

**NOTES:**

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC BETWEEN FEBRUARY 7, 2024 AND FEBRUARY 20, 2024.
- THE SITE IS NOT LOCATED WITHIN ANY KNOWN SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF PORTSMOUTH FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445405 0113 J AND NUMBER 445405 0111 J (MAP EFFECTIVE DATES SEPTEMBER 4, 2013).
- WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY McCUE ENVIRONMENTAL, LLC AND LOCATED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC.
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- WETLAND DELINEATION PERFORMED BY MCCUE ENVIRONMENTAL, LLC. ON MAY 31, 2023.

**STORMWATER BEST MANAGEMENT PRACTICES**  
 REGULATION REFERENCE:  
 STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT. RICRMP SECTION 300.6

**WATER QUALITY VOLUME (WQV)**  
 PROPOSED DWELLING = 3,500 SF  
 PROPOSED GARAGE = 1,125 SF  
 NEW DRIVEWAY = 3,377 SF  
 TOTAL NEW AREA = 8,002 S.F. (TOTAL IMPERVIOUS AREA)  
 WQV = 1" x (A) x 8,002 S.F. = 666.8 C.F. (REQ'D)

**BMP'S UTILIZED**  
 VEGETATED SWALES:  
 VEGETATED SWALE SIZING GUIDANCE PER REGULATION:  
 TABLE 5: SURFACE AREA REQUIRED SILTY SOILS

VEGETATED SWALE = 8±" DEEP (SEE DETAIL)  
 DRAINAGE AREA SIZING = 160 S.F. / 1000 S.F. (DRAINAGE AREA)

VEGETATED SWALE AREA REQUIRED (75% OF NEW ROOF) = ( 2,625 / 1,000 ) x 160 S.F. = 420 S.F.

VEGETATED SWALE-1 SURFACE AREA (168'L X 2.5'W) = 420 S.F.  
 DRAINAGE AREA PROVIDED = ( 420 / 160 ) x 1,000 S.F. = 2,625± S.F.

**INFILTRATION TRENCHES:**  
 INFILTRATION TRENCH SIZING GUIDANCE PER REGULATION:  
 TABLE 11: SURFACE AREA REQUIRED SILTY SOILS

INFILTRATION TRENCH = 24±" DEEP (SEE DETAIL)  
 DRAINAGE AREA SIZING = 113 S.F. / 1000 S.F. (DRAINAGE AREA)

INFILTRATION TRENCH = 12±" DEEP (SEE DETAIL)  
 DRAINAGE AREA SIZING = 213 S.F. / 1000 S.F. (DRAINAGE AREA)

INFILTRATION TRENCH-1 AREA REQUIRED (PORTION OF DRIVEWAY) = ( 531 / 1,000 ) x 113 S.F. = 60 S.F.

INFILTRATION TRENCH-2 AREA REQUIRED (PORTION OF DRIVEWAY) = ( 502 / 1,000 ) x 213 S.F. = 107 S.F.

24" STONE INFILTRATION TRENCH SURFACE AREA (168'L X 2.5'W) = 420 S.F.  
 DRAINAGE AREA PROVIDED = ( 60 / 113 ) x 1,000 S.F. = 531± S.F.

12" STONE INFILTRATION TRENCH SURFACE AREA (168'L X 2.5'W) = 420 S.F.  
 DRAINAGE AREA PROVIDED = ( 107 / 213 ) x 1,000 S.F. = 502± S.F.

