

# COMMERCIAL SITE REDEVELOPMENT PLANS

604 LIBERTY LANE  
Assessors Map 21-3, Parcel 3  
SOUTH KINGSTOWN, RHODE ISLAND

MAY 21, 2024  
JANUARY 29, 2025



**CIVIL ENGINEER**  
LAND DEVELOPMENT ENGINEERING  
& CONSULTING, LLC.  
1700 WEST MAIN ROAD, SUITE 8  
MIDDLETOWN, RI 02842  
(401) 354-2050

**SURVEYOR**  
LAND DEVELOPMENT ENGINEERING  
& CONSULTING, LLC.  
1700 WEST MAIN ROAD, SUITE 8  
MIDDLETOWN, RI 02842  
(401) 354-2050

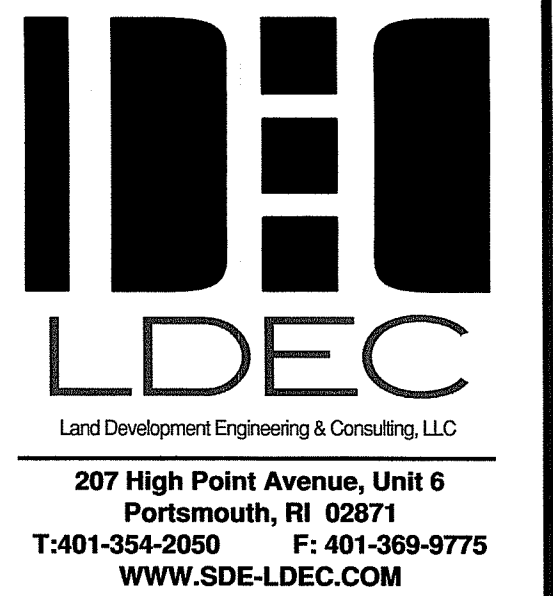
**SURVEYOR OF RECORD**  
ENVIRONMENTAL PLANNING &  
SURVEYING, INC.  
52 DUGWAY BRIDGE RD.  
WEST KINGSTOWN, RI 02892  
(401) 789-3628

## PLAN INDEX

TITLE	SHEET NO.
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EXISTING CONDITIONS PLAN	3
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: MAR 18 2025 FILE # 24-012  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JAN 29 2025



NO.	DATE	DESCRIPTION
3.	1/29/2025	GENERAL REVISIONS PER RIDEM COMMENTS
2.	8/12/2024	GENERAL REVISIONS PER RIDEM COMMENTS
1.	6/18/2024	GENERAL UTILITY & SITE PLAN MODIFICATIONS

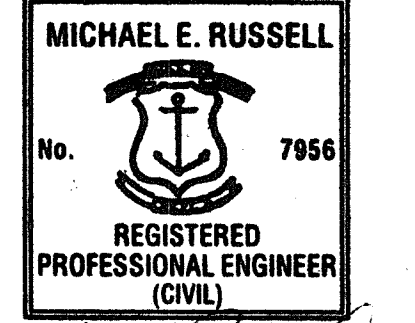
PLAN REVISIONS

DATE: MAY 21, 2024

DRAWN BY: SJE COMPS BY: SJE CHECK BY: MER

PROJECT NO. 23012

ISSUED FOR: PERMITTING

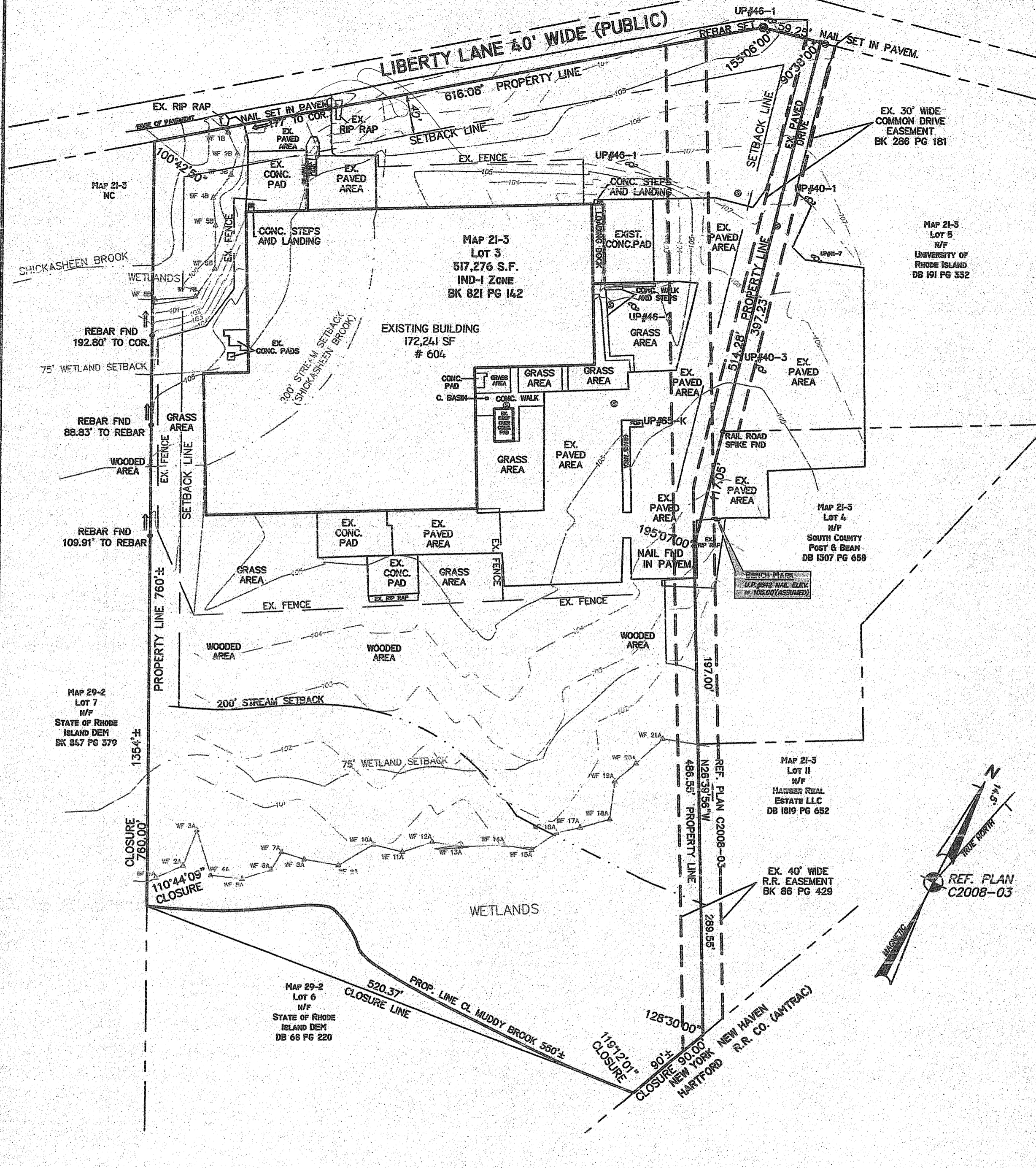


COMMERCIAL SITE  
REDEVELOPMENT PLANS  
604 LIBERTY LANE  
SOUTH KINGSTOWN, RHODE ISLAND  
ASSESSORS MAP 21-3, LOT 3  
PREPARED FOR  
MODINE MANUFACTURING COMPANY

DRAWING TITLE:  
COVER SHEET

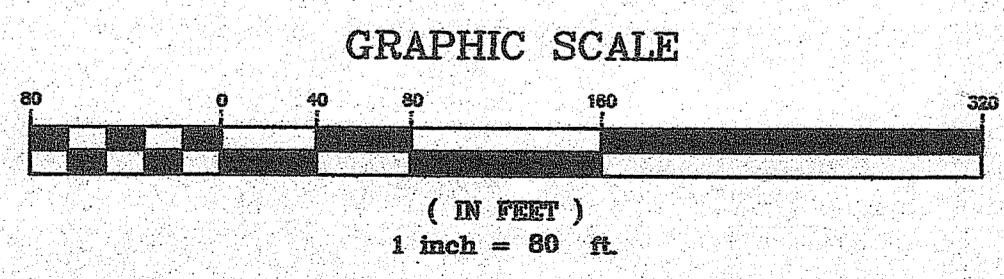
SCALE: N.T.S.

SHEET NO.  
1 OF 8



**PLAN VIEW**

SCALE: 1" = 80'



**IND-1 ZONING DATA**

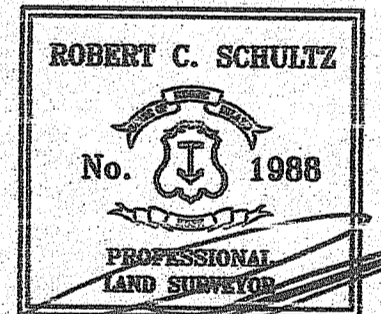
BUILDING SETBACKS:	REQUIRED	EXISTING	PROPOSED
FRONT:	40'	>40'	
CNR SIDE:	40'		
SIDE :	30'	VARIES	
REAR :	30'	>30'	
FRONTAGE:	150'	616.08'	
MIN.LOT SIZE:	40,000 SF	517,276 SF (11.88 AC)	
MAX.ALLOWABLE LOT COVERAGE:	40,000 SF	172,241 SF	
(IMPERVIOUS)	80%	33%	

**PROPERTY OWNER OF RECORD:**

MODINE MANUFACTURING COMPANY  
1500 DEKOVEN AVE.  
RACINE, WI 534403

**NOTES**

- 1.) SITE IS LOCATED WITHIN A ZONE WITH A 1% ANNUAL CHANCE OF FLOOD ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY COMMUNITY PANEL NUMBER 44009C0185J. MAP EFFECTIVE DATE APRIL 03, 2020.
- 2.) SUBJECT SITE LIES WITHIN THE S.K. GROUNDWATER PROTECTION OVERLAY DISTRICT. SUBJECT SITE DOES NOT LIE WITHIN THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN
- 3.) THERE IS A 40' R.O.W. FOR THE NATIONAL RAILROAD PASSENGER CORPORATION PARTIALLY THROUGH THE NORTH WESTERN SIDE OF THE PROPERTY. BK: 821 PG.142.
- 4.) FOR STATEWIDE BUFFERS AND PROTECTION AREAS AROUND RIVERS, PONDS, STREAMS, OTHER WETLAND AREAS, DATED JUNE 1, 2022; REF. D.E.M.RULES 3.4(A) (33) & (39)-JURISDICTIONAL AREA. FRESHWATER WETLAND RULES (250-RICR-150-15-3).
- 5.) RECORDED IN THE S.K. LAND EVIDENCE RECORDS  
BK./PG: 821/0142; 847/379; 191/332; 1307/658;  
1819/652; 68/220; 256/281;  
PLAN: C2008-03



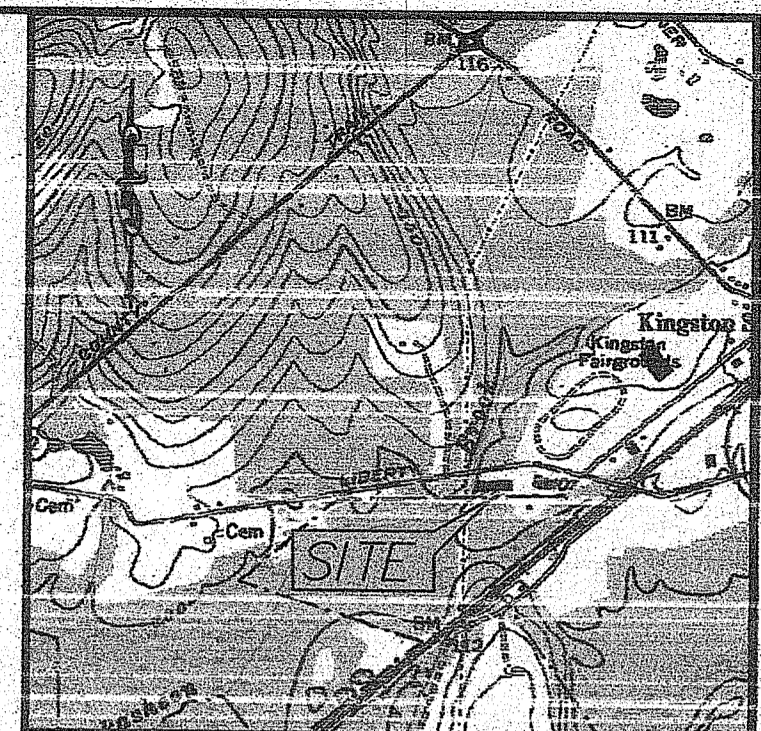
**SURVEYORS CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED & THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES & REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, ON NOV. 25, 2015.

