

GENERAL NOTES

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT Q, LOT 101 IN THE TOWN OF NARRAGANSETT, WASHINGTON COUNTY, RHODE ISLAND.
2. THE OWNER PER DEED BOOK 742, PAGE 273 IS 250 SCRABBLETOWN ROAD, LLC.
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090202J, MAP REVISED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED R-10 AND R-40 BASED ON THE TOWN OF NARRAGANSETT ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 19, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITYATIVE FIELD SURVEY MAY DISCLOSE.
10. WETLAND LOCATIONS SHOWN BASED INFORMATION PROVIDED BY NATURAL RESOURCES SERVICES, INC.

PLAN REFERENCES

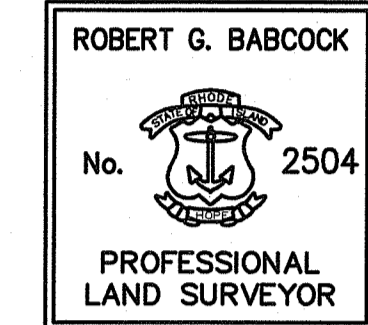
1. WINCHECK ESTATES, NARRAGANSETT, RHODE ISLAND, ASSESSOR'S PLAT Q, LOTS 17, 18 & 30, SCALE 1"=40', DATED DECEMBER 1, 1987, PLAN BY NARRAGANSETT ENGINEERING INC., RECORDED IN PLAT BOOK 9 ON PAGES 11-13.
2. REPLAT, ASSESSOR'S PLAT Q LOTS 17-2, 17-3, & 17-4, NARRAGANSETT, R.I., SCALE 1"=50', DATED SEPTEMBER, 1994, PLAN BY JAMES R. LAWLESS, RECORDED IN PLAT BOOK 10, PAGE 30.
3. PROPOSED ADMINISTRATIVE SUBDIVISION PLAN, LAWRENCE T. & CYNTHIA A. GOSS, PROPERTY LOCATED AT WESTMORELAND ST., NARRAGANSETT, RI, PLAT Q LOT 30-6 AND 17-4, SCALE 1"=40', DATED JUNE 7, 2001, PLAN BY JAMES P. LAWLESS, R.L.S., RECORDED IN PLAT BOOK 12 ON PAGE 2.
4. PROPOSED ADMINISTRATIVE SUBDIVISION PLAN FOR CYNTHIA A. GOSS, PROPERTY LOCATED AT WESTMORELAND ST., NARRAGANSETT, RI, SCALE 1"=40', DATED JULY 12, 2001, PLAN BY JAMES P. LAWLESS, R.L.S., RECORDED IN PLAT BOOK 12 ON PAGE 4.

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY (PERIMETER) CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT.



Robert G. Babcock
 6/16/22
 ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

