH

PIPE DIAMETER IN. (MM)	TRENCH WIDTH IN. (FT.)
4 - 15 (100-200)	36" (3')
18 (450)	43 (1.1)
24 (600)	56 (1.4)

SEWER TRENCH INSTALLATION DETAIL

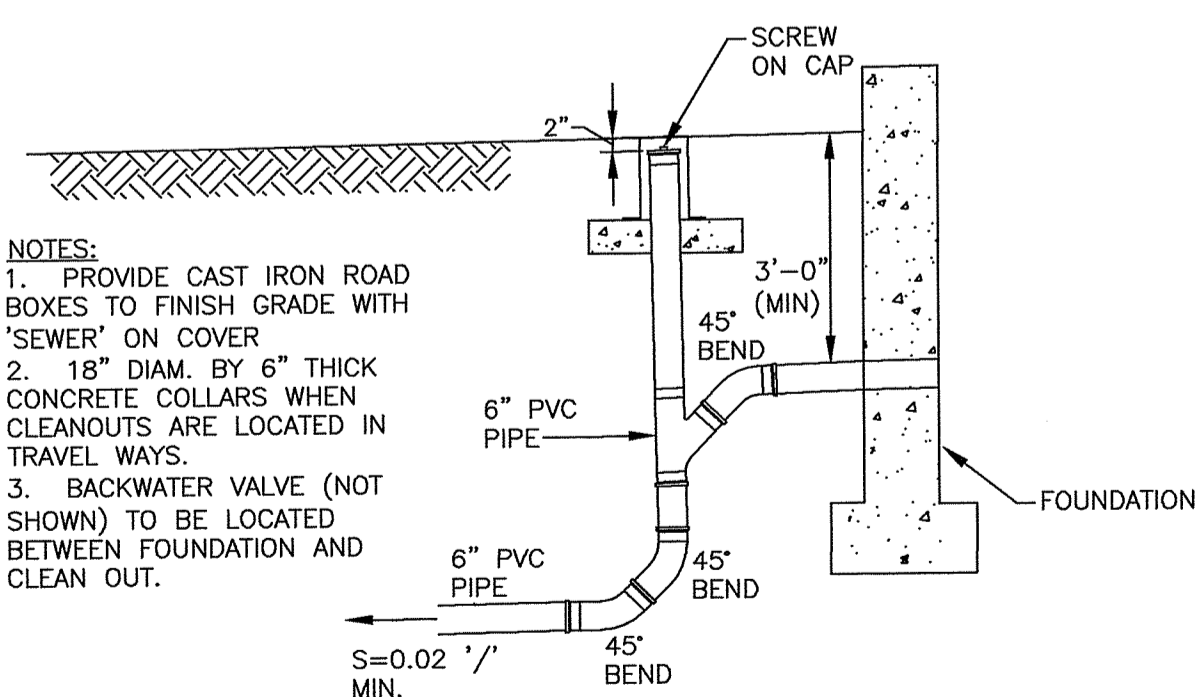
NOT TO SCALE



NOTE: INSTALL BACKWATER VALVE AND CLEANOUT AS CLOSE TO BUILDING AS POSSIBLE. EVERY GRAVITY BUILDING SEWER SHALL BE EQUIPPED WITH THIS ASSEMBLY.