SURVEY TYPE: BOUNDARY SURVEY  
HORIZONTAL ACCURACY: CLASS 1  
TOPOGRAPHICAL ACCURACY: T.3. STANDARD

THE PURPOSE OF THIS SURVEY IS TO LOCATE THE EXISTING BUILDINGS & DEM WETLAND SETBACKS/JURISDICTIONAL AREA FOR A PROPOSED EXPANSION ON THE SUBJECT PARCEL FOR A BUILDING PERMIT APPLICATION TO THE TOWN OF SOUTH KINGSTOWN.

*[Signature]* 2/10/23  
B.C. P.L.S. DATE



**LOCUS MAP** N.T.S.

**LEGEND**

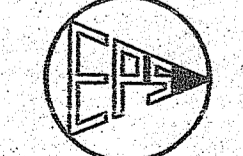
- 21 — ROAD EDGE
- — — — — PROPERTY LINE
- 25 — CONTOUR
- ⊙ DHF DRILLHOLE FOUND
- ⊙ IPF IRON PIPE FOUND
- U.P.14 ⊙ UTILITY POLE
- W — WATER LINE
- ⊙ WELL
- ⊖ STONE WALL
- — — — — WETLAND SETBACKS
- — — — — WETLAND PERIMETER

**SITE/DEVELOPMENT PLAN**

FOR:  
**PROPOSED ADDITION**  
PREPARED FOR:  
**DISTEFANO BROS**  
**MODINE MANUFACTURING CO.**  
FOR PROPERTY LOCATED ON:  
**604 LIBERTY LANE**  
IN THE TOWN OF:  
**SOUTH KINGSTOWN, RHODE ISLAND**  
**MAP 21-3, LOT 3**  
**IND-1 ZONING**

#	DATE	DESCRIPTION	BY

DRAWN BY: AHH/ZMD DATE: DECEMBER, 2022  
CHECKED BY: \_\_\_\_\_ DRAWING # 8504001  
JOB # 8504001 SHEET: 1 OF 1



**ENVIRONMENTAL PLANNING & SURVEYING, INC.**  
CIVIL ENGINEERING  
SURVEYING  
CAD DRAFTING

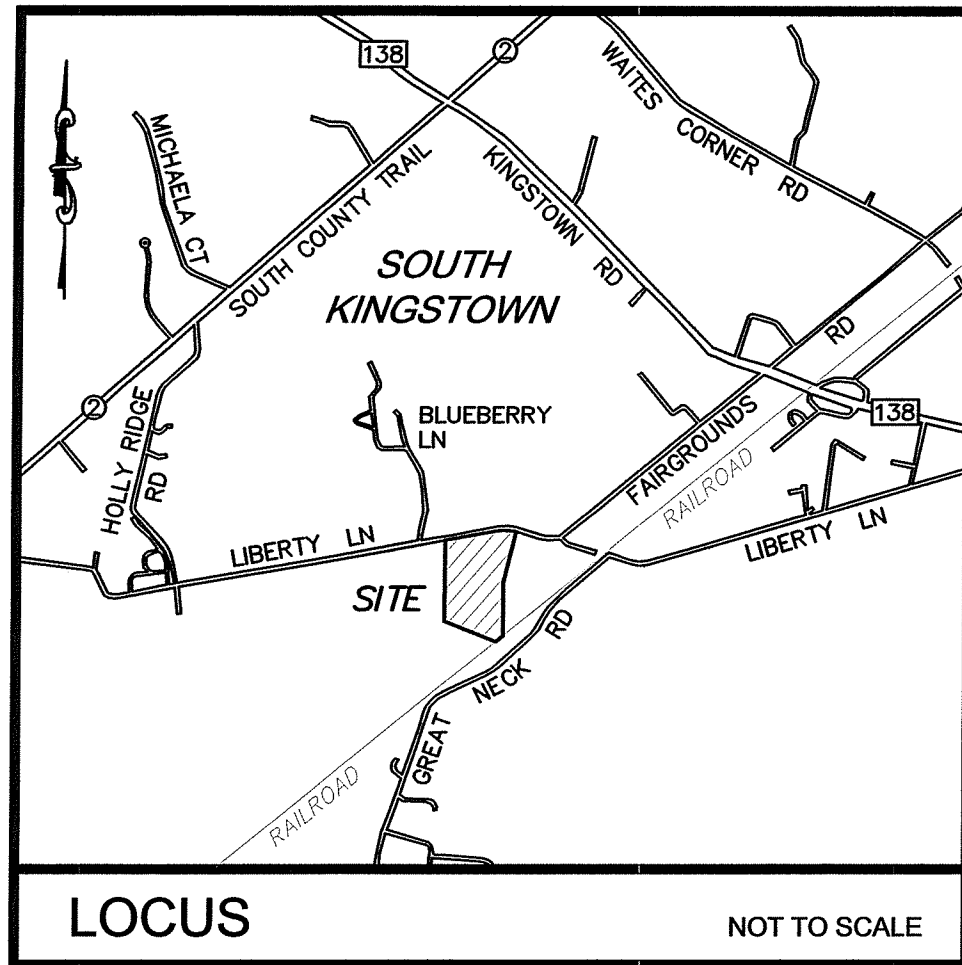
52 DUGWAY BRIDGE RD., WEST KINGSTON, RI 02892 (401) 769-3628

RI Environmental Management  
JAN 21 2025  
Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: MAR 18 2025 FILE # 24-012  
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*[Signature]*





**LOCUS** NOT TO SCALE

- NOTES:**
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC BETWEEN MAY 12, 2023 JUNE 29, 2023 AND SUPPLEMENTED WITH RECORD INFORMATION.
  - ELEVATIONS ARE REFERENCED TO NAVD88.
  - THE SITE IS PARTIALLY LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE A (WITHOUT BASE FLOOD ELEVATION) AS DETERMINED FROM THE TOWN OF SOUTH KINGSTOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445407 0180 J (MAP EFFECTIVE DATE APRIL 3, 2020).
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  - EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
  - PROPERTY LINE INFORMATION IS AS SHOWN ON A PLAN ENTITLED "SITE/DEVELOPMENT PLAN FOR PROPOSED ADDITION, PREPARED FOR DISTEFANO BROS MODINE MANUFACTURING CO. FOR PROPERTY LOCATED ON 604 LIBERTY LANE IN THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND, MAP 21-3, LOT 3", PREPARED BY ENVIRONMENTAL PLANNING & SURVEYING, INC., DATED DECEMBER, 2022.
  - WETLAND BUFFERS RELATED TO EXISTING FRESH WATER WETLAND ON ABUTTING PROPERTY TAKEN FROM FIELD OBSERVATIONS AND CORRESPONDING RIGIS WETLAND DATA.

INDUSTRIAL ONE (IND-1) ZONING DISTRICT	
REGULATION	REQUIREMENT
MIN. LOT AREA	40,000 SQ. FT.
LOT FRONTAGE	150 FT.
FRONT SETBACK	40 FT.
SIDE SETBACK	30 FT.
REAR SETBACK	30 FT.
MAX. BUILDING HEIGHT	40 FT.
MAX. LOT COVERAGE	80%

**CURRENT OWNER**  
 MODINE MANUFACTURING COMPANY  
 1500 DEKOVEN AVENUE  
 RACINE, WI 53403-2552

**TITLE REFERENCE:**  
 DEED BK.821/PG.142

**SITE LOCATION:**  
 604 LIBERTY LANE  
 SOUTH KINGSTOWN, RHODE ISLAND

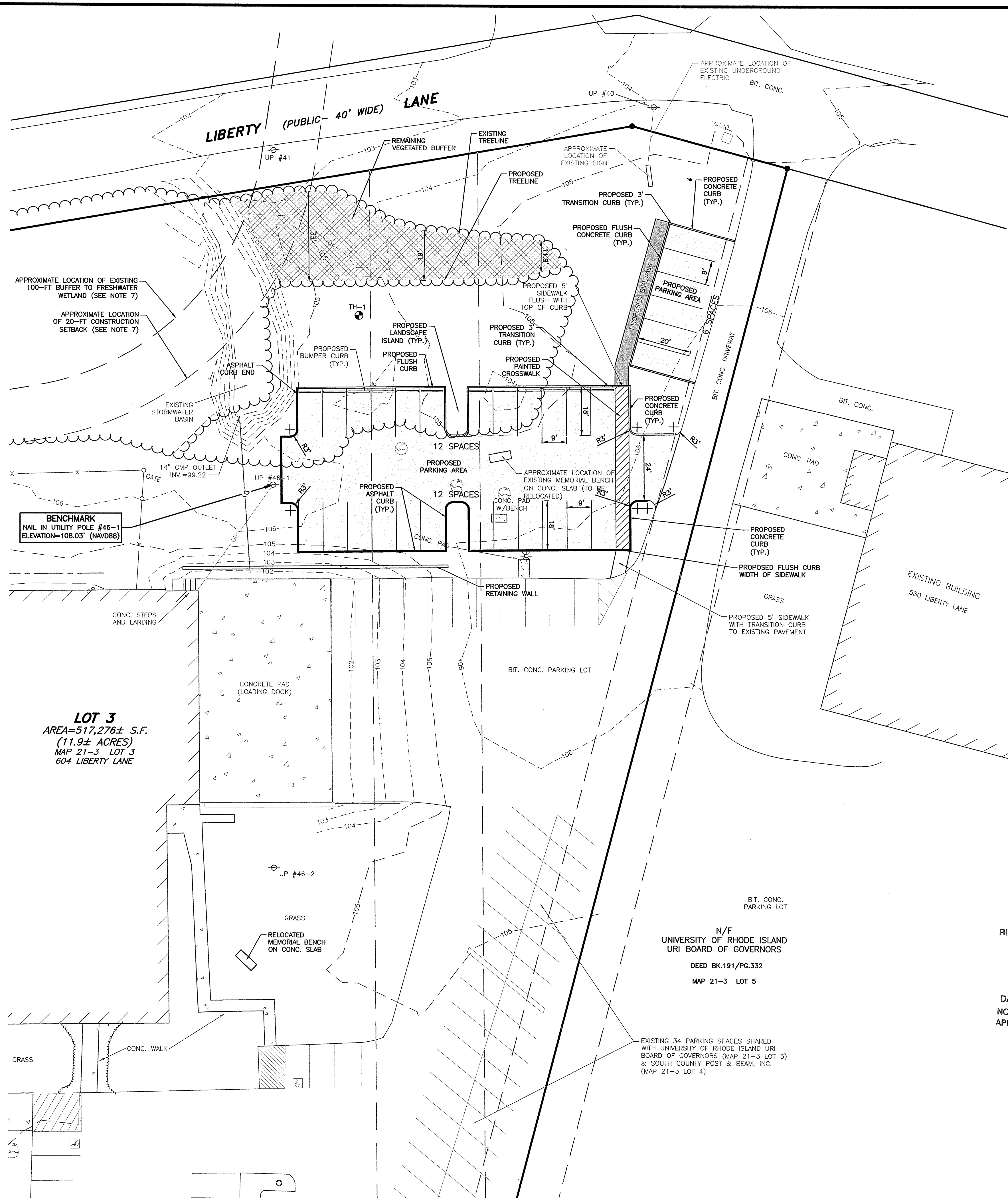
**ASSESSORS REFERENCE:**  
 MAP 21-3 PARCEL 3

PARKING TABLE	
USE: ALL TYPES OF MANUFACTURING, STORAGE AND WHOLESALE USES PERMITTED IN ANY MANUFACTURING DISTRICT; FREIGHT OR PASSENGER TERMINALS	
REQUIREMENT:	
1 SPACE / 2 EMPLOYEES ON THE LARGEST SHIFT, PLUS	
1 SPACE FOR EACH MOTOR VEHICLE MAINTAINED OR USED ON THE PREMISES (MIN. 4 SPACES)	
140 PPL. / 2 = 70 SPACES	
14 VEHICLES = 14 SPACES	
<b>84 SPACES REQUIRED</b>	
TOTAL REQUIRED SPACES	= 84
TOTAL ON-SITE EXISTING SPACES	= 69
TOTAL SHARED EXISTING SPACES*	= 43
TOTAL EXISTING SPACES	= 112
TOTAL PROPOSED ON-SITE SPACES	= 99
TOTAL SHARED SPACES*	= 43
TOTAL PROPOSED SPACES	= 142

\*EXISTING 34 PARKING SPACES SHARED WITH UNIVERSITY OF RHODE ISLAND URI BOARD OF GOVERNORS (MAP 21-3 LOT 5) & SOUTH COUNTY POST & BEAM, INC. (MAP 21-3 LOT 4)

**SITE LOCUS NOTES:**

- PROPERTY IS LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN'S GROUNDWATER PROTECTION OVERLAY DISTRICT
- PROPERTY IS LOCATED WITHIN MAPPED NATURAL HERITAGE AREA AS DEFINED BY RI DEM GIS AND TOWN OF SOUTH KINGSTOWN GIS
- SUBJECT PROPERTY IS WITH THE TMDL WATERSHED AS IDENTIFIED BY RIDEM (CHICKASHEEN BROOK)
- PROPERTY IS IDENTIFIED AS CONTAINING PRIME AGRICULTURAL & FARMLAND SOILS OF STATEWIDE IMPORTANCE.
- SITE DOES NOT HAVE ANY EXISTING OR ACTIVE AGRICULTURAL USES.
- NO KNOWN HISTORIC CEMETERIES OR FEATURES ON SUBJECT PROPERTY.
- PROPERTY IS IDENTIFIED AS A NATURAL HERITAGE DESIGNATION BY RIDEM.
- PROPERTY IS NOT WITHIN SALT POND REGION OR NARROW RIVER SAMP AS DEFINED BY CRMC.
- PROPERTY IS NOT WITHIN OWTS CRITICAL AREA AS DEFINED BY RIDEM.
- PROPERTY IS NOT WITHIN DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
- PROPERTY IS NOT LISTED ON NATIONAL REGISTRAR OF HISTORIC PLACES.