UTILITY NOTES

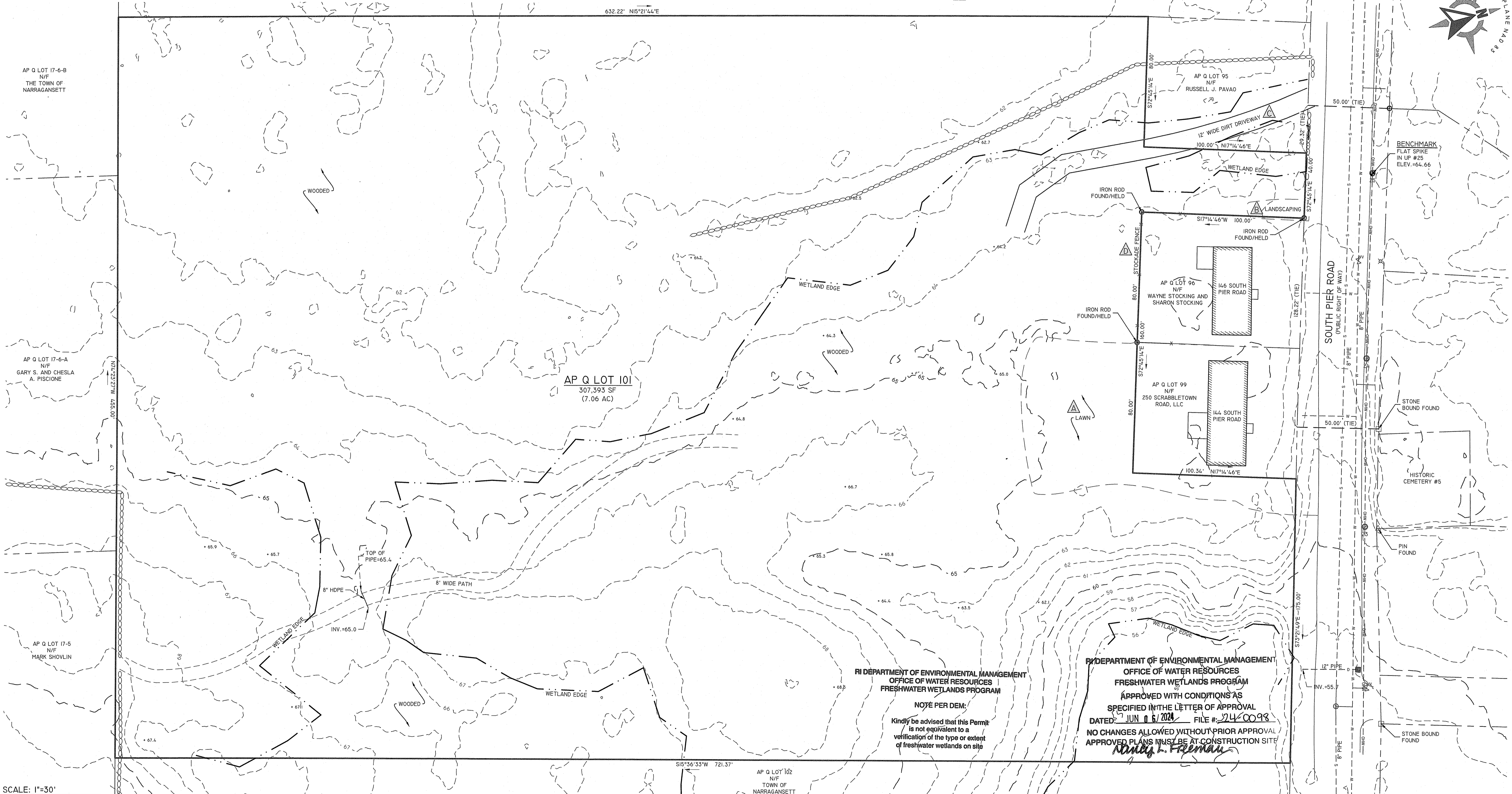
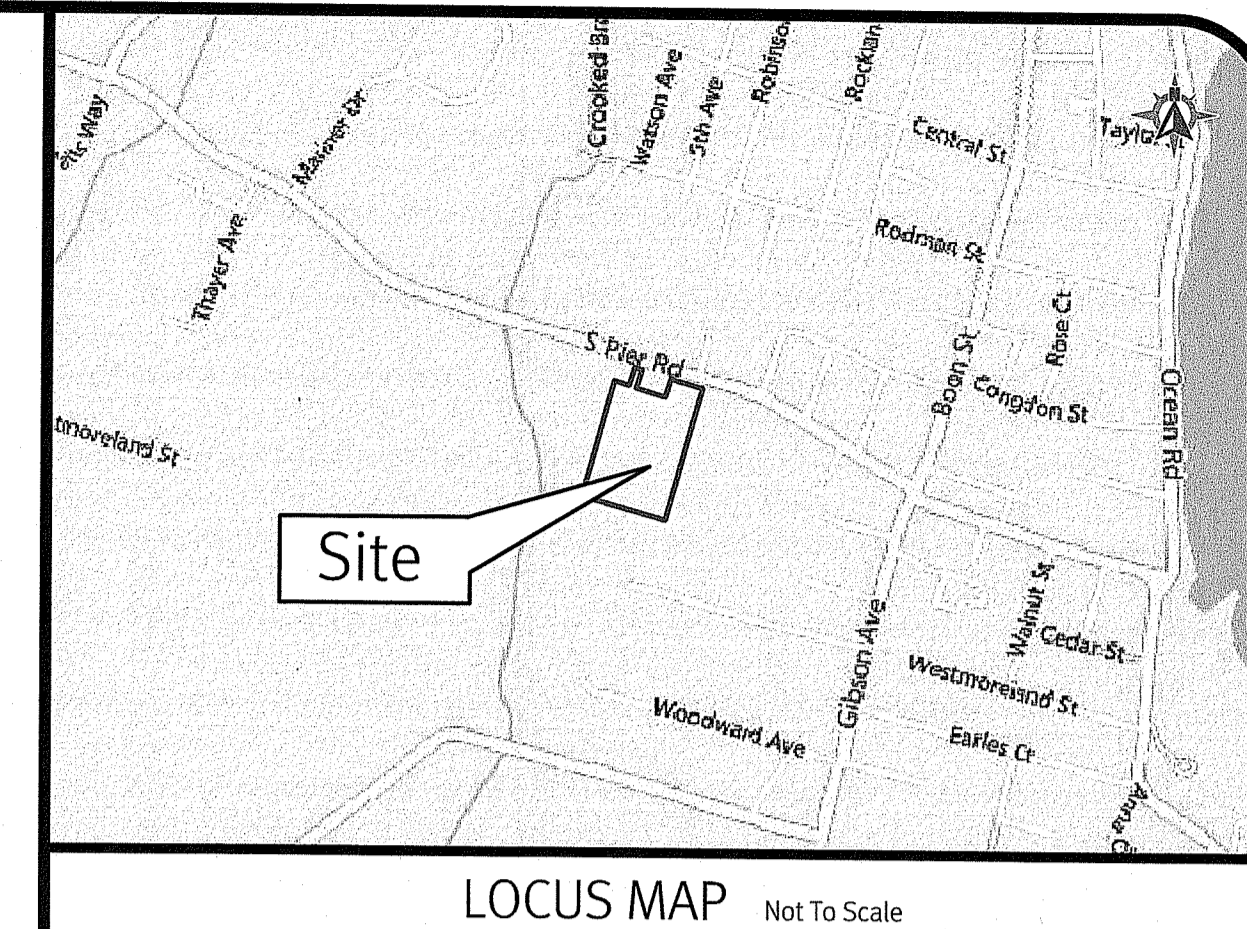
1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CVAJSC STANDARD 36-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES
 - 5.1. WATER INFORMATION OBTAINED FROM VIOLA.
 - 5.2. SEWER INFORMATION OBTAINED FROM THE TOWN OF NARRAGANSETT.
 - 5.3. GAS INFORMATION NOT RECEIVED AT THE TIME OF THE SURVEY.
 - 5.4. DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