EXTENDABLE BACKWATER VALVE & CLEAN OUT TYPICAL DETAIL

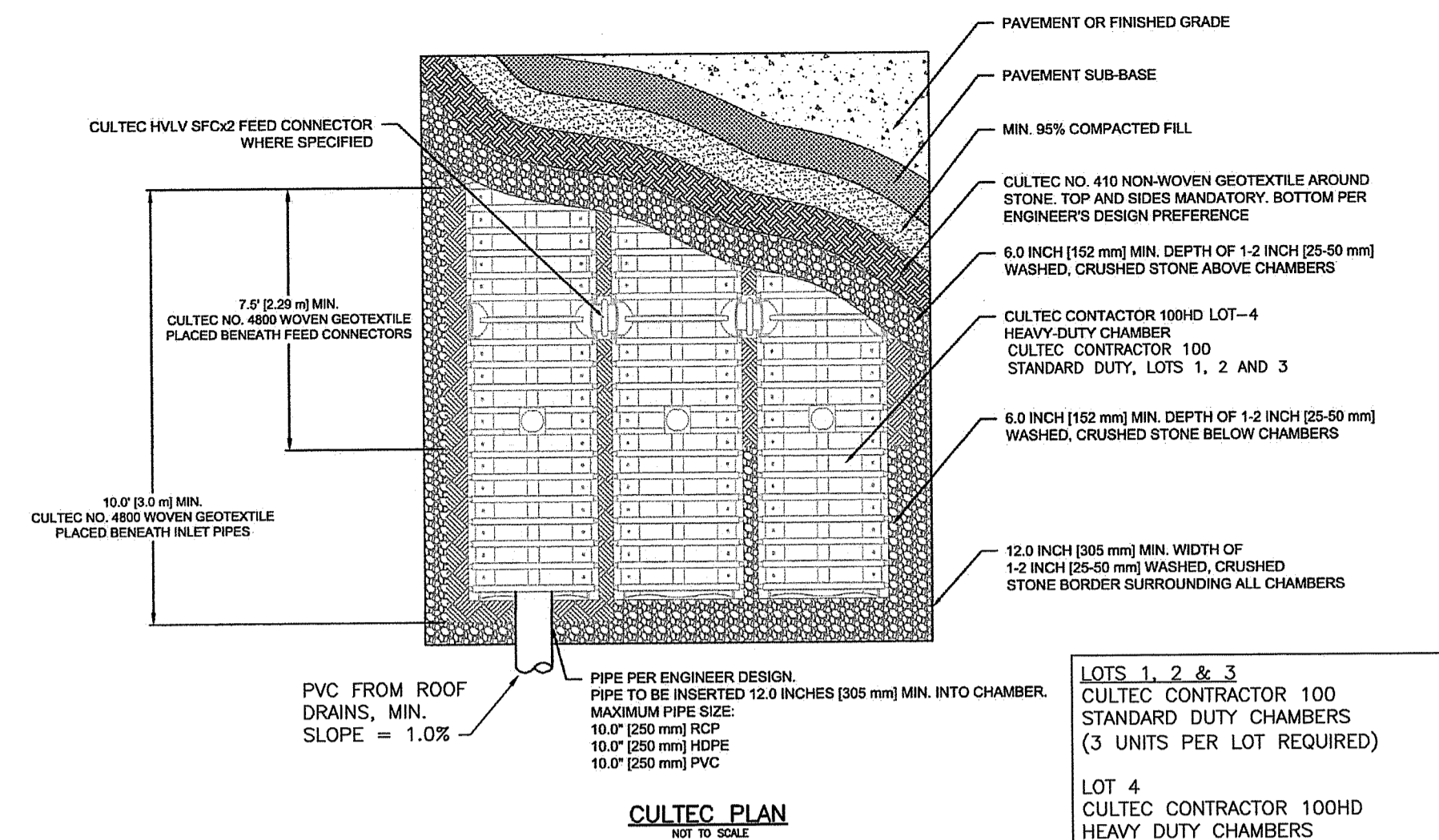
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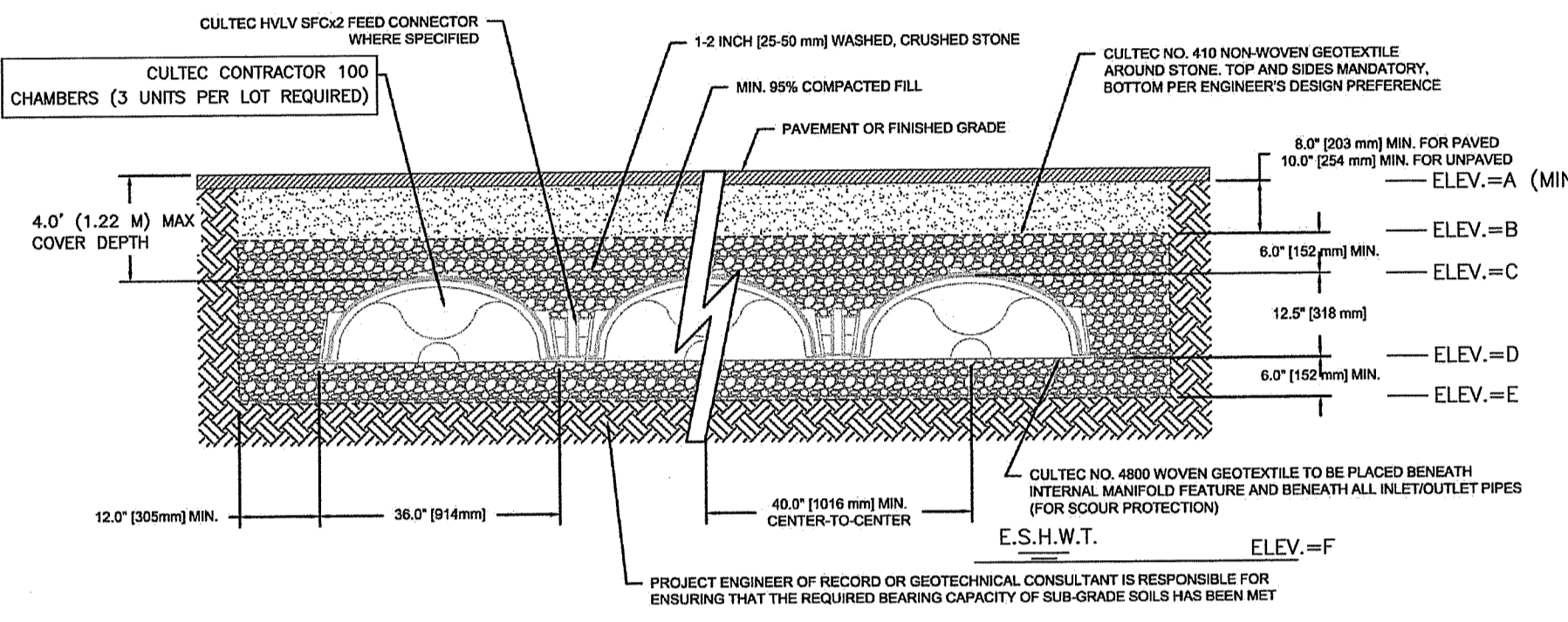
NOTES:
1. PROVIDE CAST IRON ROAD BOXES TO FINISH GRADE WITH 'SEWER' ON COVER
2. 18" DIAM. BY 6" THICK CONCRETE COLLARS WHEN CLEANOUTS ARE LOCATED IN TRAVEL WAYS.
3. BACKWATER VALVE (NOT SHOWN) TO BE LOCATED BETWEEN FOUNDATION AND CLEAN OUT.