**LEGEND**

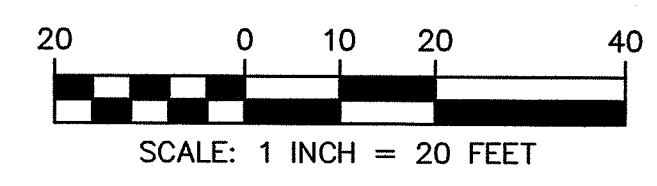
- BUSH/SHRUB
- X — CHAIN LINK FENCE
- ⊙ DOWN SPOUT
- ⊙ GAS GATE
- LANDSCAPING
- ⊙ LIGHT POST
- ⊙ SEWER MANHOLE
- ⊙ SPOT ELEVATION
- TREE
- TREE LINE
- ⊙ UTILITY POLE
- ⊙ WATER GATE
- WETLANDS
- △ WETLAND FLAG
- G — UNDERGROUND GAS

**LOT 3**  
 AREA=517,276± S.F.  
 (11.9± ACRES)  
 MAP 21-3 LOT 3  
 604 LIBERTY LANE

N/F  
 UNIVERSITY OF RHODE ISLAND  
 URI BOARD OF GOVERNORS  
 DEED BK.191/PG.332  
 MAP 21-3 LOT 5

EXISTING 34 PARKING SPACES SHARED WITH UNIVERSITY OF RHODE ISLAND URI BOARD OF GOVERNORS (MAP 21-3 LOT 5) & SOUTH COUNTY POST & BEAM, INC. (MAP 21-3 LOT 4)

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 OFFICE OF WATER RESOURCES  
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 DATED: MAR 18 2024 FILE #: 24-001  
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**LDEC**  
 Land Development Engineering & Consulting, LLC  
 207 High Point Avenue, Unit 6  
 Portsmouth, RI 02871  
 T: 401-354-2050 F: 401-369-9775  
 WWW.SDE-LDEC.COM

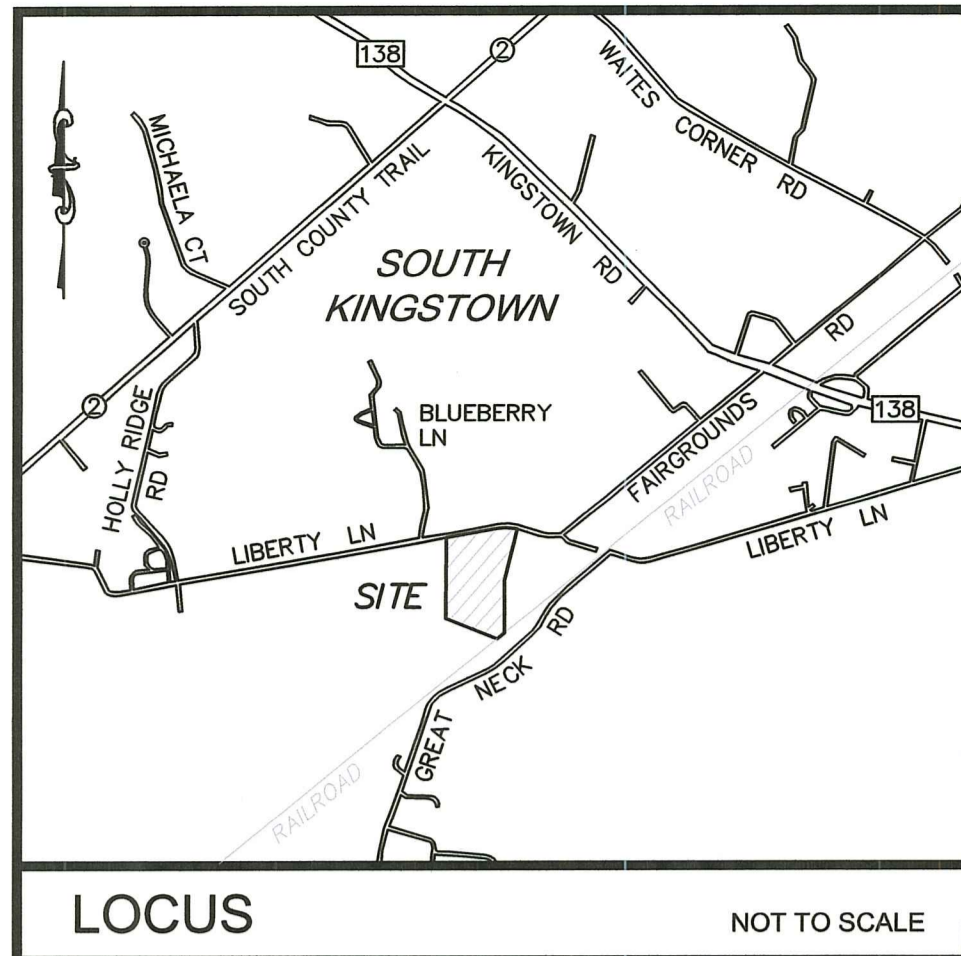
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2.	8/12/2024	GENERAL REVISIONS PER RIDEM COMMENTS	MER
1.	6/18/2024	GENERAL UTILITY & SITE PLAN MODIFICATIONS	MER

DATE: MAY 21, 2024  
 DRAWN BY: SJE COMPS BY: SJE CHECK BY: MER  
 PROJECT NO. 23012  
 ISSUED FOR: PERMITTING

**MICHAEL E. RUSSELL**  
 No. 7956  
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

**COMMERCIAL SITE REDEVELOPMENT PLANS**  
 604 LIBERTY LANE  
 SOUTH KINGSTOWN, RHODE ISLAND  
 ASSESSORS MAP 21-3, LOT 3  
 PREPARED FOR MODINE MANUFACTURING COMPANY

DRAWING TITLE: **SITE LAYOUT PLAN**  
 SCALE: **1"=20'**  
 SHEET NO. **4 OF 8**



PROPOSED INFILTRATION FACILITIES MEET ALL HORIZONTAL SETBACKS PER RULE 250-RICR-150-10-8.35 B.4.

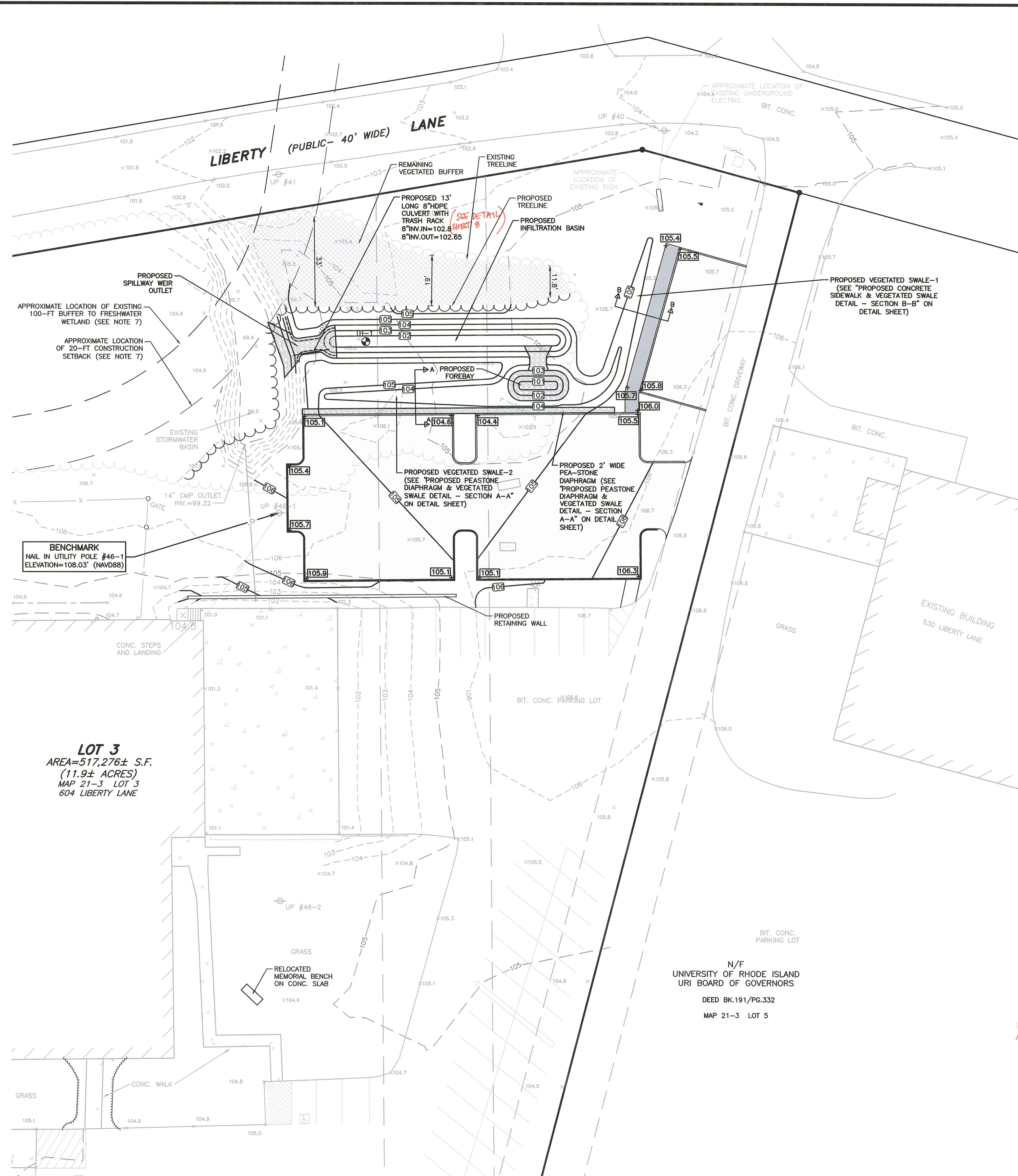
LOCUS NOT TO SCALE

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**100-YR FLOOD PLAIN IMPACT AVOIDANCE NOTES:**

- AREA OF WORK GREATER THAN 250' FROM THE 100-YR FLOOD PLAIN LINE DETERMINED FROM AVAILABLE RIDEM GIS INFORMATION FOR CHICKASHEEN BROOK. (SEE STREAM SETBACK SKETCH PLAN)



BENCHMARK  
NAIL IN UTILITY POLE #46-1  
ELEVATION=108.03' (NAVD88)

**LOT 3**  
AREA=517,276± S.F.  
(11.9± ACRES)  
MAP 21-3 LOT 3  
604 LIBERTY LANE

N/F  
UNIVERSITY OF RHODE ISLAND  
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DEED BK.191/P6.332  
MAP 21-3 LOT 5

**LEGEND**

	BUSH/SHRUB
	CHAIN LINK FENCE
	DOWN SPOUT
	GAS GATE
	LANDSCAPING
	LIGHT POST
	SEWER MANHOLE
	SPOT ELEVATION
	TREE
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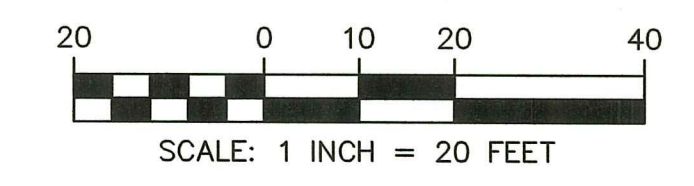
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No. 7956  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