LEGEND

--- W ---	WATER LINE	123/1234	DEED BOOK/PAGE	○	BOLLARD
--- S ---	SEWER LINE	AP	ASSESSOR'S PLAT	□	SOIL EVALUATION
--- SPH ---	SEWER FORCE MAIN	HC	HANDICAPPED	□	CATCH BASIN
--- G ---	GAS LINE	N/F	NOW OR FORMERLY	□	DOUBLE CATCH BASIN
--- E ---	ELECTRIC LINE	LC	LANDSCAPING	□	WATER VALVE
--- OWH ---	OVERHEAD WIRES	(R)	RECORD	□	GAS VALVE
--- D ---	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	WETLAND FLAG
--- 1 ---	MINOR CONTOUR LINE	△	NAIL/SPIKE	○	DRAINAGE MANHOLE
--- 5 ---	MAJOR CONTOUR LINE	○	DRILL HOLE	⊥	FLARED END SECTION
---	PROPERTY LINE	○	IRON ROD/PIPE	○	GUY POLE
---	ASSESSORS LINE	○	BOUND	○	ELECTRIC MANHOLE
---	TREELINE	○	SIGN POST	○	UP LIGHT/POWER POLE
---	GUARDRAIL	○	SEWER MANHOLE	○	LIGHTPOST
---	FENCE	○	SEWER CLEANOUT	○	WELL
---	RETAINING WALL	○	IRRIGATION VALVE	○	MONITORING WELL
---	STONE WALL	○	UNKNOWN MANHOLE	○	BENCH MARK
				○	TREE

LIST OF POSSIBLE ENCROACHMENTS

- ▲ LAWN OVER PROPERTY LINE
- ▲ LANDSCAPING OVER PROPERTY LINE
- ▲ DIRT DRIVEWAY OVER PROPERTY LINE
- ▲ STOCKADE FENCE 0.2' OVER PROPERTY LINE



SCALE: 1"=30'
 0 15' 30' 60'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: JUN 16 2024 FILE # 24-0098
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Douglas J. Freeman

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

RI Environmental Management
 MAY 30 2024
 Office of Water Resources

EXISTING CONDITIONS PLAN
 SOUTH PIER ROAD
 ASSESSOR'S PLAT Q, LOT 101
 NARRAGANSETT, RHODE ISLAND
 PREPARED FOR:
PASCACK BUILDERS, INC.
 145 CHASEY NORTH WASHINGTON, RI 02852
 TEL (401) 398-1200 FAX (401) 398-1291

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- WETLAND EDGE FLAGGED BY NATURAL RESOURCES SERVICES, INC ON 4/19/21, 4/20/21, & 12/21/21.

- THE SITE IS NOT WITHIN A:
 - NATURAL HERITAGE AREA (RIDEM)
 - SPECIAL AREA MANAGEMENT PLAN (CRMC)
 - GROUNDWATER PROTECTION OVERLAY DISTRICT
 - WELLHEAD PROTECTION AREA
 - GROUNDWATER RECHARGE AREA
 - TMDL WATERSHED (RIDEM)
 - DRINKING WATER SUPPLY WATERSHED (RIDEM)
 - NATIONAL REGISTER OF HISTORIC PLACES
- THE SITE IS WITHIN A:
 - OWTS CRITICAL RESOURCE AREA (RIDEM)
 - NARRAGANSETT HIGH WATER TABLE SOILS OVERLAY DISTRICT (ZONE A AND ZONE B)
 - NARRAGANSETT COASTAL AND FRESHWATER WETLANDS OVERLAY DISTRICT
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.rhodeisland.gov/business/contractorsandconsultants.php).
- THE SITE IS SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET SECTION 7.7 OF THE NARRAGANSETT ZONING ORDINANCE WITH THE USE OF RAIN GARDENS AND A STONE TRENCH. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- EXISTING SITE FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED ON THESE PLANS.
- CONTRACTOR TO NOTIFY DESIGN ENGINEER WITH ANY DISCREPANCIES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- ANY DAMAGE TO PRIVATE PROPERTY CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO COMPLY WITH ALL APPLICABLE EROSION CONTROL REQUIREMENTS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS SHALL MEET THE R.I. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

PLAN REFERENCES

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DENSITY CALCULATIONS:

