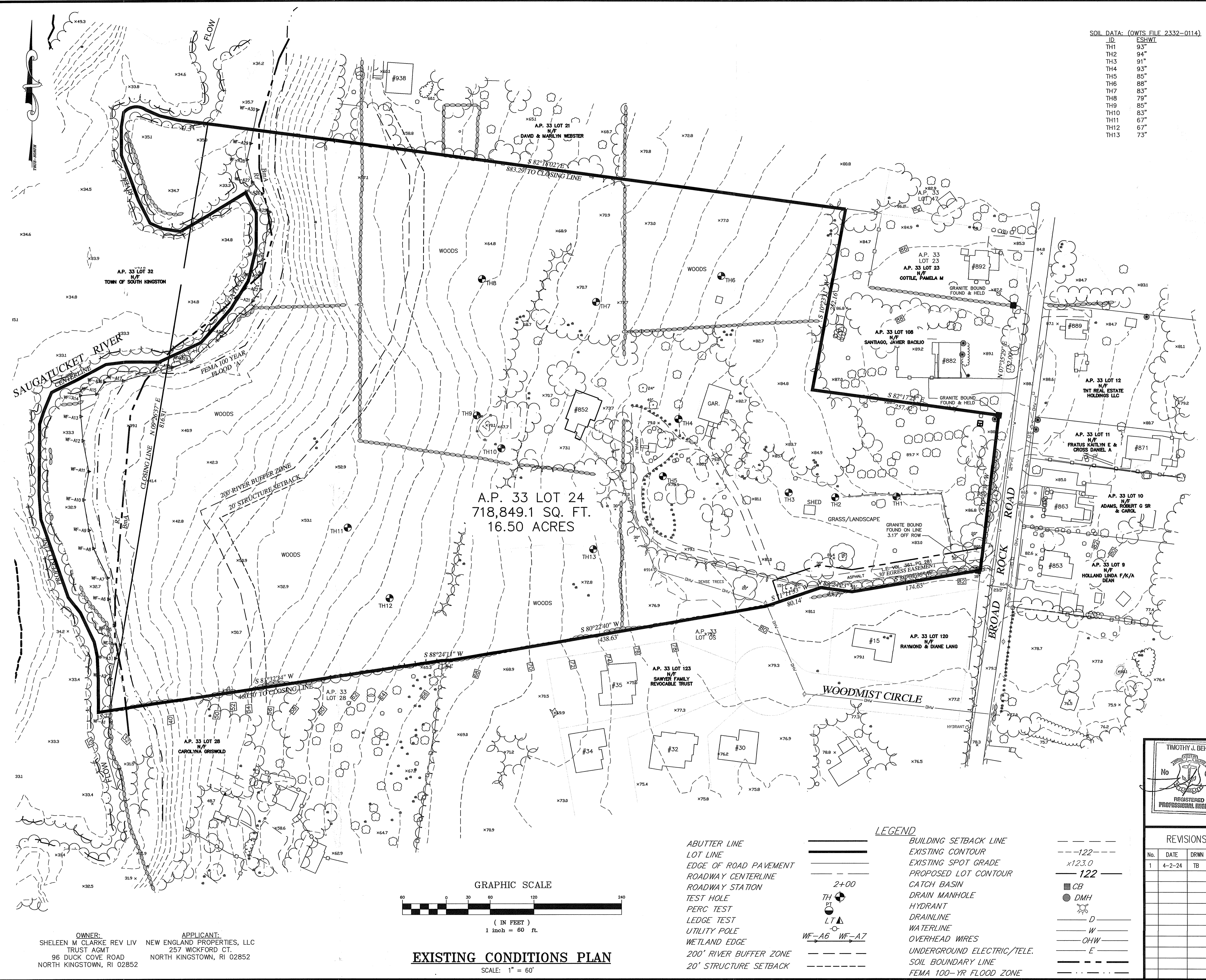