SEWER DROP CONNECTION DETAIL

NOT TO SCALE



CULTEC PLAN

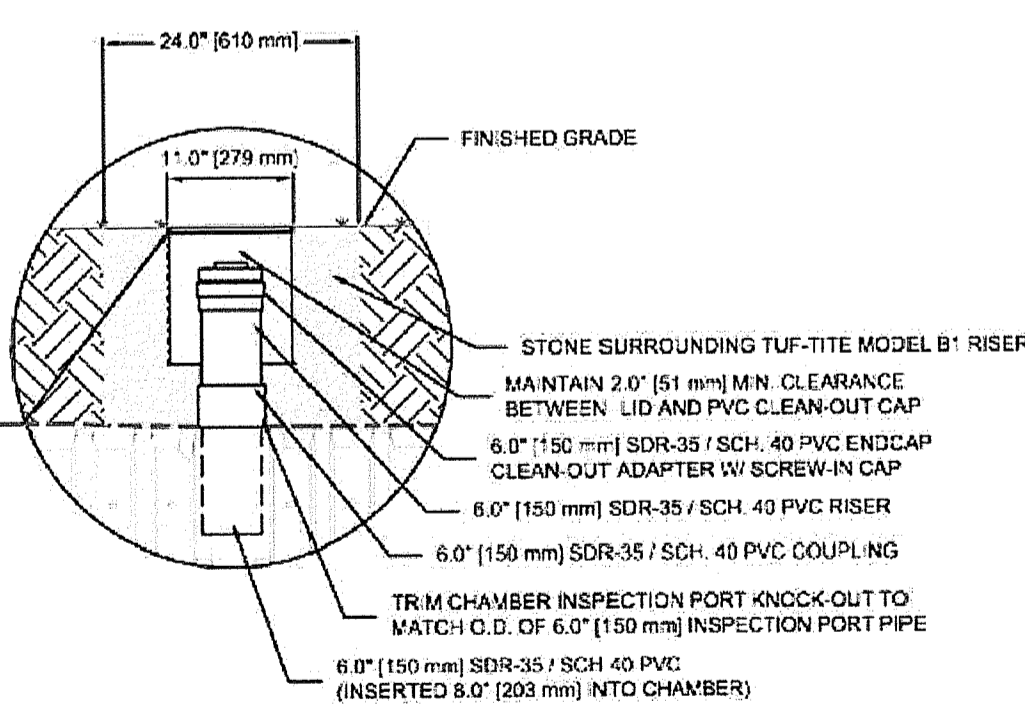


CULTEC SECTION

ROOF INFILTRATION SYSTEM DETAILS & NOTES

NOTE:
1. REMOVE ALL LEDGE WITHIN 5' OF BOTTOM OF SYSTEM, IF APPLICABLE.
2. KEEP CHAMBER FIELD AT LEAST 15' OFF SEPTIC DRAIN FIELD, 10' OFF BASEMENTS (UNLESS LOCATED BELOW SLAB ELEVATION) AND 50 FEET OFF WELLS.

LOT	A= MIN. COVER ELEV. (FT.)	B=TOP COVER STONE ELEV. (FT.)	C=TOP CHAMBER ELEV. (FT.)	D= BOTTOM CHAMBER (INLET) ELEV. (FT.)	E=BOTTOM STONE ELEV. (FT.)	F= ESHGW ELEV. (FT.)
LOT-1	144.07	143.24	142.74	141.70	140.70	135.00
LOT-2	139.37	138.54	138.04	137.00	136.00	132.00
LOT-3	136.27	135.44	134.94	133.90	132.90	126.50
LOT-4	134.97	134.14	133.64	132.60	131.60	128.00