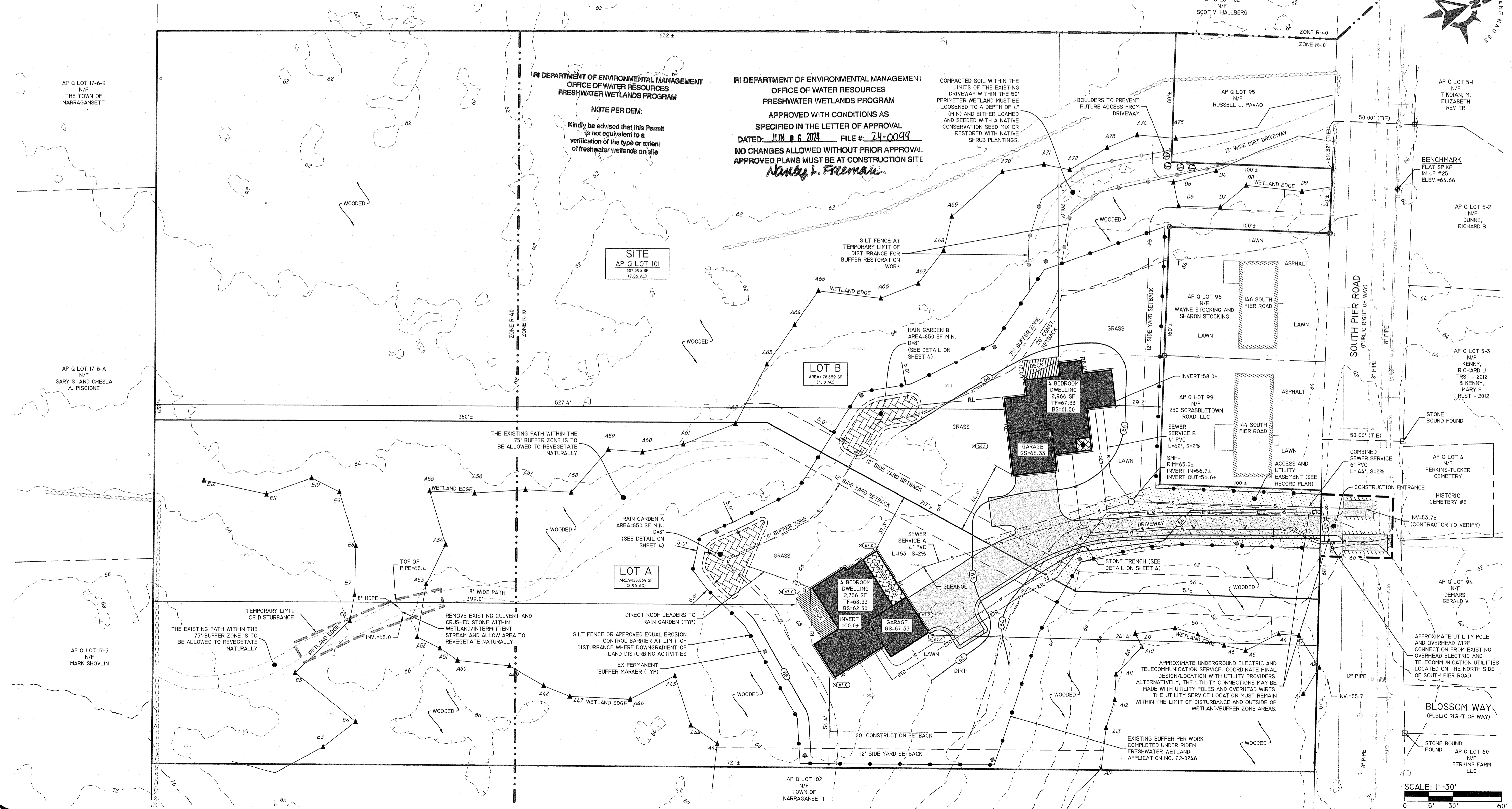
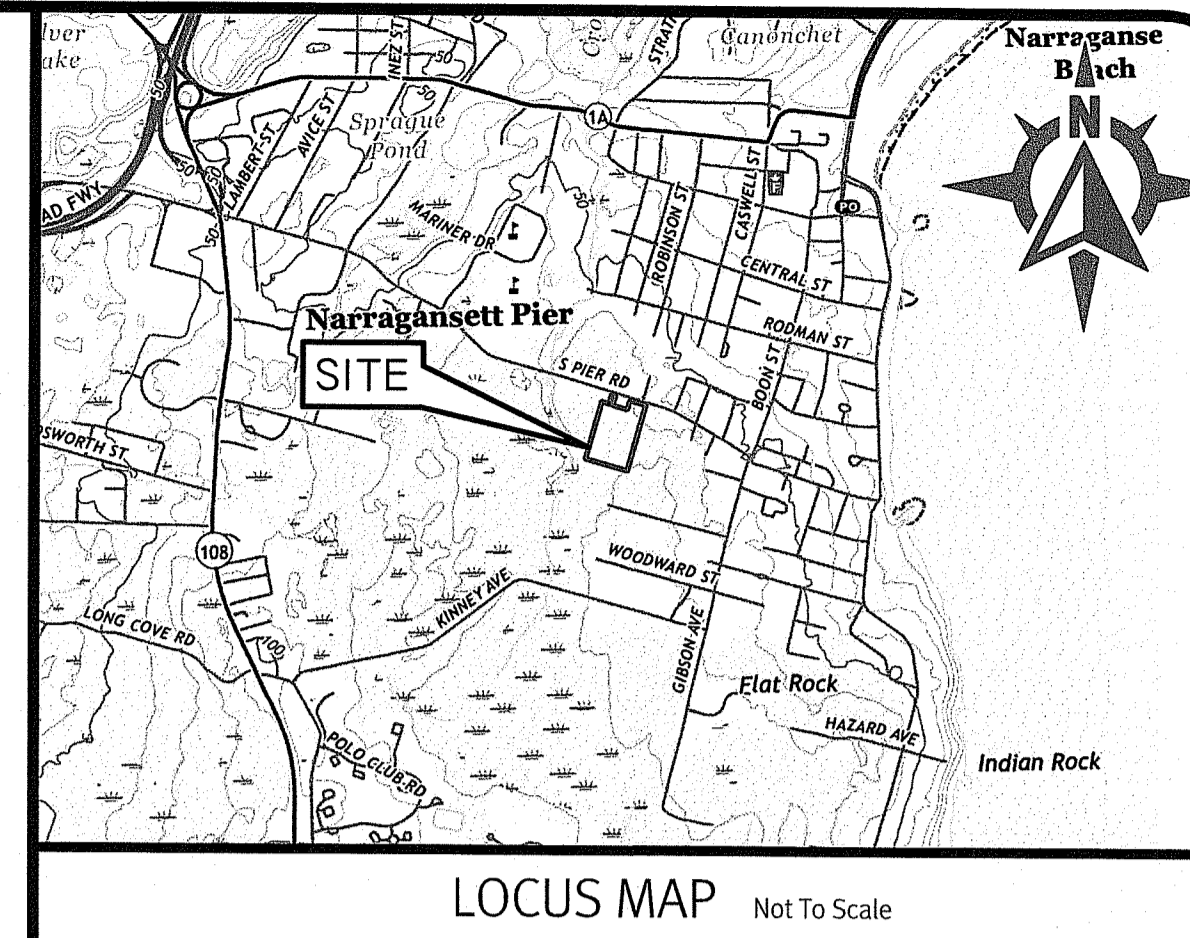
TOTAL SITE AREA (WITHIN R-10 ZONE):	= 204,910 SF
TOTAL UNSUITABLE LAND (WETLANDS WITHIN R-10 ZONE):	= 87,557 SF
TOTAL SUITABLE LAND REMAINING	= 117,353 SF (204,910 SF - 87,557 SF)
MINIMUM LOT AREA = 10,000 SF	
117,353 / 10,000 = 11.74 = 11 LOTS ALLOWED	
TOTAL LOTS PROPOSED = 2	