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*Andy Chapman*

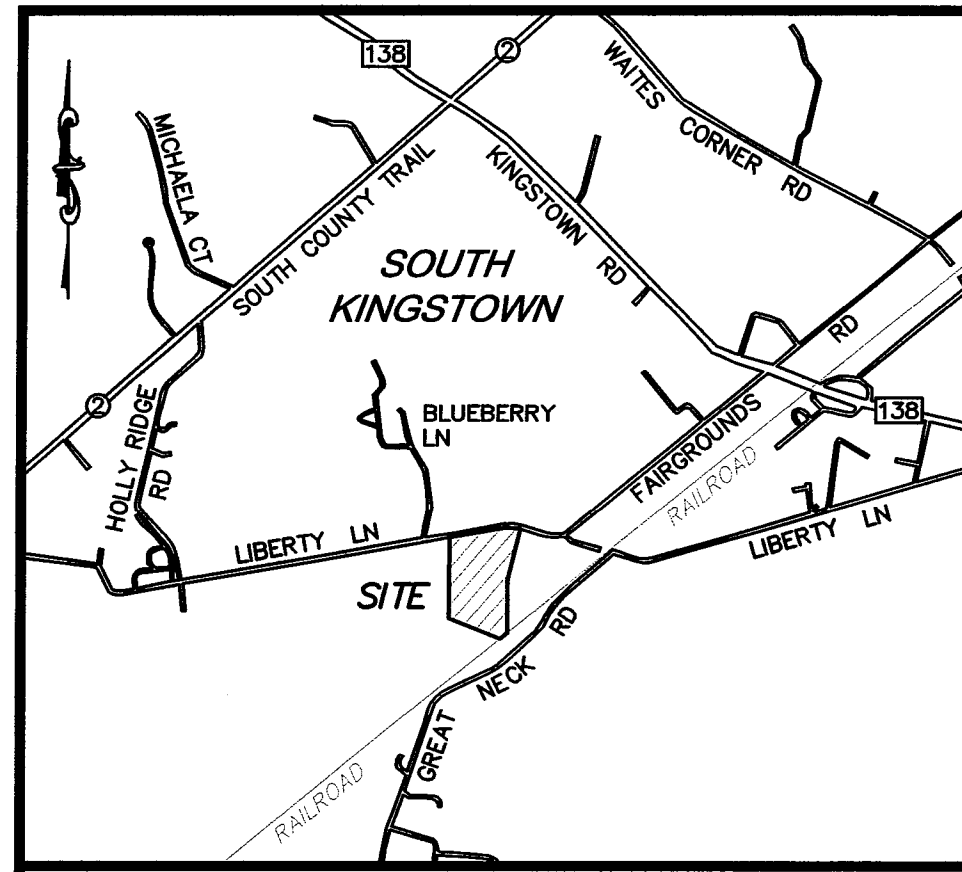
JUN 21 2025



DRAWING TITLE:  
**GRADING & DRAINAGE PLAN**

SCALE: **1"=20'**

SHEET NO.  
**5 OF 8**



**LOCUS** NOT TO SCALE

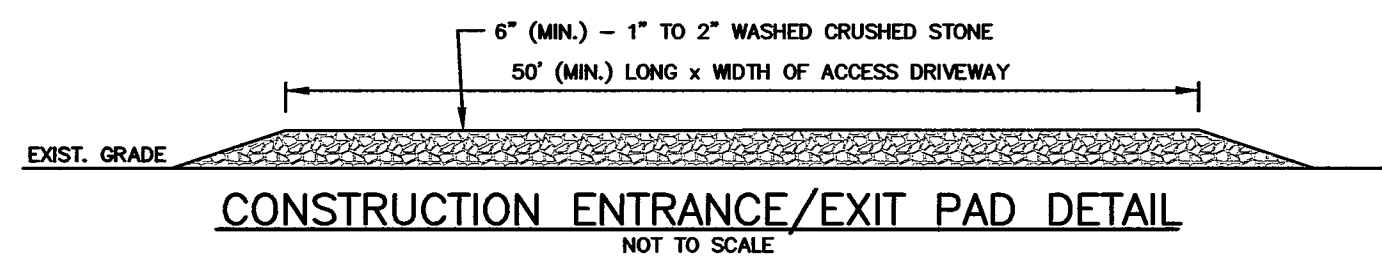
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**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
 

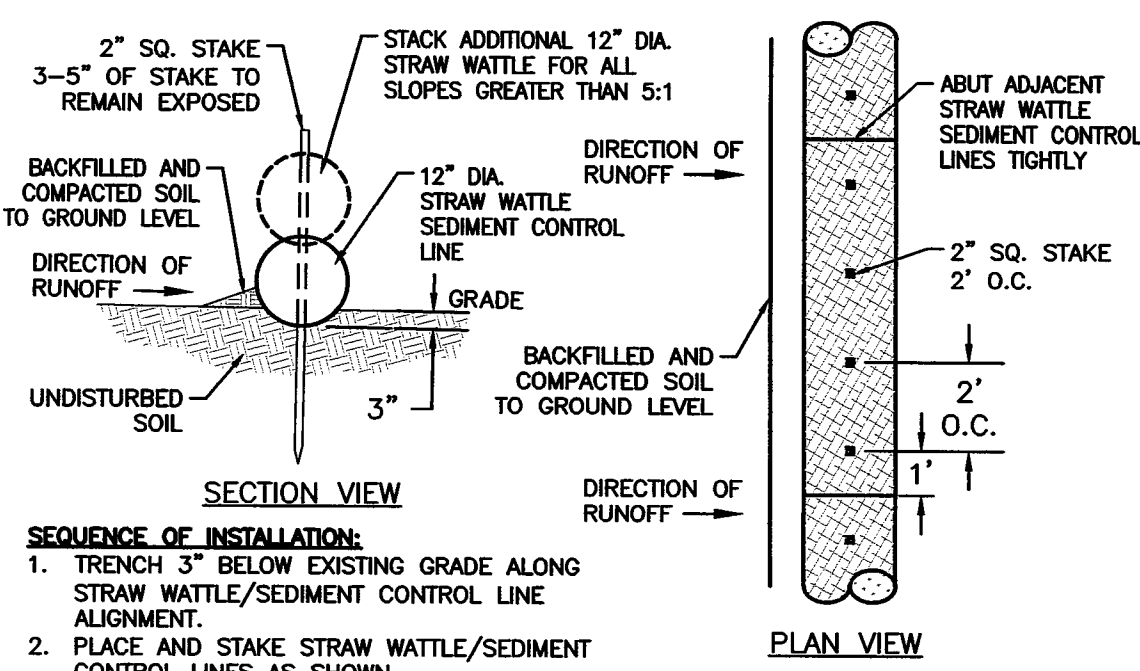
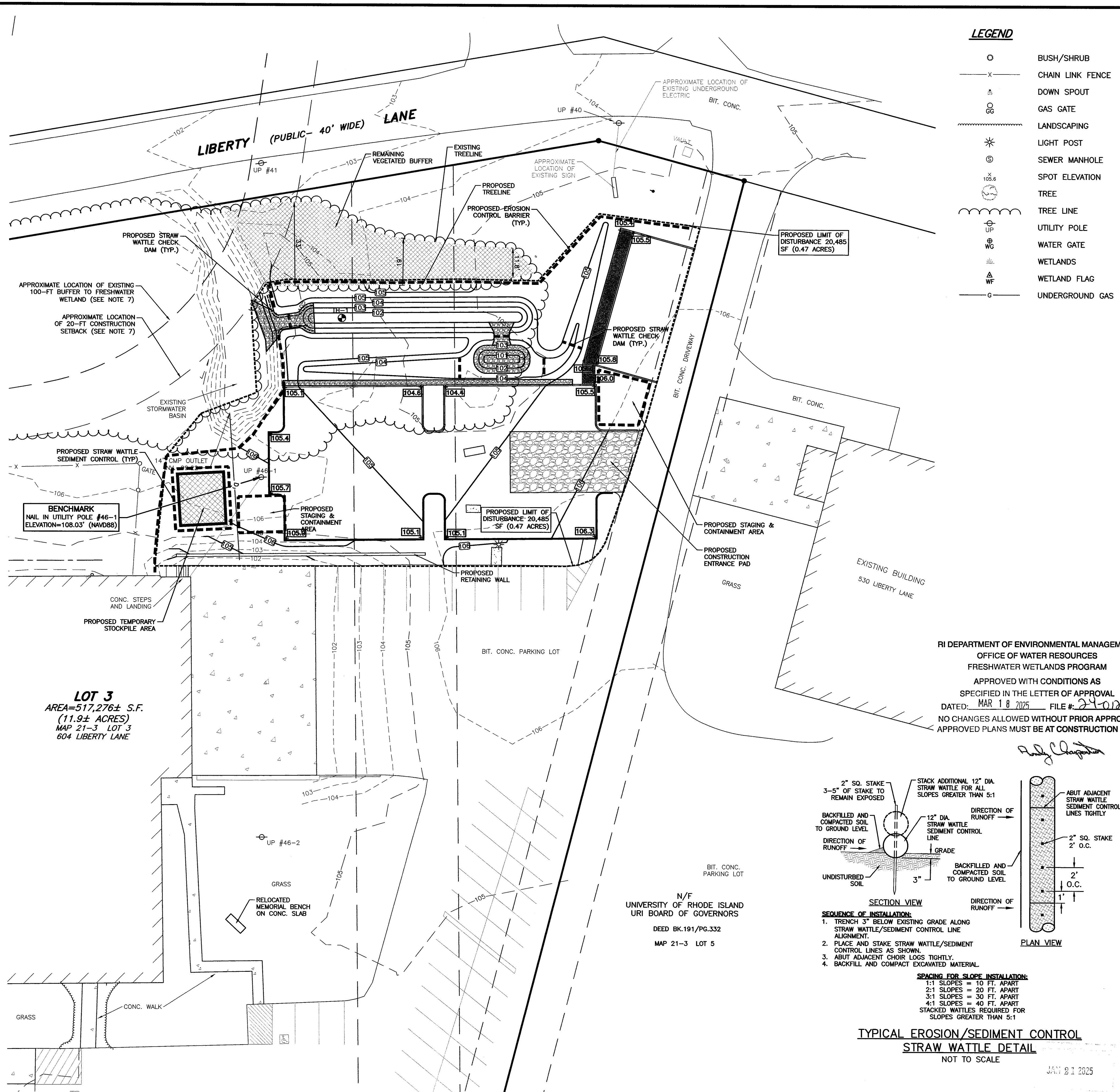
**INSTALLATION SEQUENCE**

  - INSTALL SILT FENCE AND HAYBALES AS SHOWN ON PLAN.
  - CLEAR AND GRUB SITE.
  - CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS.
  - THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOMER SLOPE STABILIZATION.
  - THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
- AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAYBALES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
- DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4) OF LOAM AND SHALL BE SEEDING WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOO OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
- THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH SILTSACK OR FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.
- WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
  - WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
  - INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
  - WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLUDGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY DRIVEWAY WIDTH WIDE BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCE IS TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM EXISTING ACCESS DRIVEWAY.
- DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.



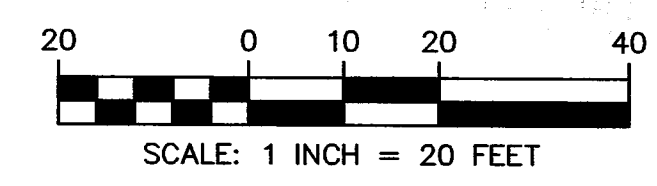
**CONSTRUCTION ENTRANCE/EXIT PAD DETAIL**  
NOT TO SCALE

**NOTE:**  
CONSTRUCTION ENTRANCE IS A TEMPORARY STONE - STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE TO AND FROM A PAVED PUBLIC ROAD OR OTHER PAVED AREAS.