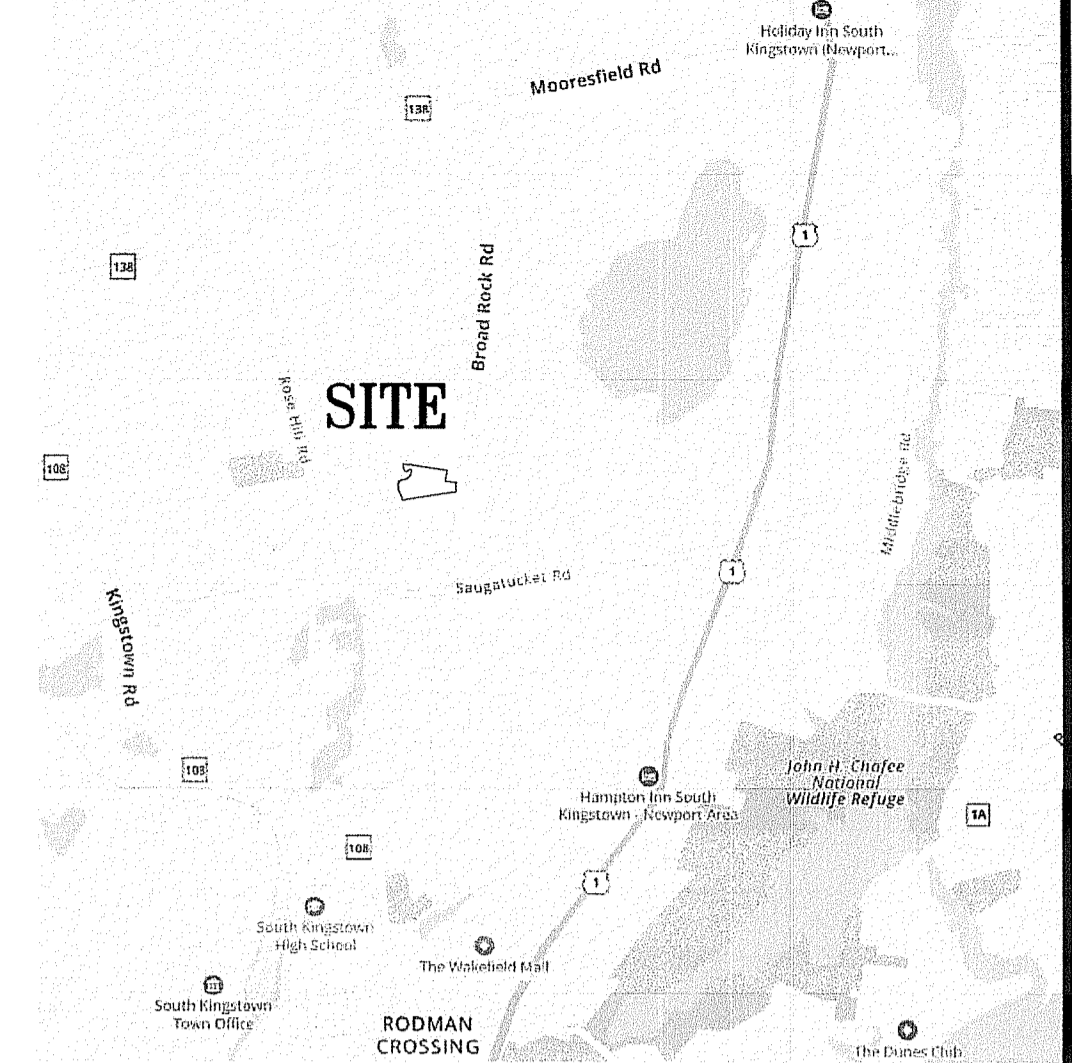