LEGEND

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---	GAS LINE	N/F	NOW OR FORMERLY	⊗	DOUBLE CATCH BASIN
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---	ASSESSORS LINE	⊙	BOUND	⊗	ELECTRIC MANHOLE
---	TREELINE	⊙	SIGN POST	⊗	UTILITY/POWER POLE
---	GUARDRAIL	⊙	SEWER MANHOLE	⊗	LIGHTPOST
---	FENCE	⊙	SEWER CLEANOUT	⊗	WELL
---	RETAINING WALL	⊙	HYDRANT	⊗	MONITORING WELL
---	STONE WALL	⊙	IRRIGATION VALVE	⊗	BENCH MARK
				⊗	TREE

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	R-10	REQUIRED	PROVIDED
MINIMUM LOT AREA:	10,000 SF	107'	307,393 SF
MINIMUM FRONTAGE AND LOT WIDTH:	100'	107'	241.4'
MINIMUM FRONT AND CORNER SIDE YARD:	29'	12'	37.3'
MINIMUM SIDE YARD:	12'	12'	399.0'
MINIMUM REAR YARD:	24'	30'	≤ 35'
MAXIMUM STRUCTURE HEIGHT:	30'	25%	≤ 25%
MAXIMUM LOT COVERAGE:	25%		



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 06 2024 FILE #: 24-0049
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-949-1000 Fax: 401-949-6000 www.diprete-eng.com

Boston • Providence • Newport

JASON P. CLOUGH
No. 10101
REGISTERED PROFESSIONAL ENGINEER
CIVIL

RI Environmental Management
MAY 30 2024
Office of Water Resources

THIS PLAN SET WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING FILE BLOCK SHIPPED BY REGISTERED PROFESSIONAL ENGINEER. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND COSTS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER PARTIES.

DESIGN: J.P.C. DATE: 05-19-2024
CHECKED: J.P.C. DATE: 05-19-2024
DATE: 05-19-2024
NO. 10101
BY: J.P.C.
DESIGN BY: S.D.M.

SITE LAYOUT PLAN
SOUTH PIER ROAD
NARRAGANSETT, RHODE ISLAND
PREPARED FOR:
250 SCRABBLETOWN ROAD, LLC c/o JOHN MAHONEY
300 TUNK HILL ROAD, HOPE, RI 02831

SCALE: 1"=30'
0 15' 30' 60'

SHEET 3 OF 4

ESTABLISHMENT OF VEGETATIVE COVER

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	60

- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
UPLAND BENTGRASS	1.0
CREeping BENTGRASS	8.0
BIG BLUESTEM	1.0
NEW ENGLAND ASTER	1.0
FOX SEDGE	8.0
VIRGINIA WILD RYE	28.0
BONASET	1.0
GRASS LEAVED GOLDENROD	1.0
CREeping RED FESCUE	24.0
SOFT RUSH	0.5
SENSITIVE FERN	1.0
SWITCH GRASS	8.0
LITTLE BLUESTEM	15.0
GREEN BULLRUSH	1.0
WOOL GRASS	0.5
BLUE VERVAIN	1.0

- THE GENERAL PURPOSE SEED MIX SHALL BE COMPRISED URI #2 OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	40
IMPROVED PERENNIAL RYE GRASS	20
IMPROVED KENTUCKY BLUEGRASS	30
KENTUCKY BLUEGRASS	10

- EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING THE APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULANTS FOR EACH VARIETY.
- TEMPORARY TREATMENTS SHALL CONSIST OF STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY STRAW MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS S150 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL SILT FENCE OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION PART 200.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
- ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

MAINTENANCE: SHORT TERM / LONG TERM

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL SILT FENCE, TEMPORARY TREATMENTS (STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND/OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DRAINAGE BMPs DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE DRAINAGE BMPs SHALL BE INSPECTED/MAINTAINED AS DETAILED BELOW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRIP DRAIN APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.
 - DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE. FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED AT A MINIMUM, ANNUALLY.
 - IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMPs FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
 - THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
 - AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
 - THE RESPONSIBLE PARTY FOR THE STORMWATER MANAGEMENT PROGRAM IS THE OWNER OF THE SITE. THE FUNDING FOR THE STORMWATER MANAGEMENT PROGRAM IS BY THE OWNER. IF THE PROPERTY IS SOLD, THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PROGRAM WILL BE TRANSFERRED TO THE NEW OWNER.