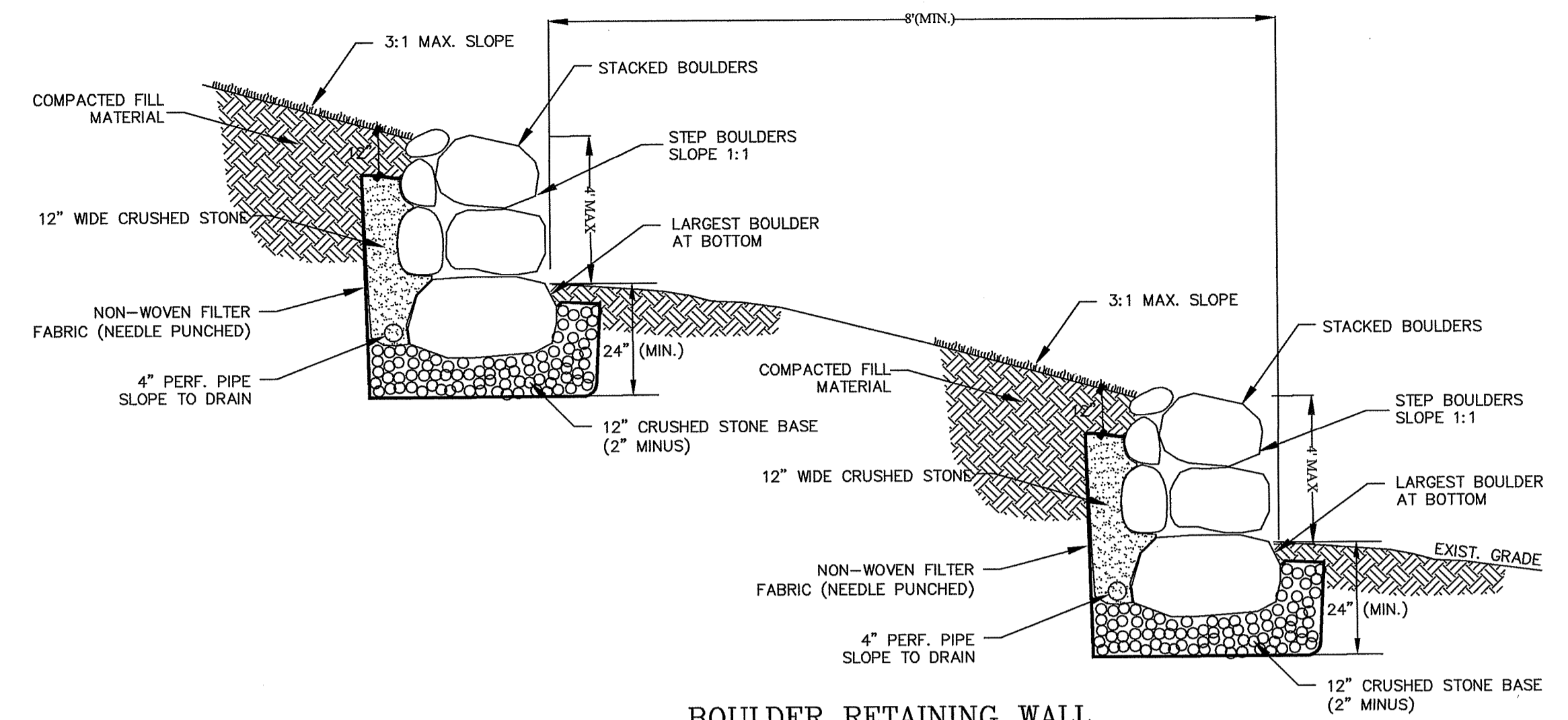
CULTEC INSPECTION PORT DETAIL

CULTEC SYSTEM NOTES:

- ALL WORK PERFORMED IN ACCORDANCE WITH CULTEC RECOMMENDATIONS.
- CULTEC SYSTEM INSTALLATION MUST BE INSPECTED BY THE PROJECT ENGINEER.
- CULTEC SYSTEMS MAY BE SPLIT INTO TWO SYSTEMS EACH RECEIVING HALF OF THE ROOF AREA.
- INFILTRATION SYSTEM CHAMBERS SHALL BE CULTEC CONTRACTOR 100 UNITS.
- STONE AROUND INFILTRATORS SHALL BE WASHED, CRUSHED STONE.
- CULTEC SYSTEMS SHALL BE LOCATED 25' MIN. FROM OWI'S, 50' FROM WELLS AND 10' MIN. FROM BUILDINGS AND PROPERTY LINES. ALL PIPE UNDER DRIVEWAYS SHALL BE SDR35 PVC OR APPROVED. EQUAL AND BEDDED IN 2" CRUSHED STONE 8" MIN. AROUND PIPE.