Bio Copy



SOIL DATA: (OWTS FILE 2332-0114)

ID	ESHW
TH1	93"
TH2	94"
TH3	91"
TH4	93"
TH5	85"
TH6	88"
TH7	83"
TH8	79"
TH9	85"
TH10	83"
TH11	67"
TH12	67"
TH13	73"



LOCUS MAP
NOT TO SCALE

- NOTES:
1. WETLAND FLAGS DELINEATED BY AVIZINIS ENVIRONMENTAL SERVICES, INC. 2022.
 2. OFF SITE BUILDING LOCATIONS ARE APPROXIMATE AND HAVE BEEN TAKEN FROM AERIAL PHOTOGRAPHY.
 3. ELEVATIONS BASED ON NAVD88 VERTICAL DATUM.
 4. A SMALL PORTION OF SUBJECT SITE IS SITUATED IN FEMA 100-YR FLOOD ZONE 'A' AS DEPICTED ON MAP 44009C0201J, EFFECTIVE 4/3/2020. THE REMAINING PORTION OF THE SITE IS SITUATED IN ZONE 'X' WHICH IS AREA OF MINIMAL FLOOD HAZARD.
 5. THERE ARE NO EXISTING ACTIVE AREAS OF AGRICULTURAL USE.
 6. THE Bm SOIL TYPE IS CONSIDERED A 'PRIME AGRICULTURAL SOIL'.
 7. SUBJECT SITE LIES IN THE 'SAUGATUCKET RIVER' SUB WATERSHED. THERE ARE NO BOUNDARY LINE IN SUBJECT SITE OR IN THE IMMEDIATE AREA.
 8. THERE ARE NO KNOWN ROCK OUTCROPPINGS, CLIFFS OR COASTAL FEATURES ON SUBJECT SITE.
 9. THERE ARE NO KNOWN STREETS, DRIVEWAYS, FARM ROADS, WOOD ROADS AND/OR TRAILS THAT HAVE BEEN IN PUBLIC USE.
 10. THERE ARE NO KNOWN CEMETERIES OR IMMEDIATELY ADJACENT TO SUBJECT PROPERTY.
 11. THERE ARE NO KNOWN UNIQUE NATURAL FEATURES ON SUBJECT SITE.
 12. SUBJECT SITE IS SITUATED IN A NATURAL HERITAGE AREA AND TMDL WATERSHED AND IS NOT SITUATED IN A SAMP PLAN AREA, S.K. GROUND WATER PROTECTION OVERLAY DISTRICT, RIDEM OWTS CRITICAL RESOURCE AREA, AND DRINKING WATER SUPPLY WATERSHED.
 13. SUBJECT PARCEL AND STRUCTURES IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
 14. THIS IS NOT A SURVEY BOUNDARY PLAN, REFER TO SURVEY PLAN AT THE REAR OF THE PLAN SET. SURVEY INFORMATION PROVIDED BY COMMONWEALTH LAND SURVEYORS, INC.

- SURVEY NOTE:
1. THIS IS NOT A SURVEY BOUNDARY PLAN, REFER TO SURVEY PLAN AT THE REAR OF THE PLAN SET. SURVEY INFORMATION PROVIDED BY COMMONWEALTH LAND SURVEYORS, INC.

DRAWING ISSUE:

- CONCEPT
- CUSTOMER APPROVAL
- PERMITTING
- CONSTRUCTION
- AS-BUILT
- OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION
MAY 14 2024
Division of Water Resources

TIMOTHY J. BEHAM
No. 6278
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

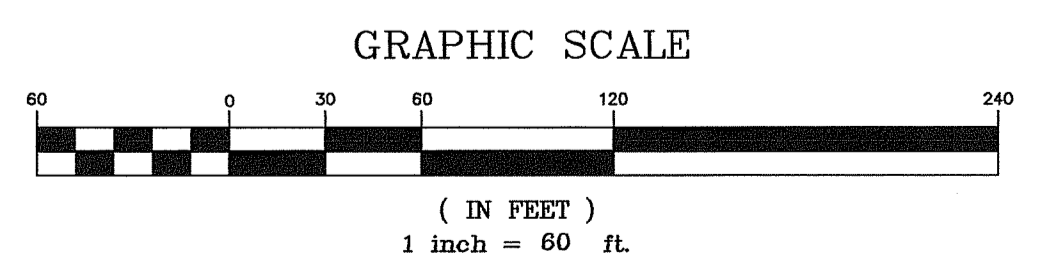
No.	DATE	DRWN	CHKD
1	4-2-24	TB	TB

VILLAGE AT BROAD ROCK
for
PLAT 33, LOT 24
ZONED R-40
in
SOUTH KINGSTOWN, RHODE ISLAND
EXISTING CONDITIONS PLAN

SCALE: 1"=60'
DRAWN BY: TB DESIGN BY: TB CHECKED BY: TB
DATE: 2/28/24 SHEET NO: 1 of 1 PROJECT NO.: 23011.00

- LEGEND**
- ABUTTER LINE
 - LOT LINE
 - EDGE OF ROAD PAVEMENT
 - ROADWAY CENTERLINE
 - ROADWAY STATION
 - TEST HOLE
 - PERC TEST
 - LEDGE TEST
 - UTILITY POLE
 - WETLAND EDGE
 - 200' RIVER BUFFER ZONE
 - 20' STRUCTURE SETBACK