- SEQUENCE OF INSTALLATION:**
- TRENCH 3" BELOW EXISTING GRADE ALONG STRAW WATTLE/SEDIMENT CONTROL LINE ALIGNMENT.
  - PLACE AND STAKE STRAW WATTLE/SEDIMENT CONTROL LINES AS SHOWN.
  - ABUT ADJACENT CHAIR LOGS TIGHTLY.
  - BACKFILL AND COMPACT EXCAVATED MATERIAL.
- SPACING FOR SLOPE INSTALLATION:**
- 1:1 SLOPES = 10 FT. APART
  - 2:1 SLOPES = 20 FT. APART
  - 3:1 SLOPES = 30 FT. APART
  - 4:1 SLOPES = 40 FT. APART
- STACKED WATTLES REQUIRED FOR SLOPES GREATER THAN 5:1

**TYPICAL EROSION/SEDIMENT CONTROL STRAW WATTLE DETAIL**  
NOT TO SCALE



**LDEC**  
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NO.	DATE	DESCRIPTION
3.	1/29/2025	GENERAL REVISIONS PER RIDEM COMMENTS
2.	8/12/2024	GENERAL REVISIONS PER RIDEM COMMENTS
1.	6/18/2024	GENERAL UTILITY & SITE PLAN MODIFICATIONS

DATE: MAY 21, 2024

DRAWN BY: SJE COMPS BY: SJE CHECK BY: MER

PROJECT NO. 23012

ISSUED FOR: PERMITTING

**MICHAEL E. RUSSELL**  
No. 7956  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

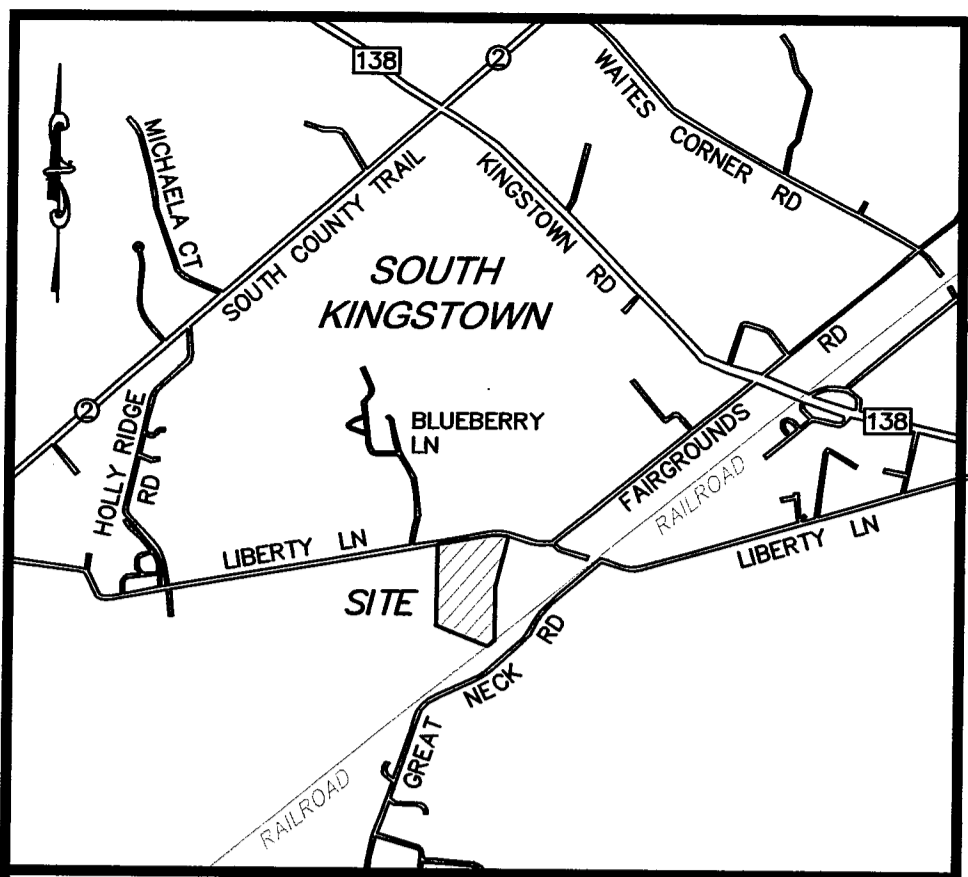
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: MAR 18 2025 FILE #: 24-0121  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**COMMERCIAL SITE REDEVELOPMENT PLANS**  
604 LIBERTY LANE  
SOUTH KINGSTOWN, RHODE ISLAND  
ASSESSORS MAP 21-3, LOT 3  
PREPARED FOR  
MODINE MANUFACTURING COMPANY

DRAWING TITLE:  
**SEDIMENT & EROSION CONTROL PLAN**

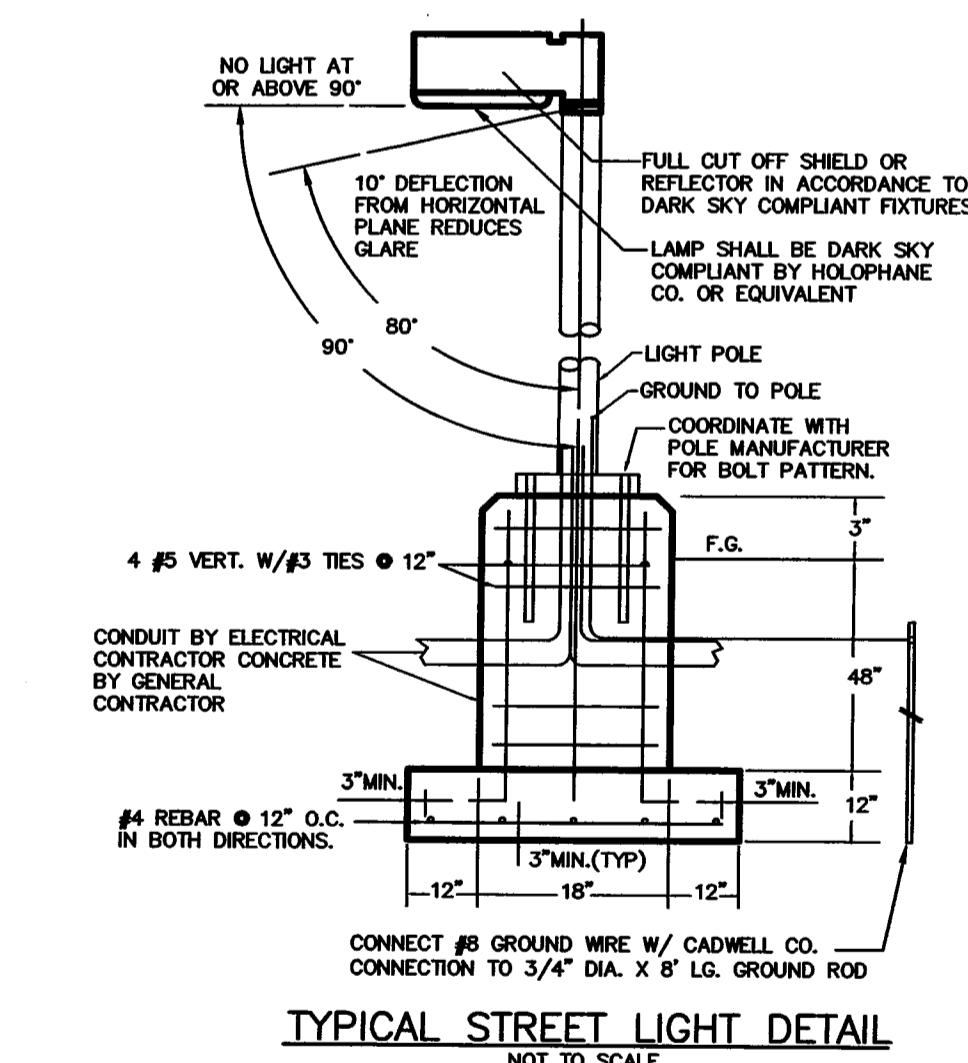
SCALE: 1"=20'

SHEET NO. 6 OF 8

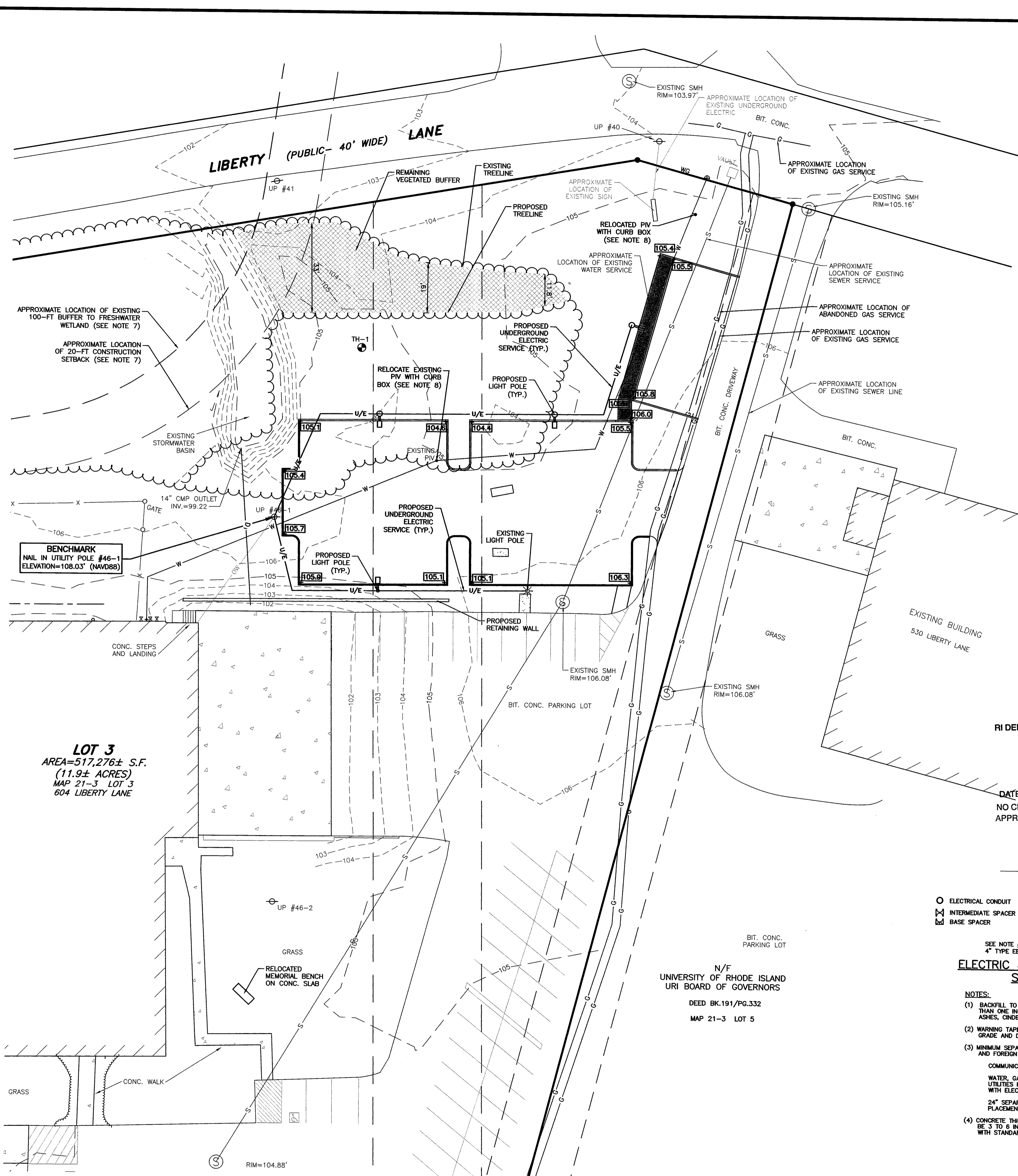


**LOCUS** NOT TO SCALE

- NOTES:**
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC BETWEEN MAY 12, 2023 JUNE 29, 2023 AND SUPPLEMENTED WITH RECORD INFORMATION.
  - ELEVATIONS ARE REFERENCED TO NAVD88.
  - THE SITE IS PARTIALLY LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE A (WITHOUT BASE FLOOD ELEVATION) AS DETERMINED FROM THE TOWN OF SOUTH KINGSTOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445407 0180 J (MAP EFFECTIVE DATE APRIL 3, 2020).
  - THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
  - EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
  - PROPERTY LINE INFORMATION IS AS SHOWN ON A PLAN ENTITLED "SITE/DEVELOPMENT PLAN FOR PROPOSED ADDITION, PREPARED FOR DISTEFANO BROS MODINE MANUFACTURING CO. FOR PROPERTY LOCATED ON 604 LIBERTY LANE IN THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND, MAP 21-3, LOT 3", PREPARED BY ENVIRONMENTAL PLANNING & SURVEYING, INC., DATED DECEMBER, 2022.
  - WETLAND BUFFERS RELATED TO EXISTING FRESH WATER WETLAND ON ABUTTING PROPERTY TAKEN FROM FIELD OBSERVATIONS AND CORRESPONDING RIGIS WETLAND DATA.
  - RELOCATION/MODIFICATION OF EXISTING SERVICE LINES/ETC TO BE COORDINATED WITH SOUTH KINGSTOWN FIRE DEPARTMENT & WATER DEPARTMENT



- NOTE:**
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN STANDARD STREET LIGHT AND "DARK SKY" BYLAW.
  - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

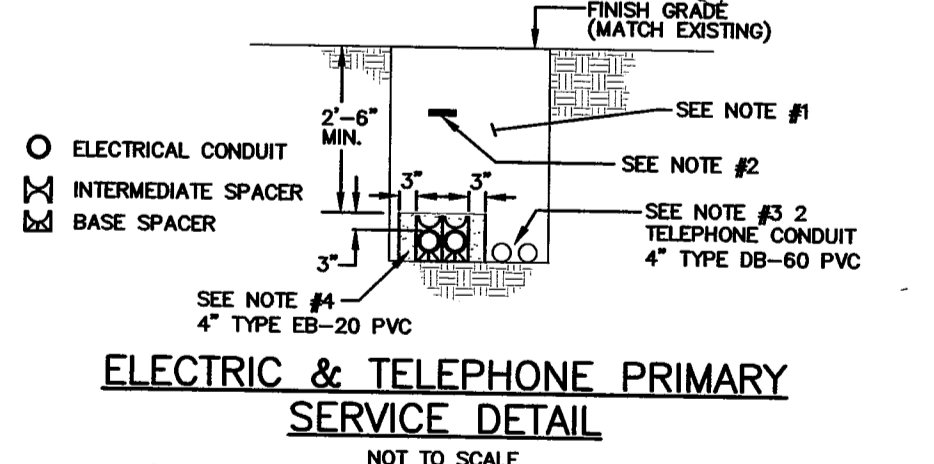


**LOT 3**  
 AREA=517,276± S.F.  
 (11.9± ACRES)  
 MAP 21-3 LOT 3  
 604 LIBERTY LANE

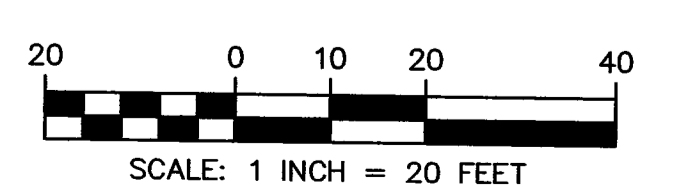
**LEGEND**

○	BUSH/SHRUB
—x—	CHAIN LINK FENCE
△	DOWN SPOUT
○	GAS GATE
○	LANDSCAPING
*	LIGHT POST
○	SEWER MANHOLE
○	SPOT ELEVATION
○	TREE
○	TREE LINE
○	UTILITY POLE
○	WATER GATE
○	WETLANDS
△	WETLAND FLAG
○	UNDERGROUND GAS

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: MAR 18 2025 FILE # 24-018  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



- NOTES:**
- BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CHUNKS, SHELL, OR FROZEN MATERIAL.
  - WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.
  - MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:  
 COMMUNICATION - 3" OF CONCRETE ENCASUREMENT  
 WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.  
 24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.
  - CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 021.