THE FOLLOWING MAINTENANCE PROCEDURES MUST BE FOLLOWED FOR THE STONE INFILTRATION TRENCHES:

- INFILTRATION PRACTICES SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
- ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE INFILTRATION PRACTICE ANNUALLY.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE CONTRACTOR'S MAINTENANCE/INSPECTION RESPONSIBILITIES SHALL INCLUDE REPLACING THE STONE WITHIN THE STONE TRENCH IF STORMWATER REMAINS IN THE STONE TRENCH LONGER THAN 48 HOURS. THE CONTRACTOR SHALL INSPECT THE STONE TRENCH AFTER EACH STORM GREATER THAN 0.5 INCHES AND REPAIR AS NECESSARY. THE OWNER SHALL INSPECT THE STONE TRENCH SEMIANNUALLY AND AFTER RAIN FILL EVENTS GREATER THAN ONE INCH. IF REPAIRS ARE NEEDED, THEY SHALL BE CARRIED OUT IMMEDIATELY. REPAIRS ARE NECESSARY IF STORMWATER REMAINS IN THE STONE TRENCH LONGER THAN 48 HOURS.

THE FOLLOWING MAINTENANCE PROCEDURES MUST BE FOLLOWED FOR THE RAIN GARDEN:

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OR AT LEAST 1.0 INCH TO INSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING, PLANT GROWTH, AND SURVIVAL. PLANTS SHALL BE REPLACED ON AS-NEEDED BASIS DURING THE GROWING SEASON.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SCI) ON SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE SUMMER 2024 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMPs (STONE TRENCHES AND/OR OTHER DRAINAGE FEATURES), DRAIN LINES, AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (SILT FENCE OR APPROVED EQUAL) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. PLACE BARRIERS AROUND VEGETATED SWALE. NO CONSTRUCTION TRAFFIC IS PERMITTED IN THESE AREAS.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN DEMOLITION AND CLEARING AND GRUBBING IN AREA OF THE BUILDINGS, DRAINAGE BMPs, AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND STRUCTURES.
- BEGIN CONSTRUCTION OF DRAINAGE BMPs.
- ONCE THE SITE IS STABILIZED THE DRAINAGE BMPs AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

STRUCTURAL MEASURES

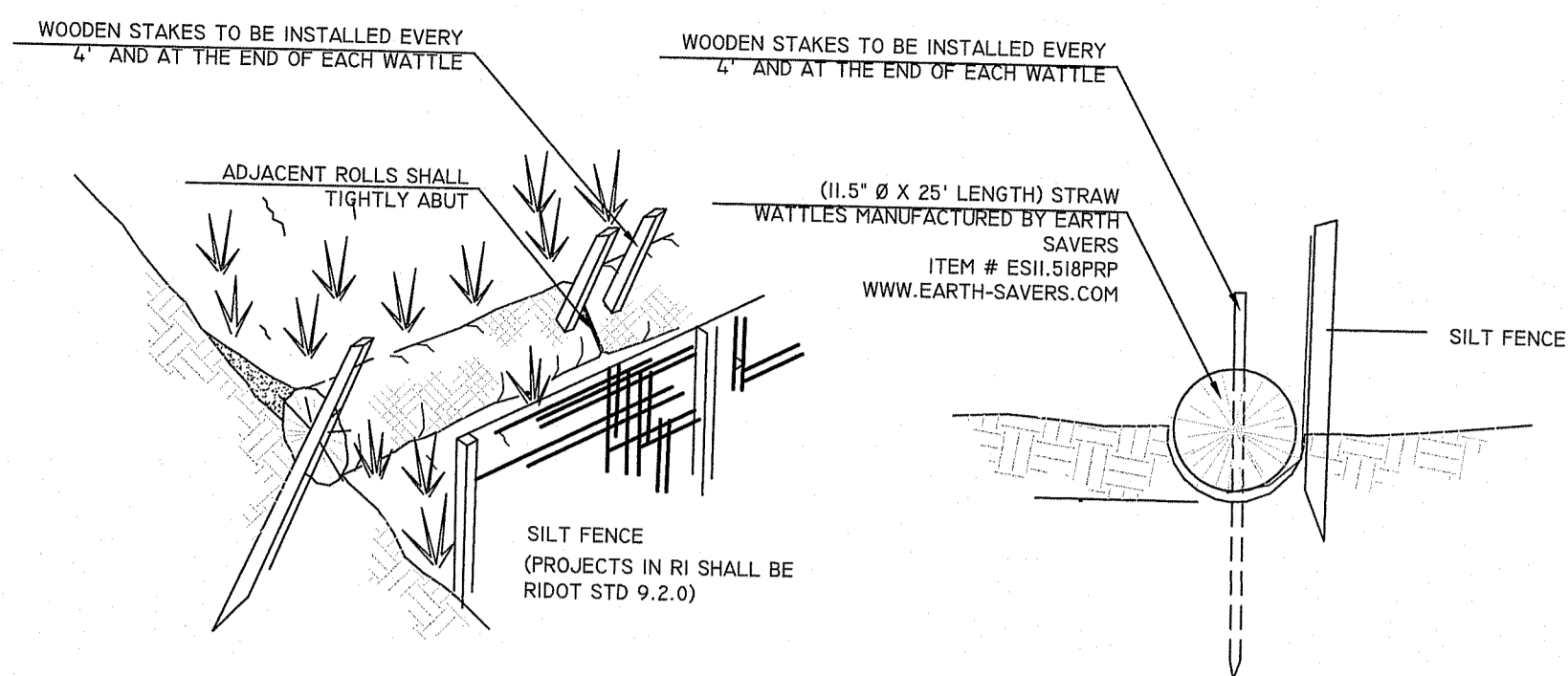
- RUNOFF WATER QUALITY IS IMPROVED UTILIZING TWO RAIN GARDENS AND A STONE TRENCH. CONSTRUCTION OF THE BMPs SHALL BE SUPERVISED BY THE PROJECT ENGINEER.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- IF NECESSARY TEMPORARY BERMS AND / OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION TRAPS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORMWATER.
- THE RAIN GARDENS AND STONE TRENCH AREAS ARE NOT TO BE USED AS SEDIMENTATION TRAPS DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY) TO PREVENT CONSTRUCTION. THE CONTRACTOR SHALL CONSTRUCT ANY SEDIMENTATION TRAPS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURES IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.
- INSTALL ROOF LEADERS TO DIRECT STORMWATER TOWARDS THE RAIN GARDENS.