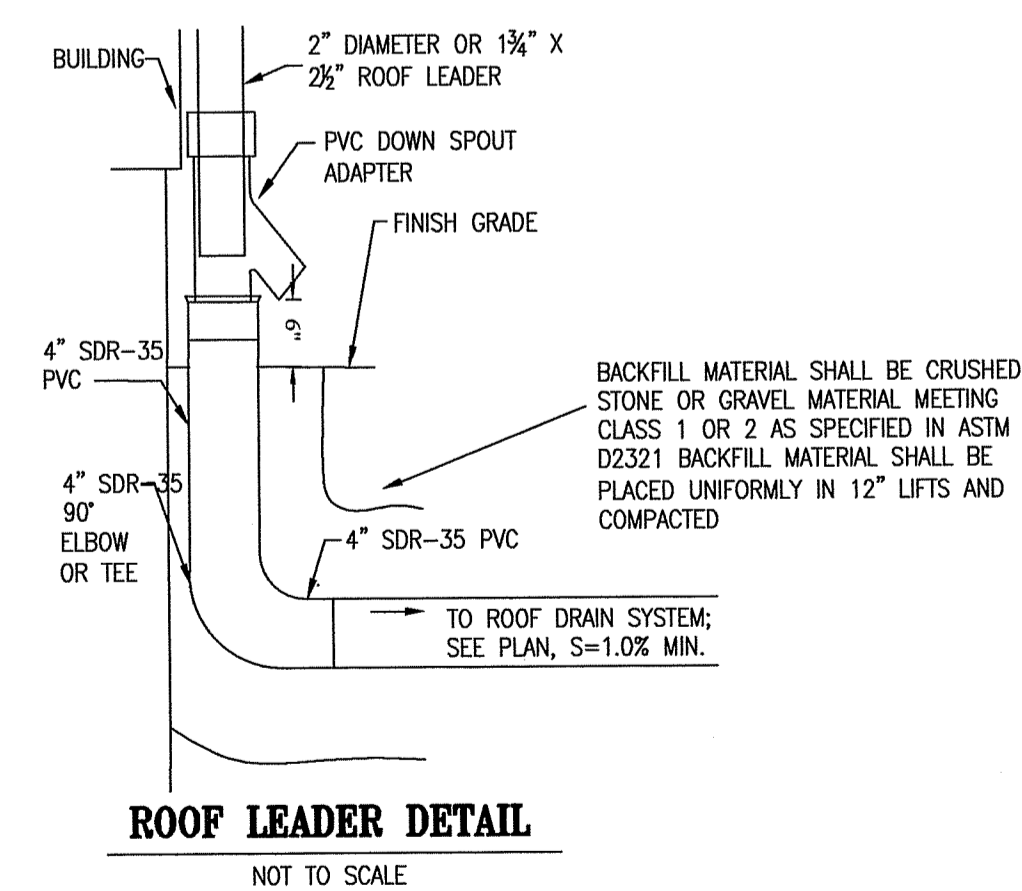
CULTEC SYSTEM MAINTENANCE NOTES:

- INFILTRATOR CHAMBERS SHALL BE PERIODICALLY INSPECTED AND MAINTAINED DURING CONSTRUCTION AND A MINIMUM OF TWICE PER YEAR UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL DRAINAGE FACILITIES, AS PER THEIR RESPECTIVE PROGRAMS, UNTIL FINAL ACCEPTANCE BY THE OWNER.
- UPON FINAL ACCEPTANCE, THE OWNER SHALL BE RESPONSIBLE FOR ALL DRAINAGE INSPECTION AND MAINTENANCE.
- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RIDEM-UC PROGRAM.
- ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF CONTAMINANTS TO THE DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE RIDEM WILL REQUIRE THE PROPERTY OWNER TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT THE QUALITY OF THE GROUNDWATER.
- VEHICLE TRAFFIC OVER THE SYSTEM IS NOT PERMITTED.



BOULDER RETAINING WALL

NOT TO SCALE



ROOF LEADER DETAIL

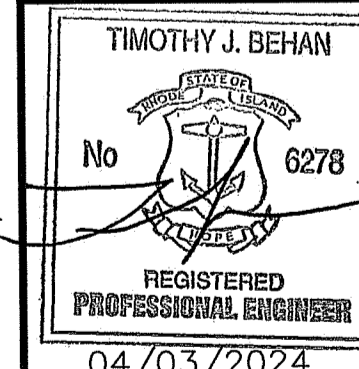
NOT TO SCALE

NOTE:
FOR PIPE BELOW A PAVED SURFACE: A MIN. OF 12" OF BACKFILL MATERIAL IS REQUIRED OVER THE TOP OF THE PIPE CROWN MEASURED FROM THE BOTTOM OF THE PAVEMENT. PIPE UNDER PAVEMENT SHALL BE SDR35 OR APPROVED EQUAL AND BEDDED IN 2" CRUSHED STONE, 8" MIN. AROUND PIPE.