**IDEALDEC**  
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NO.	DATE	DESCRIPTION	APPROVED
3.	1/29/2024	GENERAL REVISIONS PER RIDEM COMMENTS	MER
2.	8/12/2024	GENERAL REVISIONS PER RIDEM COMMENTS	MER
1.	6/18/2024	GENERAL UTILITY & SITE PLAN MODIFICATIONS	MER

PLAN REVISIONS  
 DATE: MAY 21, 2024

DRAWN BY: SJE COMPS. BY: SJE CHECK BY: MER

PROJECT NO. 23012

ISSUED FOR: PERMITTING

**MICHAEL E. RUSSELL**  
 No. 7856  
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

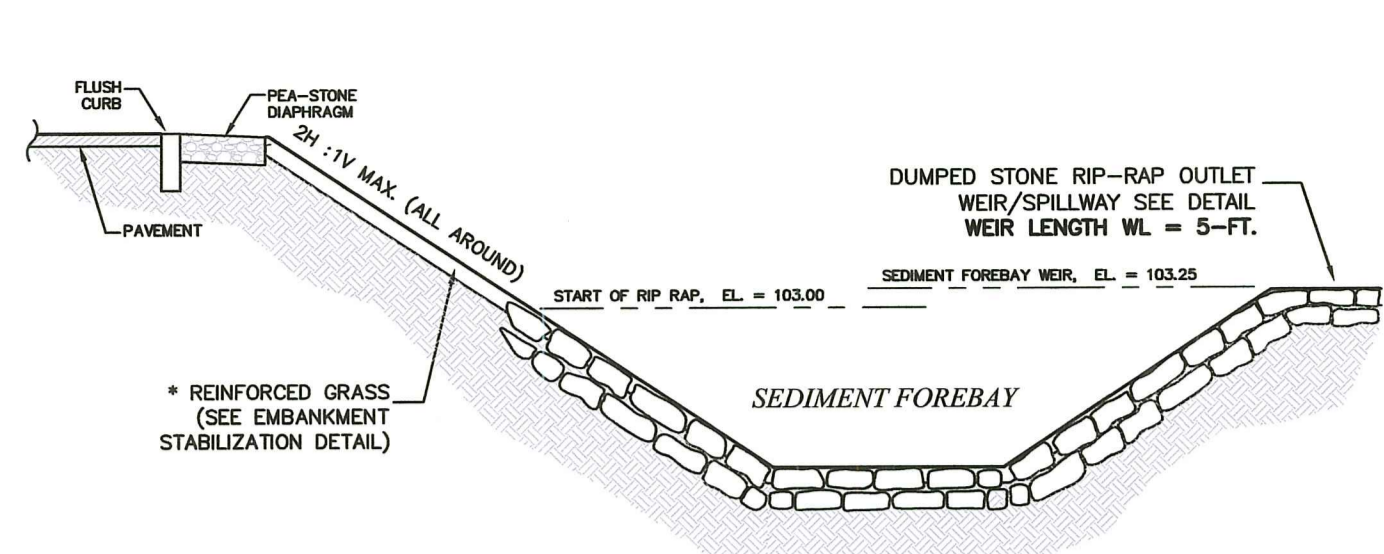
**COMMERCIAL SITE REDEVELOPMENT PLANS**  
 604 LIBERTY LANE  
 SOUTH KINGSTOWN, RHODE ISLAND  
 ASSESSORS MAP 21-3, LOT 3  
 PREPARED FOR MODINE MANUFACTURING COMPANY

DRAWING TITLE:

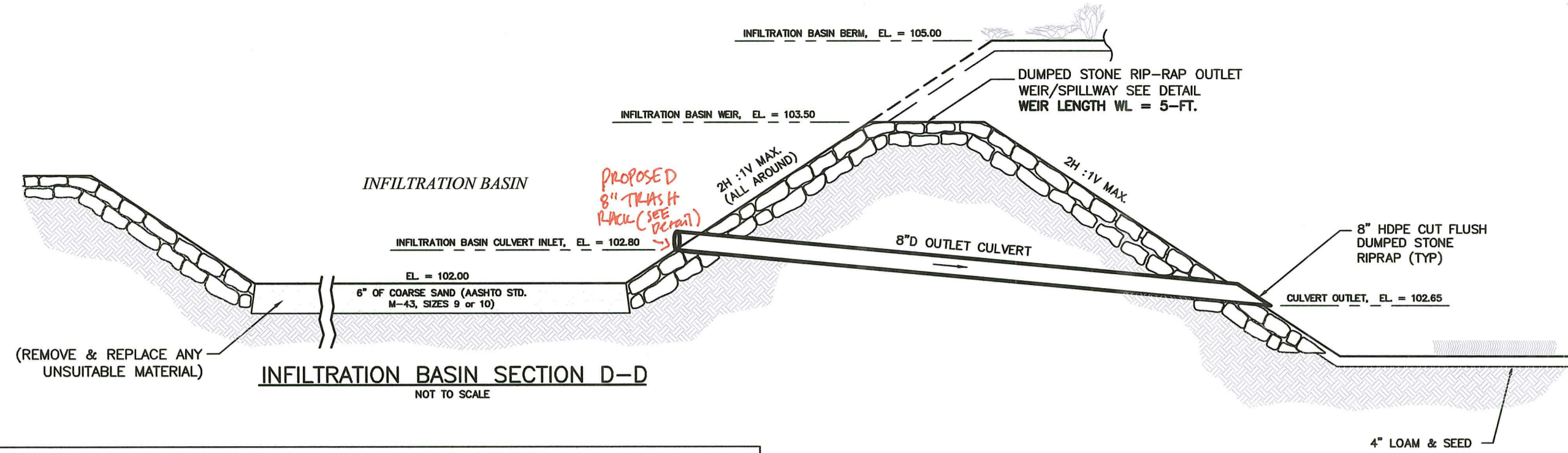
**UTILITY PLAN**

SCALE: 1"=20'  
 SHEET NO.

**7 of 8**

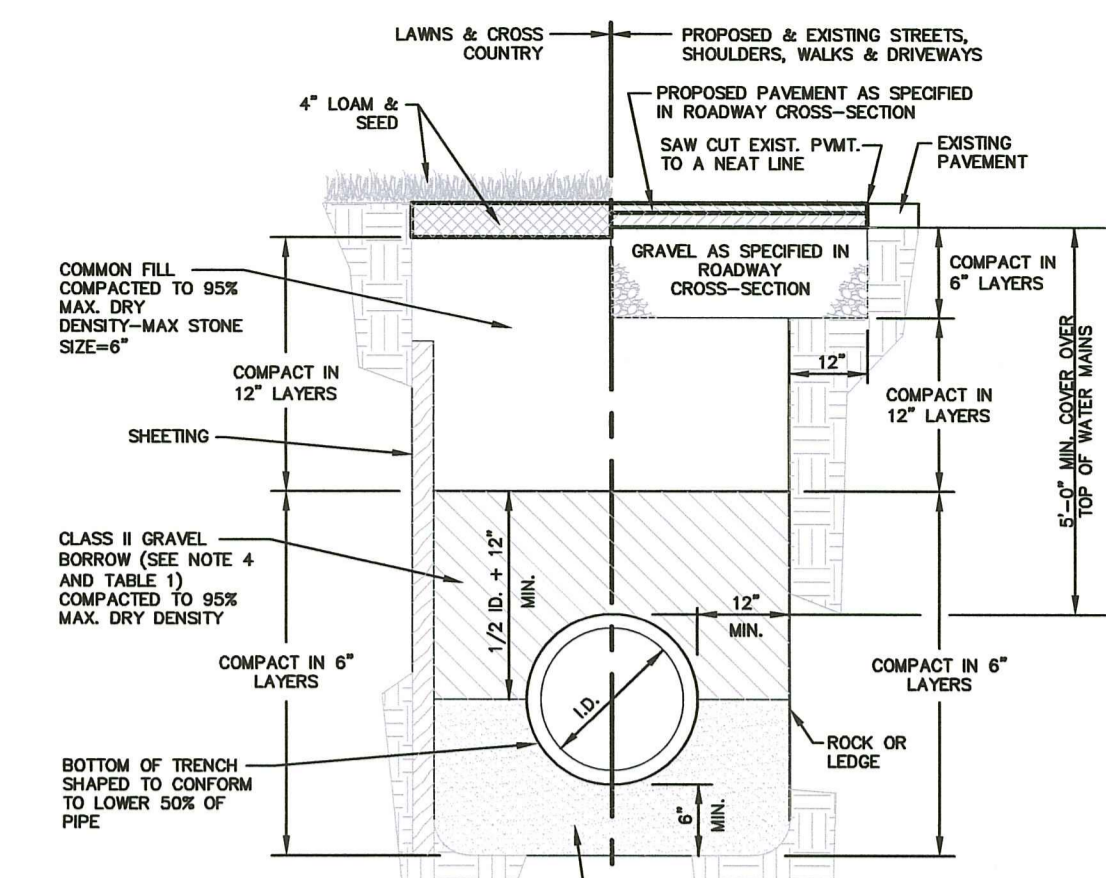


FOREBAY SECTION C-C  
NOT TO SCALE



INFILTRATION BASIN SECTION D-D  
NOT TO SCALE

BMP TABLE OF ELEVATIONS												
BMP	EXISTING ELEV.	SHGW ELEV. "A"	SEPARATION TO SHGW	PRIMARY TH	BOTTOM OF PRACTICE ELEV.	SECONDARY OUTLET INV.	TOP OF BERM ELEV.	WQV STORM ELEV.	1-YR STORM ELEV.	10-YR STORM ELEV.	100-YR STORM ELEV.	
FOREBAY	105.0	97.0	4.0	TH-1	101.0	103.25	N/A	104.0	103.32	103.39	103.52	103.76
INFILTRATION BASIN	105.8	97.8	4.2	TH-1	102.0	102.8	103.5	105.0	101.90	103.02	103.50	103.73
STORMWATER BASIN	100.0	96.5	3.5	TH-1	100.0	101.0	N/A	104.0	100.84	101.08	101.20	101.37