NON-STRUCTURAL MEASURES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND TOWN REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, REVISED 2014, AS A GUIDE.

UTILITY NOTES

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CI/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST EDITION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITIES NOT SHOWN ON THESE DOCUMENTS, CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UTILITY PLAN REFERENCES
 - WATER INFORMATION OBTAINED FROM VIOLA.
 - SEWER INFORMATION OBTAINED FROM THE TOWN OF NARRAGANSETT.
 - GAS INFORMATION NOT RECEIVED AT THE TIME OF THE SURVEY.
 - DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

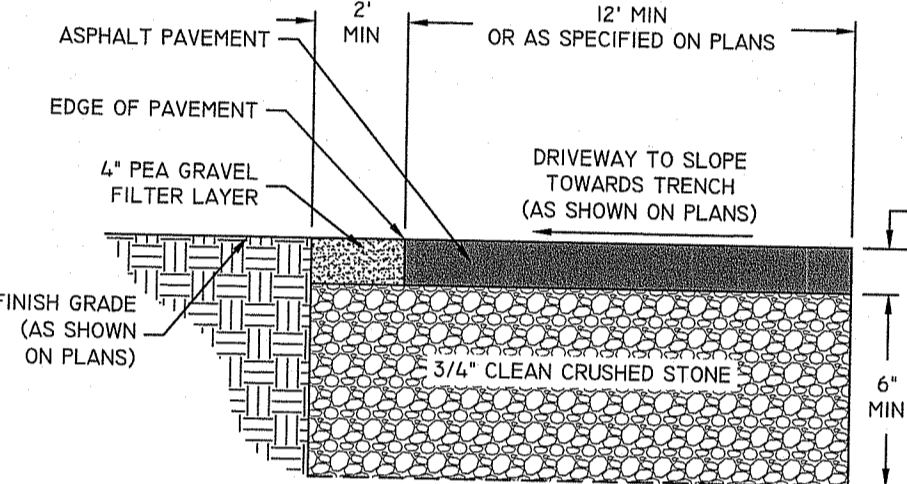


- NOTES:**
- EROSION CONTROL BARRIER TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
 - FOR SOFT SOILS, DIG A 3 TO 5 INCH TRENCH FOR HARD SOILS, DIG A 2 TO 3 INCH TRENCH.
 - INSTALL WOOD STAKES FOR EVERY 4' (MAX) OF STRAW WATTLE, AS WELL AS ADDITIONAL WOOD STAKE ON EACH END OF EACH STRAW WATTLE.
 - MINIMUM WOOD STAKE DIMENSIONS TO BE 1"x2"x2' (SOFT SOIL) AND 1"x2"x18" (HARD SOIL).

Silt Fence/Straw Wattle Sediment Barrier

NOT TO SCALE

NOTE: CONTRACTOR TO GRADE DRIVEWAY AWAY FROM ALL STRUCTURE FOUNDATIONS AND TOWARDS STONE TRENCH



TYPICAL DRIVEWAY PAVEMENT AND STONE TRENCH CROSS SECTION

NOT TO SCALE

SIZING NOTE:
I. RAIN GARDENS SIZED USING TABLE 7 OF THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT

SIZING DATA
SOIL CONDITIONS: SANDY
RAIN GARDEN DEPTH: 8 INCHES

RAIN GARDEN SIZING CALCULATION (RAIN GARDEN A):

TOTAL IMPERVIOUS AREA = 3,096 SF
RAIN GARDEN SIZING RATIO = 80 SF (RAIN GARDEN SURFACE AREA) / 1,000 SF (IMPERVIOUS SURFACE AREA) = X SF
1,000 SF = 3,096 SF = 248 SF TOTAL RAIN GARDENS REQUIRED

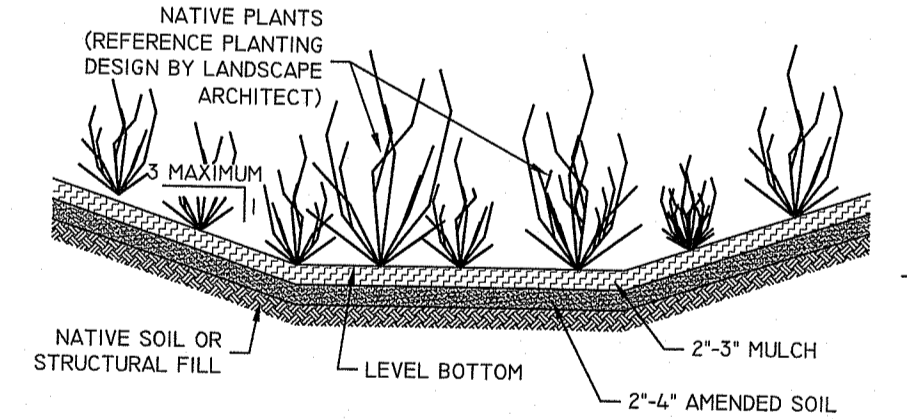
RAIN GARDEN A AREA PROVIDED = 850 SF*

RAIN GARDEN SIZING CALCULATION (RAIN GARDEN B):