PERMITTING PLAN SUBMISSION
NOT ISSUED FOR CONSTRUCTION

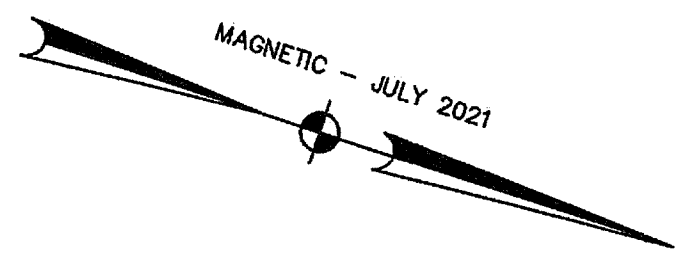
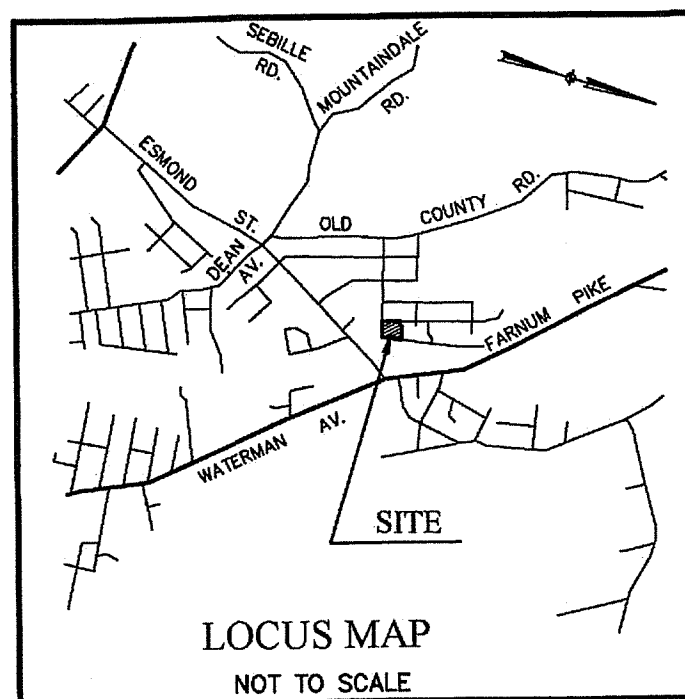
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN-06-2024 FILE #: 24-008
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OWNER/APPLICANT:
LA NONA CONSTRUCTION, LLC
154 CHAPIN STREET
PROVIDENCE, RHODE ISLAND 02909
CONTACT: JOSE SUAREZ
TELEPHONE: (401) 400-9090
EMAIL: csssconstructionri@gmail.com



FINAL APPLICATION PLAN
FOR
THE CAROLINA DEVELOPMENT
ON
A.P. 25, LOT 133
LELAND MOWRY DRIVE AND HILLSIDE STREET
SMITHFIELD, RHODE ISLAND
CONSTRUCTION DETAILS-2

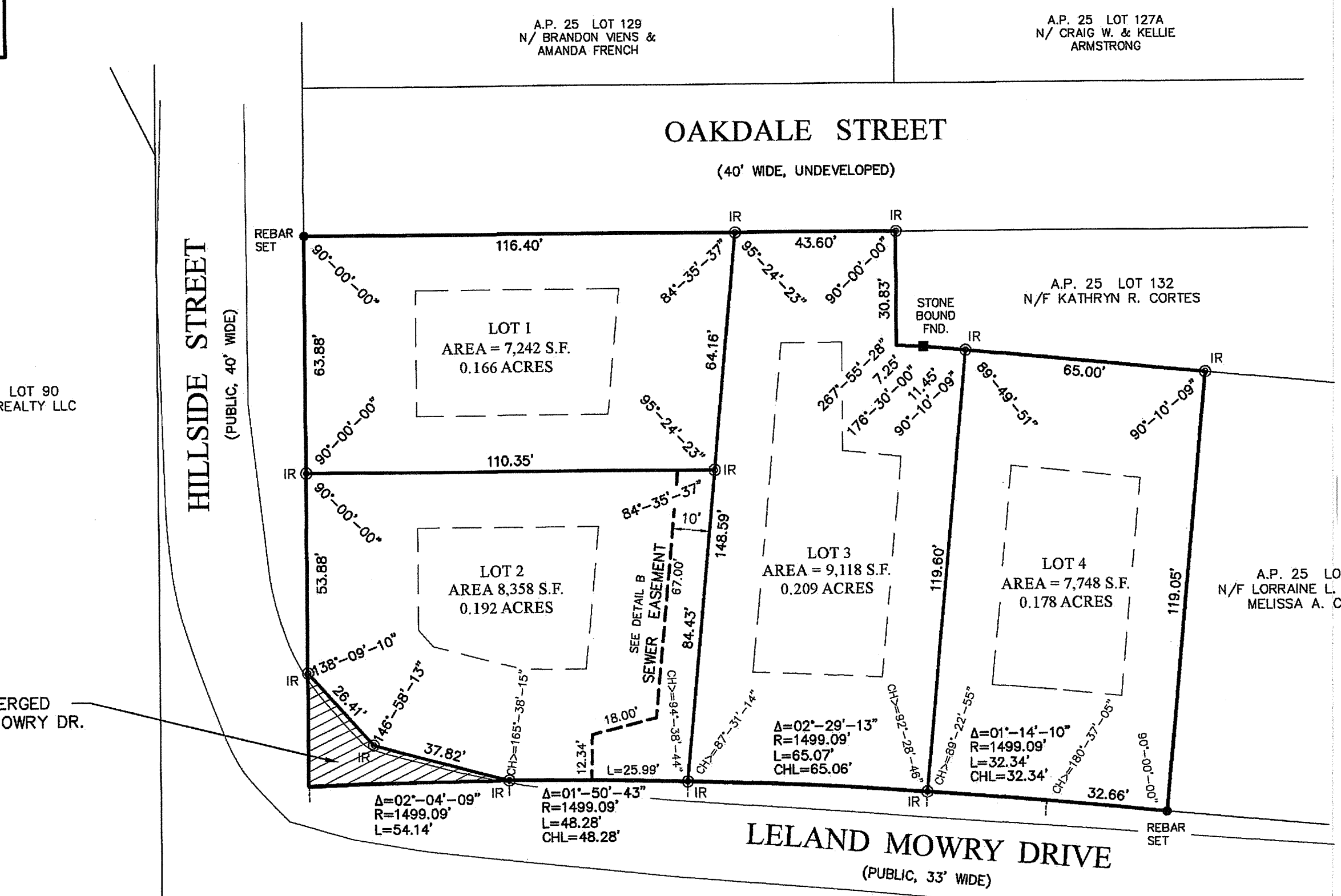
SCALE: AS SHOWN SHEET NO: 9 OF 9
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB
DATE: APRIL 2024 PROJECT NO 24007.00