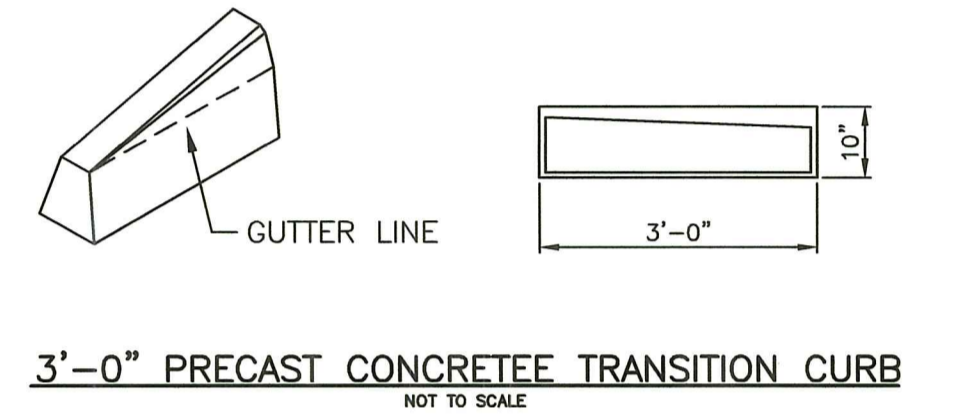
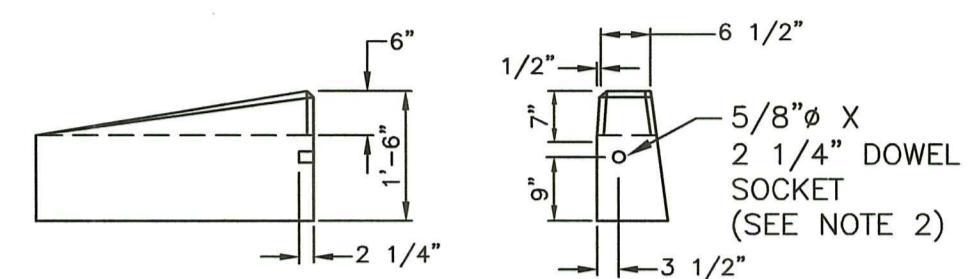
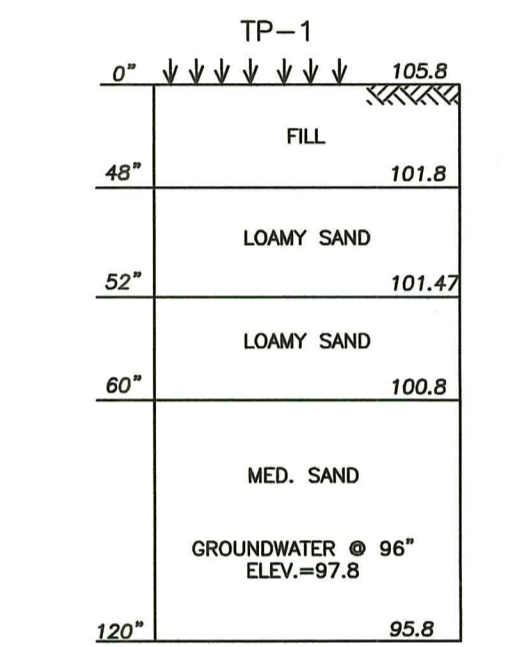


TYPICAL PIPE TRENCH DETAIL  
NOT TO SCALE

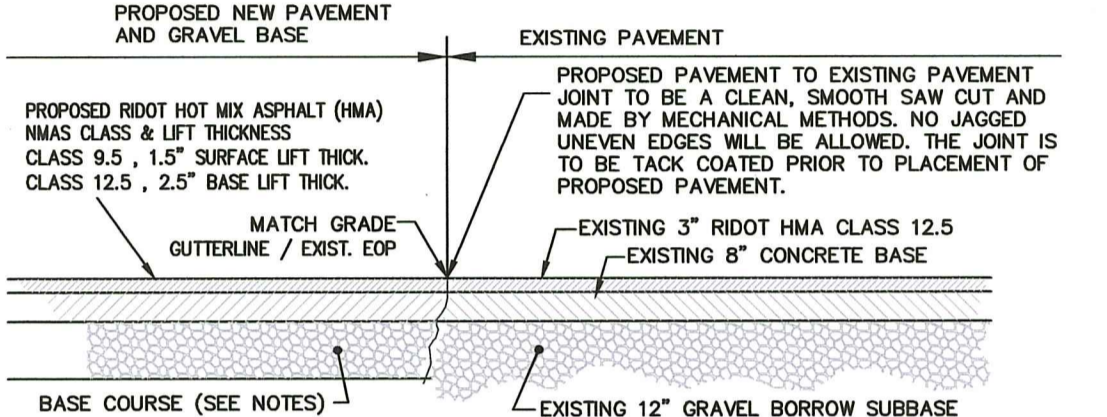
NOMINAL PIPE SIZE (IN.)	MAXIMUM STONE SIZE (IN.)
2 TO 4	1/2
6 TO 8	3/4
10 TO 18	1
18 AND LARGER	1-1/2

- NOTES:
- SHEETING IF USED, IN ALL CASES SHALL BE LEFT IN PLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED.
  - "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
  - SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORM GRADE SUCH THAT NOT LESS THAN 80% WILL PASS A 1/2 INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
  - CLASS II GRAVEL BORROW SHALL BE A CLEAN, COVERED GRAVEL-SAND MIXTURE. THE MIXTURE SHOULD CONTAIN LESS THAN 5% PASSING THE NO. 20 SIEVE, AS WELL AS COMPLYING TO THE REQUIREMENTS OF TABLE 1.
  - WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION, TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 3'-0" BEYOND THE PLUG.

**SOIL NOTES**  
SOIL EVALUATION PERFORMED BY MICHAEL E. RUSSELL ON AUGUST 23, 2024.

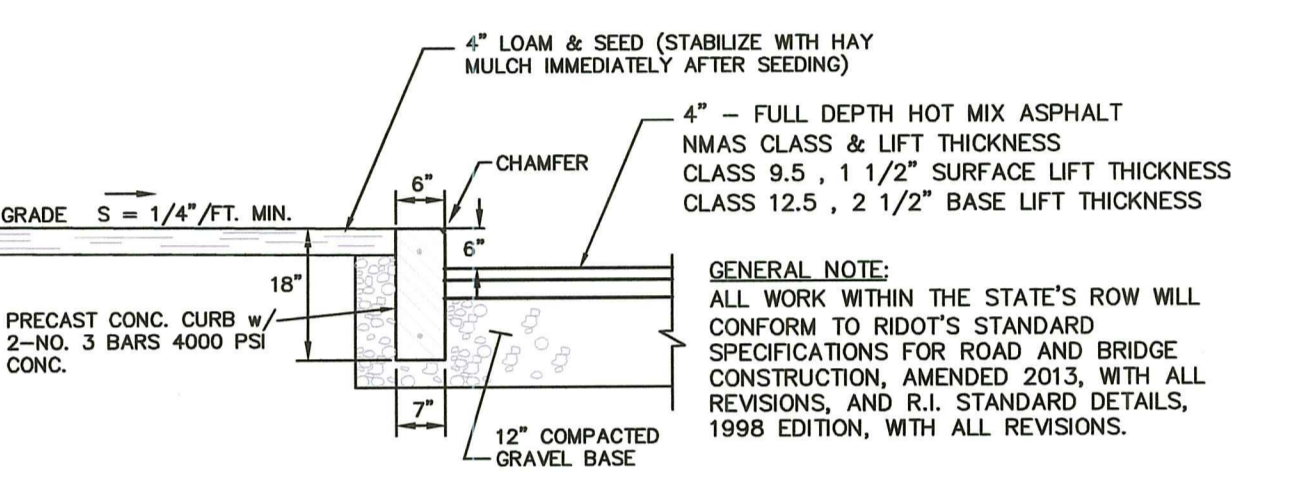


3'-0" PRECAST CONCRETE TRANSITION CURB  
NOT TO SCALE



PAVEMENT SAW CUT & MATCH  
ROADWAY ENTRANCE & UTILITY TRENCH  
NOT TO SCALE

- NOTES:
- ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 932 AND SECTION 934.03.1 OF THE R.I. STANDARD SPECIFICATIONS.
  - AGGREGATES, GRAVEL BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION 401 OF THE R.I. STANDARD SPECIFICATIONS.
  - PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 400 AND SECTION 403 OF THE R.I. STANDARD SPECIFICATIONS AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
  - CONCRETE MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
  - DEPTH(S) OF NEW MATERIALS SHALL AT MINIMUM MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, AND HOT MIX ASPHALT (HMA).
  - PAVEMENT CONSTRUCTION SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06 AND RIDOT SECT. 401.03.11 AND HOT MIX ASPHALT (HMA) CONSTRUCTION. GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11.
  - GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY ASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIEVE DESIGNATION | PERCENT PASSING | MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION |
|-------------------|-----------------|---|
| 1/2 IN            | 50-75           |   |
| NO. 4             | 40-75           |   |
| NO. 50            | 8-28            |   |
| NO. 200           | 0-10            |   |



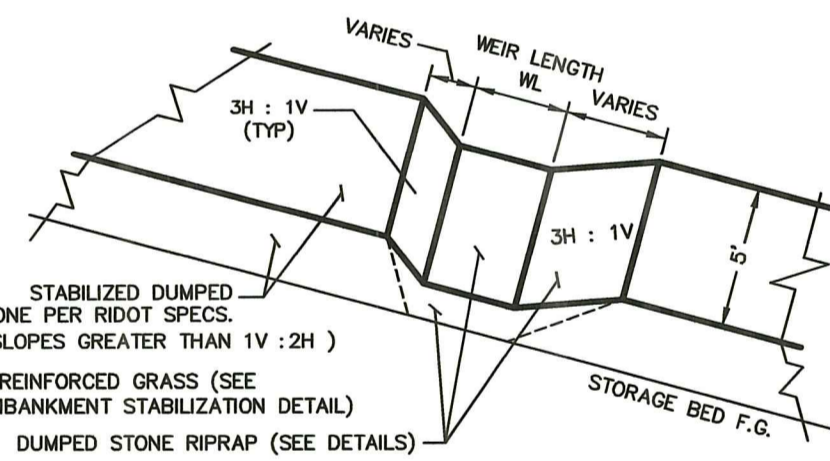
PAVEMENT & PRECAST CONCRETE CURB DETAIL  
NOT TO SCALE

- NOTES:
- HOT MIX ASPHALT (HMA) SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06 AND RIDOT SECT. 401.03.11 AND AS SPECIFIED IN THE RIDOT-HMA CONSTRUCTION SPECIFICATIONS.
  - 6" GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11 AS LISTED BELOW:

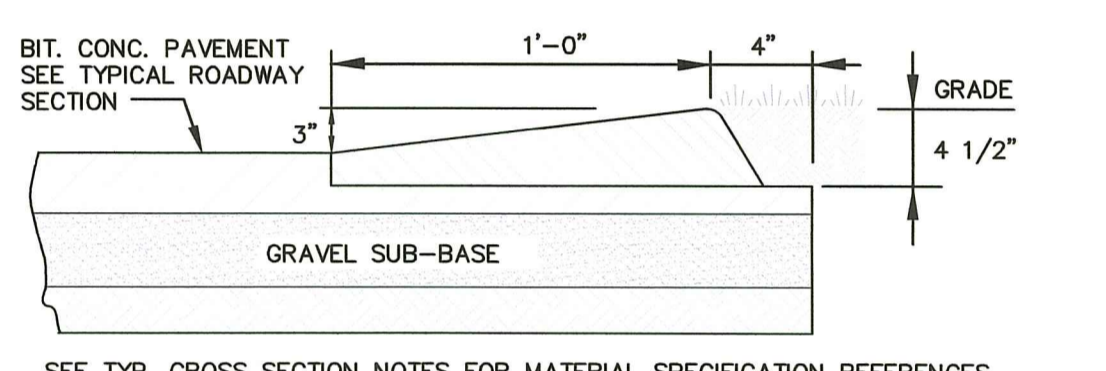
GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY ASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:

SIEVE DESIGNATION	PERCENT PASSING	MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION
1/2 IN	50-75	
NO. 4	40-75	
NO. 50	8-28	
NO. 200	0-10	