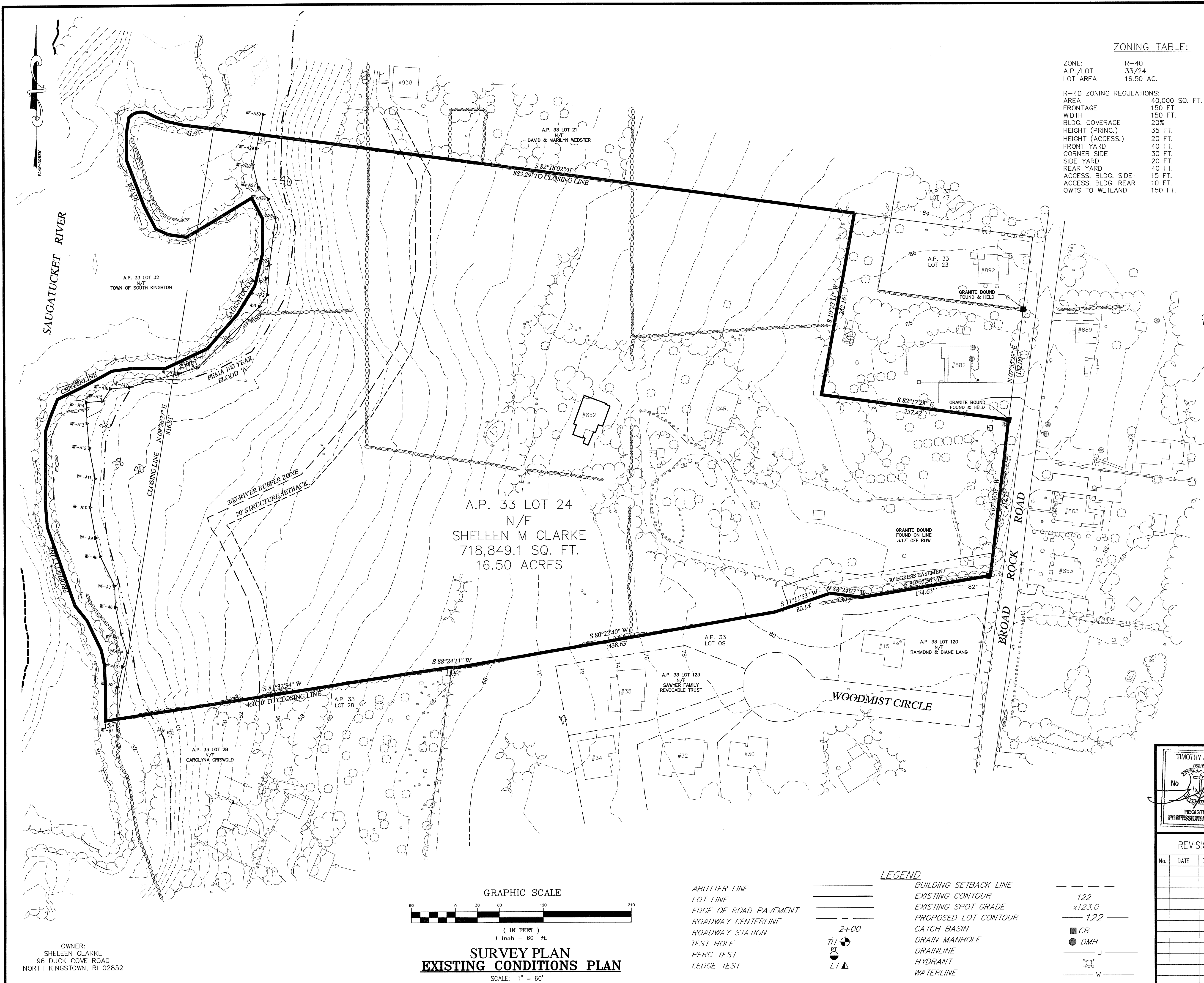
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- PROPOSED LOT CONTOUR
- CATCH BASIN
- DRAIN MANHOLE
- HYDRANT
- DRAINLINE
- WATERLINE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC/TELE.
- SOIL BOUNDARY LINE
- FEMA 100-YR FLOOD ZONE