ZONING R-20
 MINIMUMS:
 AREA 20,000 S.F.
 FRONTAGE 125'
 SETBACKS:
 FRONT 30'
 SIDE 15'
 REAR 30'

A.P. 25 LOT 90
 N/F NFM REALTY LLC

AREA TO BE MERGED
 WITH LELAND MOWRY DR.
 550 S.F.
 (SEE DETAIL A)



A.P. 25 LOT 138
 N/F NARRAGANSETT ELECTRIC CO.
 NATIONAL GRID

REFERENCE

PLAN ENTITLED: "ESMOND PARK PLAT NO. 1 SMITHFIELD, R.I. DATED SEPT., 1911, PREPARED BY J.A. LATHAM AND FILED ON PLAT CARD 32 IN THE TOWN OF SMITHFIELD.
 PLAN ENTITLED: "PINE HEIGHTS PLAT AT ESMOND SMITHFIELD R.I. BELONGING TO ANNA M. MILLER", DATED MARCH 1909, PREPARED BY S. MOWRY AND FIELD IN PLAN BOOK 2 ON PAGE 49 IN THE TOWN OF SMITHFIELD.

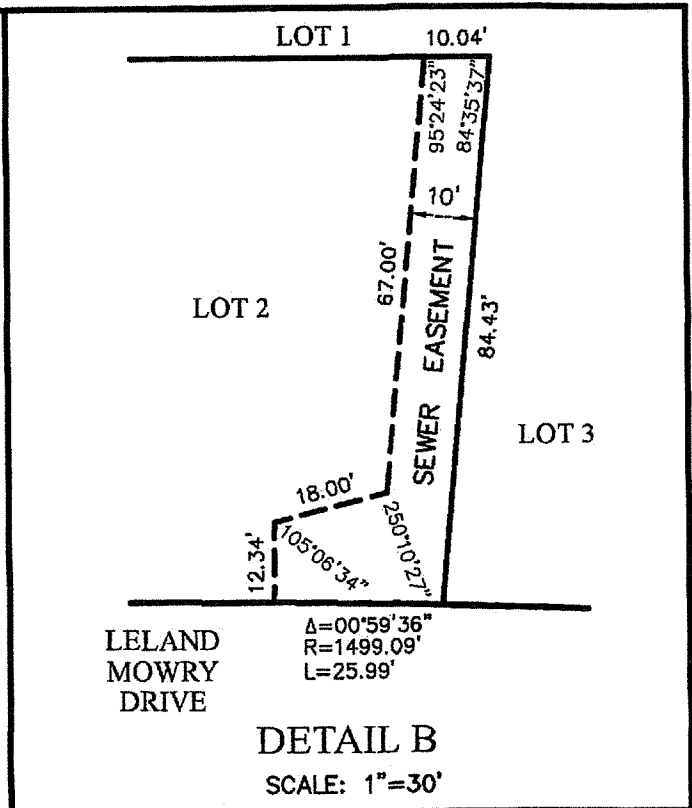
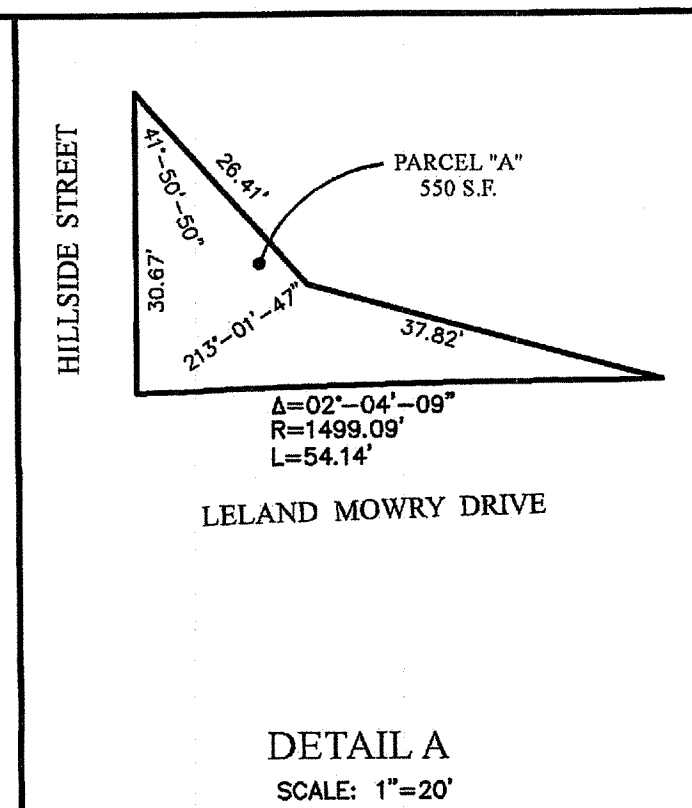
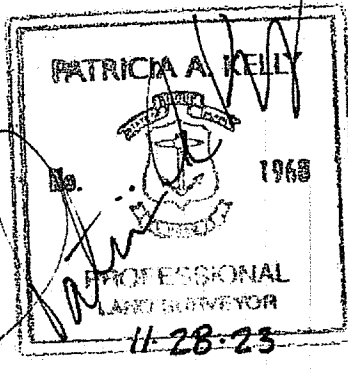
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 MINOR SUBDIVISION

BY: *Patricia A. Kelly* 11-28-23
 PATRICIA A. KELLY, PLS #1985 COA #A734 DATE



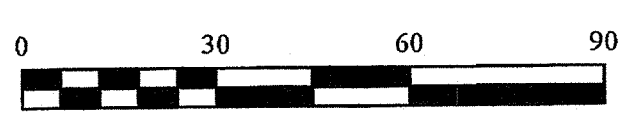
LEGEND

- ZONING SETBACK LIMIT ———
- STONE BOUND ———
- REBAR - SET ———
- PROPOSED REBAR ———
- DH
- REBAR
- ⊙ IR

NOTES

- 1) OWNER/APPLICANT: A.P. 25 LOT 133 HELPING HANDS COMMUNITY PARTNERS INC. 421 ELWOOD AVENUE PROVIDENCE, RI 02907