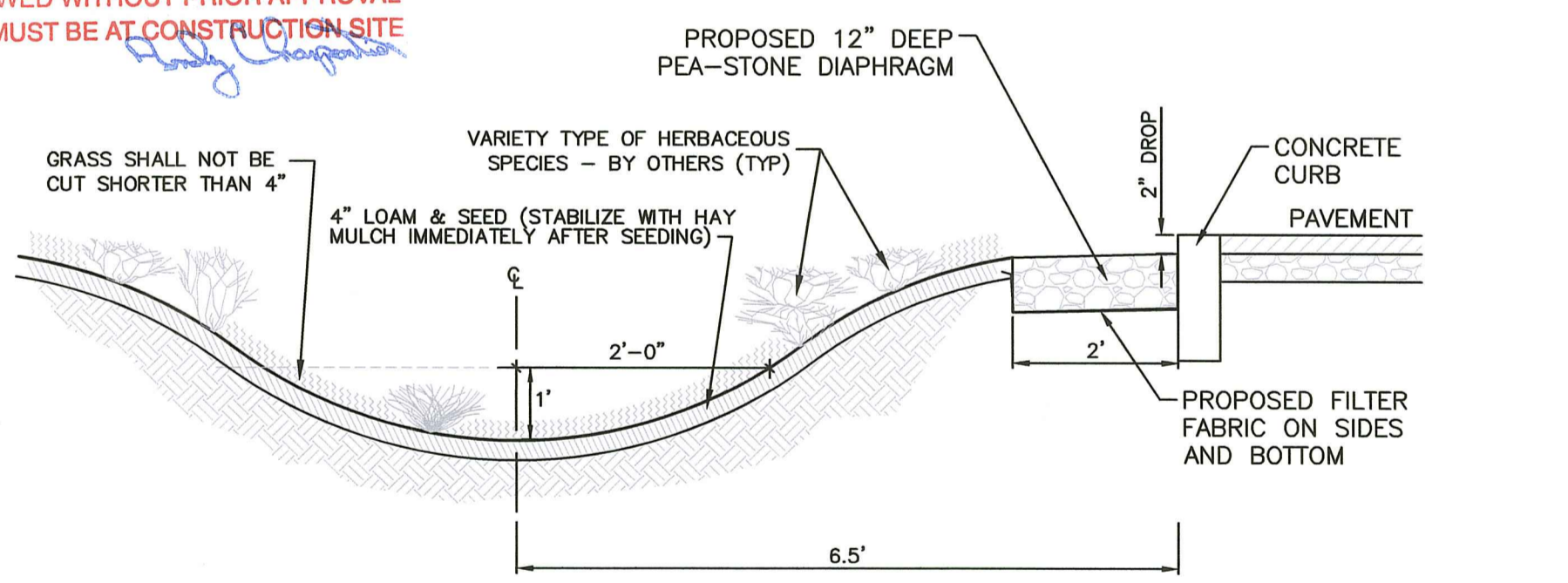
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: MAR 18 2025 FILE # 24-021  
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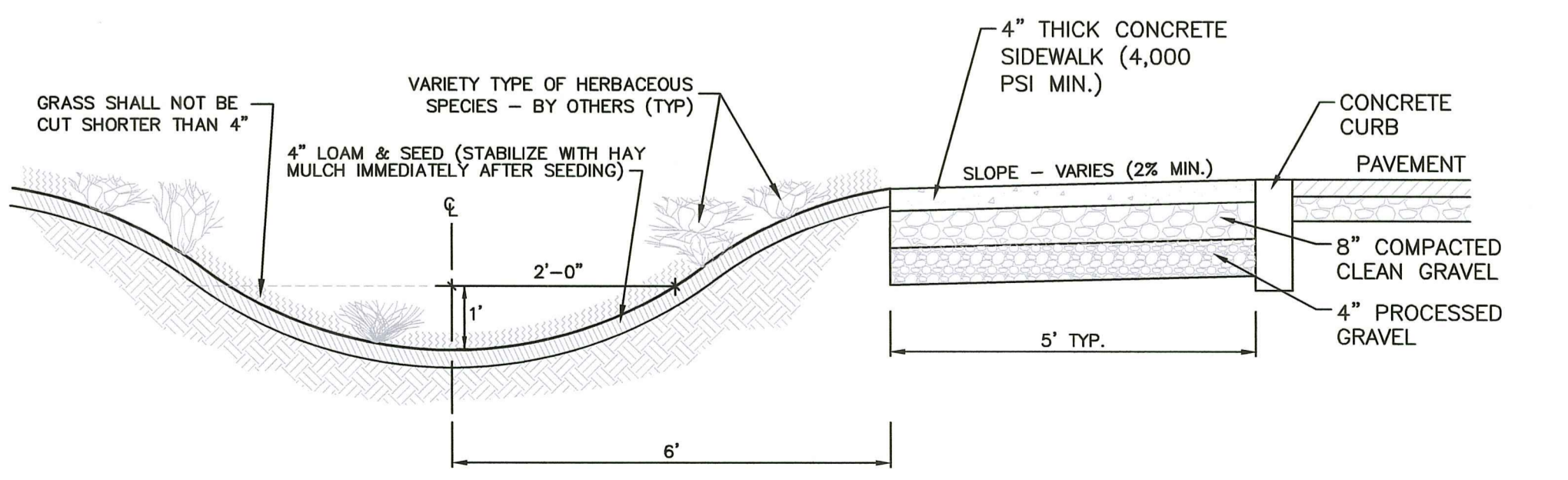
SEDIMENT FOREBAY  
OVERFLOW SPILLWAY DETAIL  
NOT TO SCALE



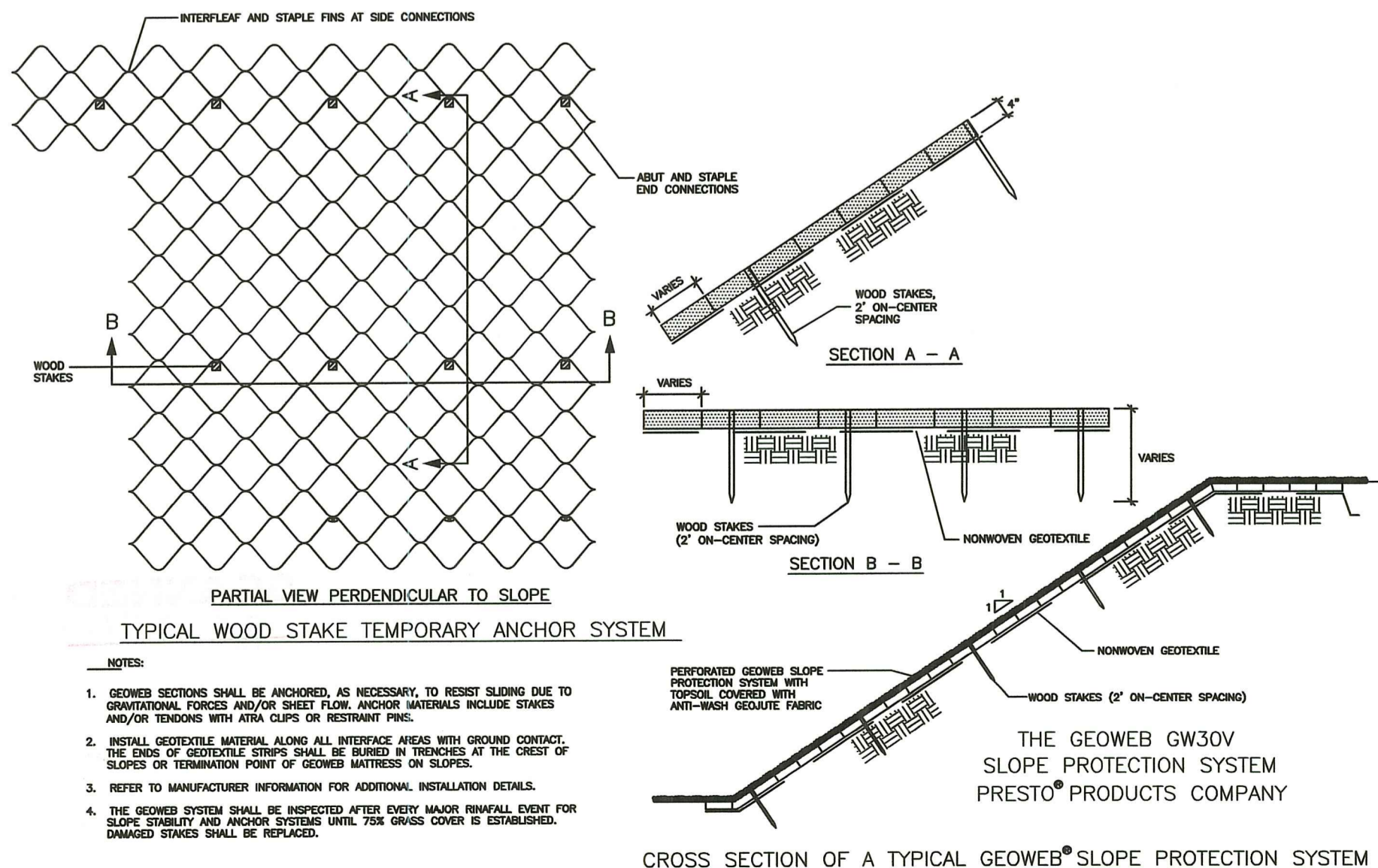
BITUMINOUS CONCRETE BERM DETAIL  
NOT TO SCALE



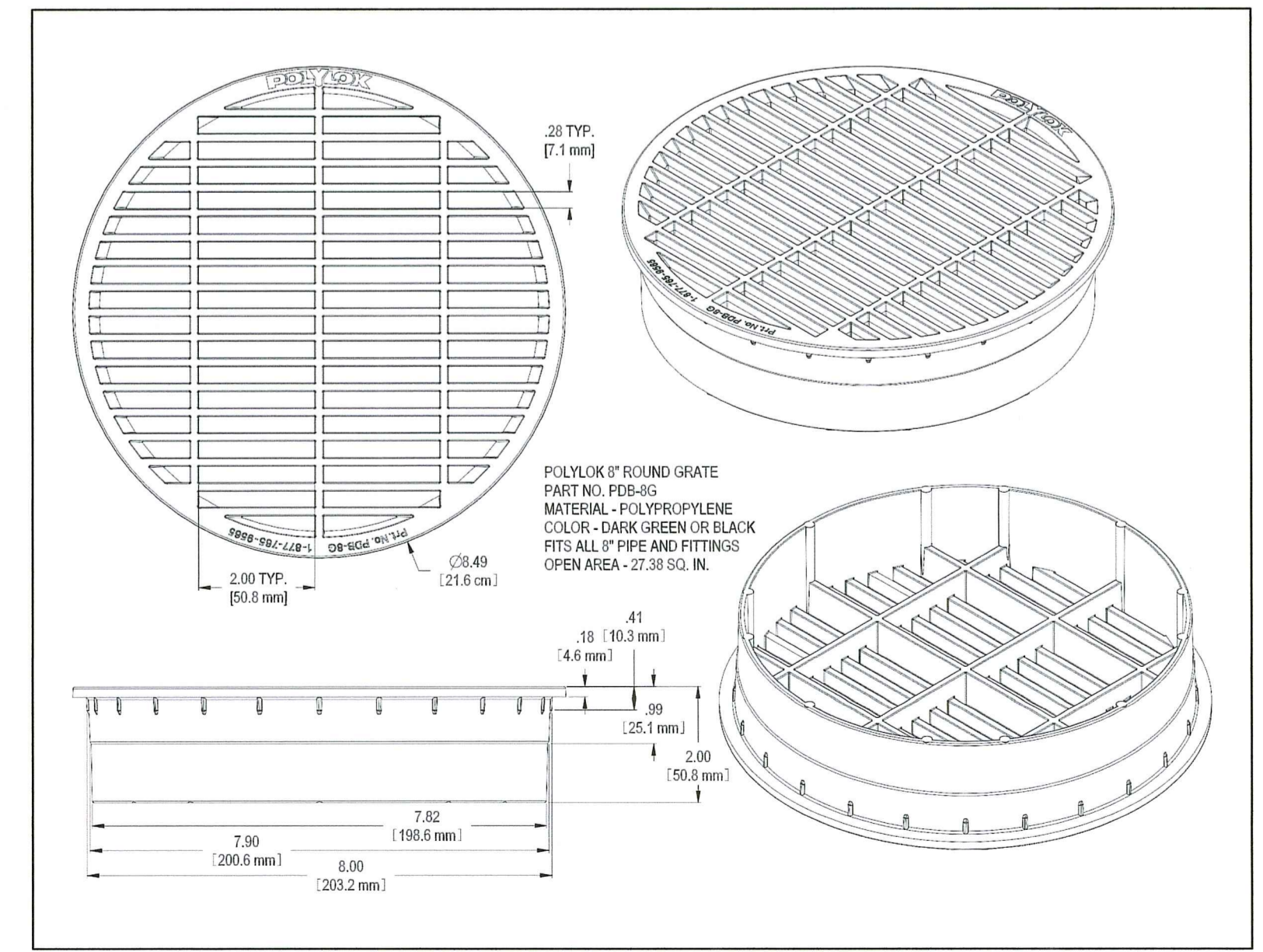
PROPOSED PEASTONE DIAPHRAGM & VEGETATED SWALE DETAIL - SECTION A-A  
NOT TO SCALE



PROPOSED CONCRETE SIDEWALK & VEGETATED SWALE DETAIL - SECTION B-B  
NOT TO SCALE



TYPICAL WOOD STAKE TEMPORARY ANCHOR SYSTEM  
NOT TO SCALE



TRASH RACK DETAIL  
NOT TO SCALE

NO.	DATE	DESCRIPTION
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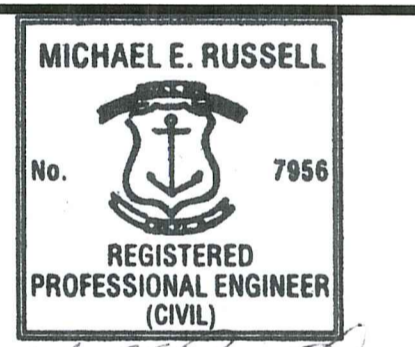
PLAN REVISIONS

DATE: MAY 21, 2024

DRAWN BY: SJE COMPS. BY: SJE CHECK BY: MER

PROJECT NO. 23012

ISSUED FOR: PERMITTING



**COMMERCIAL SITE REDEVELOPMENT PLANS**  
604 LIBERTY LANE  
SOUTH KINGSTOWN, RHODE ISLAND  
ASSESSORS MAP 21-3, LOT 3  
PREPARED FOR  
MODINE MANUFACTURING COMPANY

DRAWING TITLE:  
**CONSTRUCTION DETAILS**

SCALE: AS NOTED

SHEET NO.