TOTAL IMPERVIOUS AREA = 3,038 SF
RAIN GARDEN SIZING RATIO = 80 SF (RAIN GARDEN SURFACE AREA) / 1,000 SF (IMPERVIOUS SURFACE AREA) = X SF
1,000 SF = 3,038 SF = 244 SF TOTAL RAIN GARDENS REQUIRED

RAIN GARDEN B AREA PROVIDED = 850 SF*

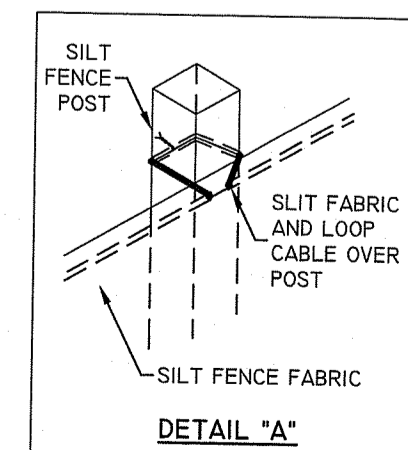
*RAIN GARDENS ARE OVSIZED TO MEET TOWN OF NARRAGANSETT SECTION 7.7 ZONING REQUIREMENTS FOR A 25-YEAR DESIGN STORM



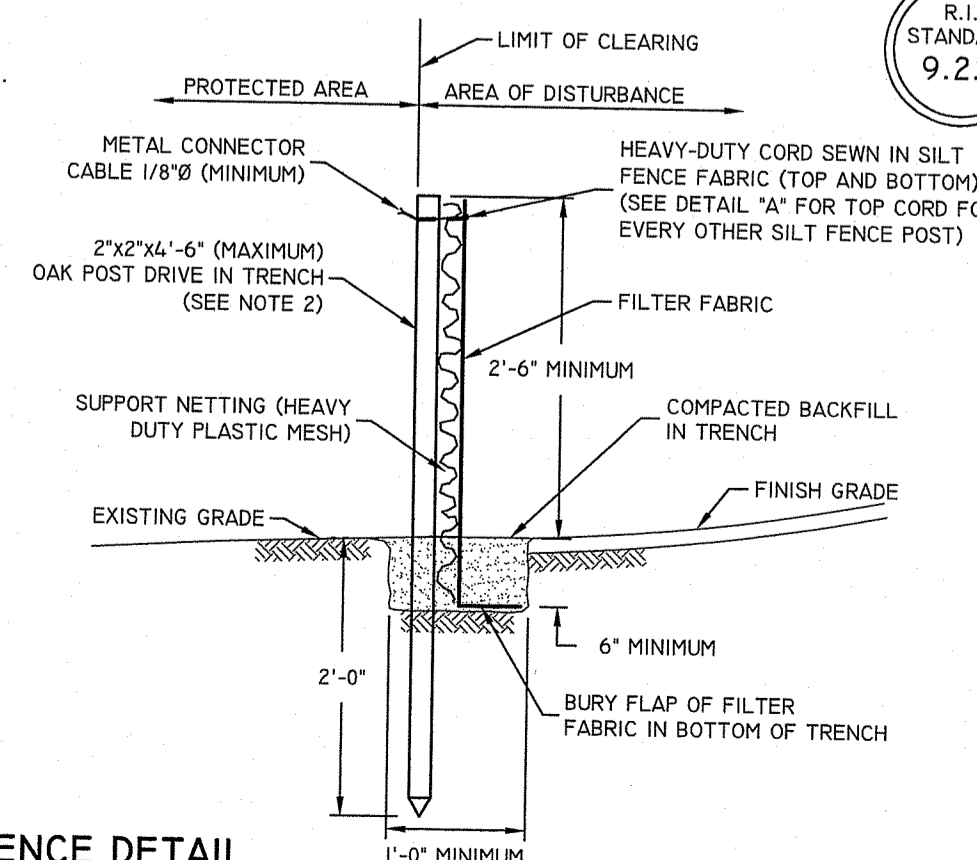
RAIN GARDEN CROSS SECTION

NOT TO SCALE

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVINE. GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



DETAIL "A"



SILT FENCE DETAIL

NOT TO SCALE

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM**

NOTE PER DEM:

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM**

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: JUN 06 2024 FILE #: 24-0098
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Johny L. Freeman

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-943-6006 www.diprete-eng.com
Boston • Providence • Newport

JASON P. CLOUGH
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

RI Environmental Management
Office of Water Resources
MAY 30 2024

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION BARRIERS UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
METHODS, SAFETY, AND PRECAUTIONS REQUIRED BY THIS PLAN AND ANY OTHER PLANS IN THE IMPLEMENTATION OF THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

NO.	DATE	DESCRIPTION	BY:
1	05-29-2024	DESIGN RESPONSE TO COMMENTS	S.D.M.
2	05-29-2024	RESPONSE TO COMMENTS	S.D.M.
3	05-29-2024	RESPONSE TO COMMENTS	S.D.M.
4	05-29-2024	RESPONSE TO COMMENTS	S.D.M.
5	05-29-2024	RESPONSE TO COMMENTS	S.D.M.

DESIGN BY: S.D.M.

Detail Sheet
SOUTH PIER ROAD
ASSESSOR'S PLAT 0 LOT 01
NARRAGANSETT, RHODE ISLAND
PREPARED FOR:
250 SCARBLETOWN ROAD, LLC C/O JOHN MAHONEY
300 TUNK HILL ROAD, HOPE, RI 02831