- 2) THE SUBJECT PARCEL LIES ENTIRELY WITHIN THE R-20 ZONING DISTRICT.
- 3) PARCEL DATA: TOTAL AREA = 32,816 S.F. EXISTING LOTS = 1 PROPOSED LOTS = 4 LENGTH OF NEW ROAD = 0 L.F.
- 4) THERE ARE NO KNOWN WETLANDS ON THE SUBJECT PROPERTY.
- 5) THIS PARCEL IS TO BE SERVICED BY MUNICIPAL WATER AND SEWER LINES.
- 6) THIS SITE DOES NOT LIE WITHIN A RIDEM NATURAL HERITAGE AREA OR ZONING OVERLAY DISTRICT.
- 7) THE SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 44007C0169H, EFFECTIVE DATE OCTOBER 2, 2015.
- 8) THIS PROJECT IS NOT TIED INTO THE TOWN OF SMITHFIELD'S HORIZONTAL AND VERTICAL CONTROL NETWORKS.

STREET INDEX:
 LELAND MOWRY DRIVE
 HILLSIDE STREET
 OAKDALE STREET



NO.	REVISION	DATE	BY
1	REVISED TO FINAL	11/28/23	

**FINAL - MINOR SUBDIVISION
 LOT LAYOUT - RECORD PLAN**

HELPING HANDS COMMUNITY PARTNERS INC.
 LELAND MOWRY DRIVE & HILLSIDE STREET
 SMITHFIELD, RI
 A.P. 25 LOT 133

KELLY LAND SERVICES, INC.
 kellylandservices@gmail.com
 LAND SURVEYING - SUBDIVISIONS - SEPTIC DESIGNS - SOIL EVALUATIONS

97 BUCKS WAY TIVERTON, RI 02878 401-293-0535	DATE: 08/11/22 SCALE: 1"=30'
PO BOX 278 GREENVILLE, RI 02828 401-232-2620	SHEET NO: 1 OF 1 PROJ. NO: 210703-L1