EXISTING CONDITIONS PLAN
SCALE: 1" = 60'

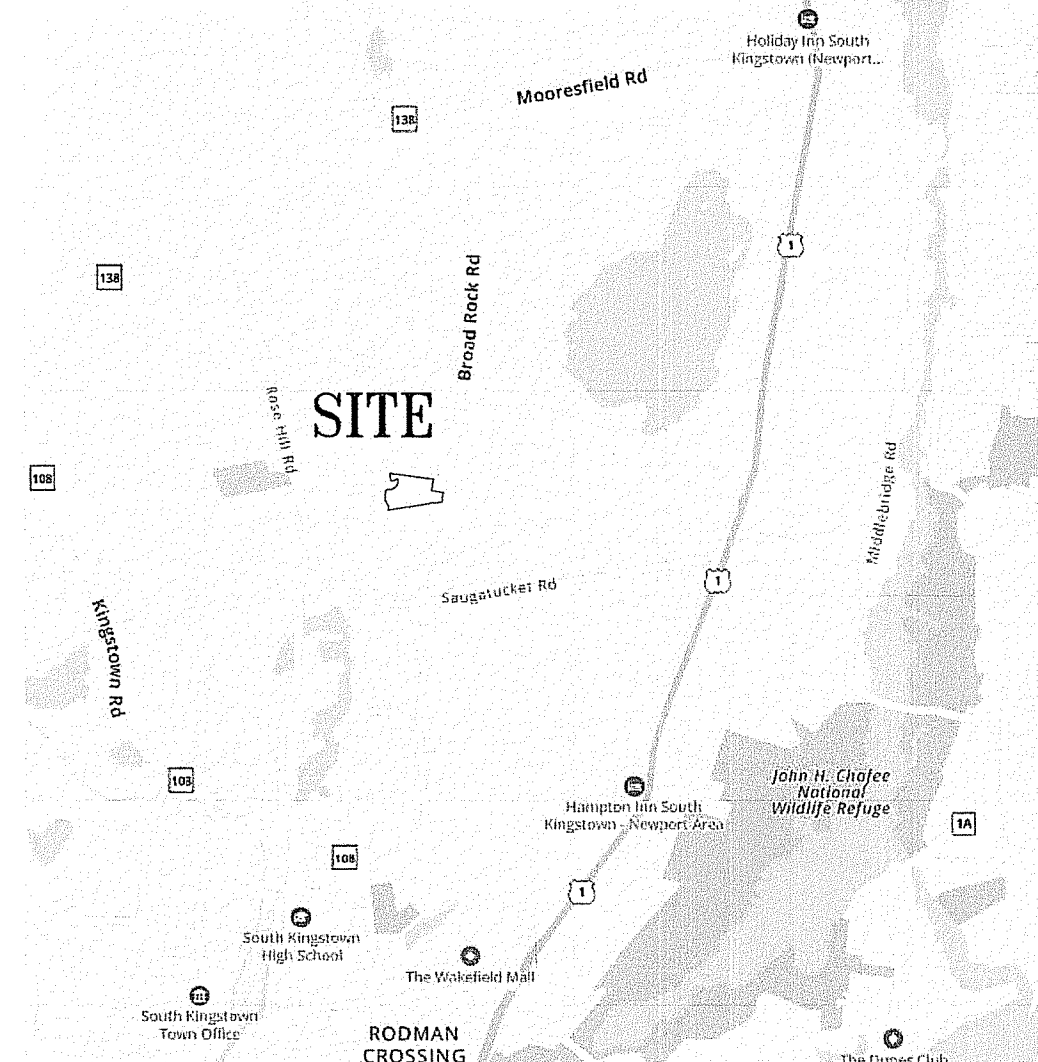
OWNER: SHELEEN M. CLARKE REV LIV TRUST AGMT
96 DUCK COVE ROAD
NORTH KINGSTOWN, RI 02852

APPLICANT: NEW ENGLAND PROPERTIES, LLC
257 WICKFORD CT.
NORTH KINGSTOWN, RI 02852



ZONING TABLE:

ZONE:	R-40
A.P./LOT	33/24
LOT AREA	16.50 AC.
R-40 ZONING REGULATIONS:	
AREA	40,000 SQ. FT.
FRONTAGE	150 FT.
WIDTH	150 FT.
BLDG. COVERAGE	20%
HEIGHT (PRINC.)	35 FT.
HEIGHT (ACCESS.)	20 FT.
FRONT YARD	40 FT.
CORNER SIDE	30 FT.
SIDE YARD	20 FT.
REAR YARD	40 FT.
ACCESS. BLDG. SIDE	15 FT.
ACCESS. BLDG. REAR	10 FT.
OWTS TO WETLAND	150 FT.



LOCUS MAP
NOT TO SCALE

- NOTES:**
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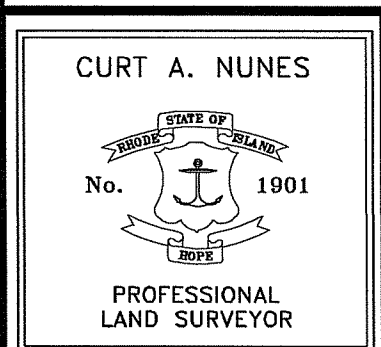
LAND UNSUITABLE FOR DEVELOPMENT:

WETLANDS	1.17 AC.
COASTAL WETLANDS	0.00 AC.
HIGH FLOOD DANGER ZONE	0.45 AC.
EASEMENTS (ABOVE GRND. UTILITY)	0.00 AC.

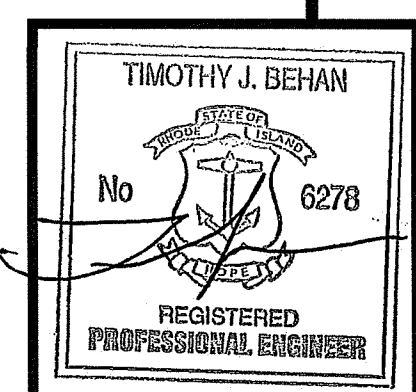
A.P. 33 LOT 24
N/F
SHELEEN M CLARKE
718,849.1 SQ. FT.
16.50 ACRES

SURVEY CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON MARCH 16, 2020 AS FOLLOWS:
LIMITED CONTENT BOUNDARY SURVEY: CLASS I
DATA ACCUMULATION SURVEY: CLASS III
THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO ESTABLISH AND SET BOUNDARY LINES WITH TOPOGRAPHIC INFORMATION FOR FUTURE DEVELOPMENT.

Curt A. Nunes
REGISTERED LAND SURVEYOR
02/16/2023
DATE



COMMONWEALTH
LAND SURVEYORS, INC.
4 PATRIOT STREET
ATTLEBORO, MASSACHUSETTS 02703
(508) 455-2634
C.O.A. # LS-A395



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD

EXISTING CONDITIONS
for
PLAT 33, LOT 24
in
SOUTH KINGSTOWN, RHODE ISLAND
EXISTING CONDITIONS PLAN

SCALE: 1"=60' SHEET NO: 1 of 1
DRAWN BY: TB DESIGN BY: TB CHECKED BY: TB
DATE: 02/16/23 PROJECT NO.: P22001.00

GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

SURVEY PLAN
EXISTING CONDITIONS PLAN
SCALE: 1" = 60'

LEGEND

ABUTTER LINE	---	BUILDING SETBACK LINE	---
LOT LINE	---	EXISTING CONTOUR	---
EDGE OF ROAD PAVEMENT	---	EXISTING SPOT GRADE	---
ROADWAY CENTERLINE	---	PROPOSED LOT CONTOUR	---
ROADWAY STATION	2+00	CATCH BASIN	CB
TEST HOLE	TH	DRAIN MANHOLE	DMH
PERC TEST	PT	DRAINLINE	D
LEDGE TEST	LT	HYDRANT	H
		WATERLINE	W

OWNER:
SHELEEN CLARKE
96 DUCK COVE ROAD
NORTH KINGSTOWN, RI 02852