**RAIN GARDENS:**  
 RAIN GARDEN SIZING GUIDANCE PER REGULATION:  
 TABLE 8: SURFACE AREA REQUIRED SILTY SOILS

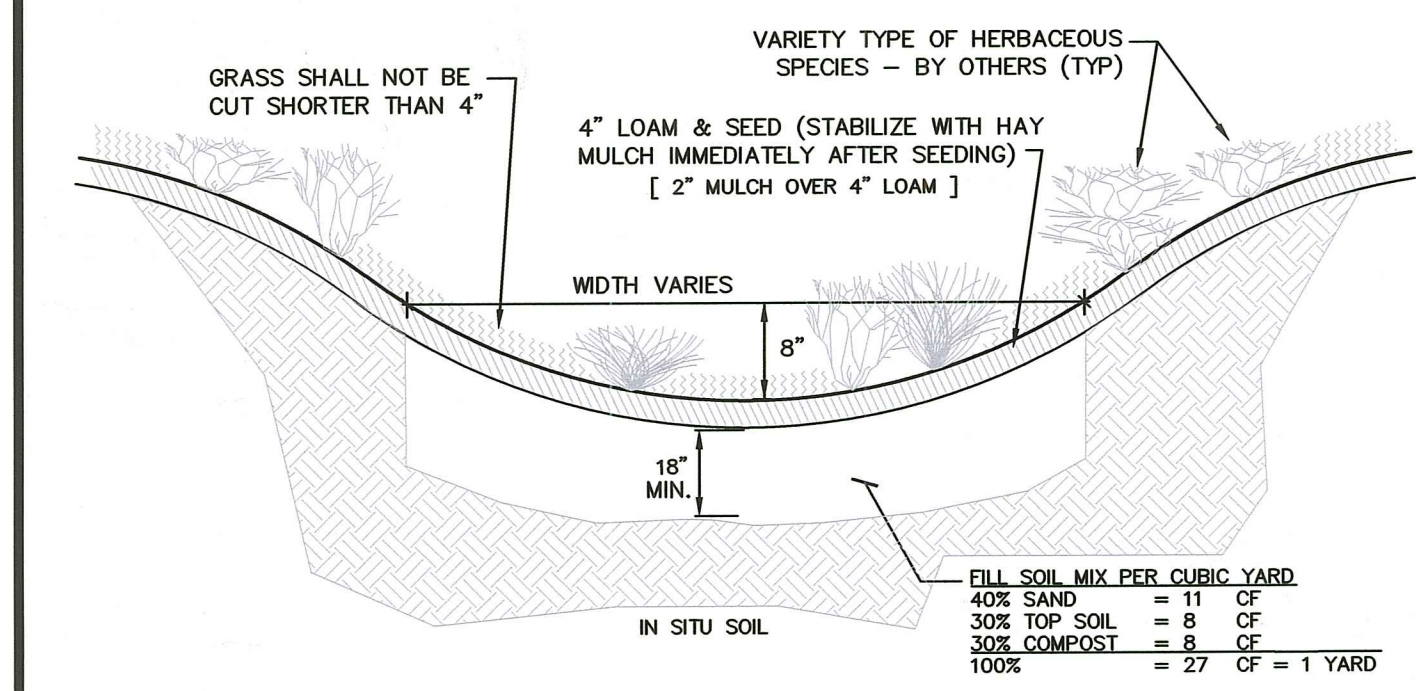
RAIN GARDEN = 8±" DEEP (SEE DETAIL)  
 DRAINAGE AREA SIZING = 160 S.F. / 1000 S.F. (DRAINAGE AREA)

RAIN GARDEN AREA REQUIRED (REMAINING IMPERVIOUS) = ( 4,344 / 1,000 ) x 160 S.F. = 695 S.F.

RAIN GARDEN:  
 RAIN GARDEN SURFACE AREA = 840 S.F.  
 DRAINAGE AREA PROVIDED = ( 840 / 160 ) x 1,000 S.F. = 5,250± S.F.

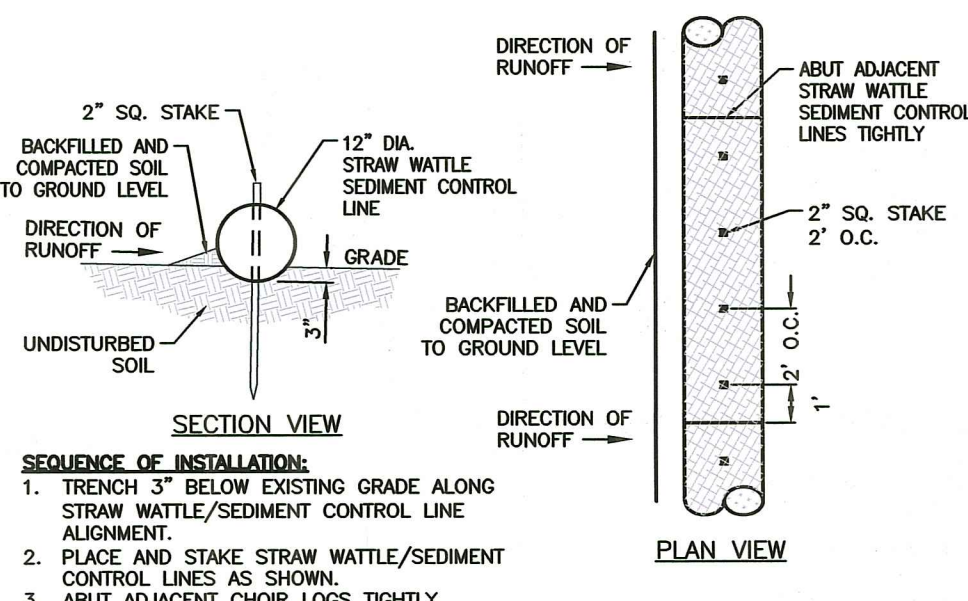
BMP SYSTEMS SURFACE AREA PROVIDED = 592 S.F. > 447 S.F. (REQ'D)  
 TOTAL DRAINAGE AREA SIZE PROVIDED = 3,631 S.F. > 2,792 S.F. (REQ'D)

**WATER QUALITY VOLUME (WQV) PROVIDED:**  
 SWALE-1 420 SF x 8" DEEP = 280 C.F.  
 INFILTRATION TRENCH-1 24" DEEP X 60 SF X 0.33 (VOID) = 39.6 C.F.  
 INFILTRATION TRENCH-2 12" DEEP X 107 SF X 0.33 (VOID) = 35.3 C.F.  
 RAIN GARDEN 840 SF X 8" DEEP = 580 C.F.  
 TOTAL WQV = 914.9 C.F. (PROVIDED) > 666.8 C.F. (REQ'D)

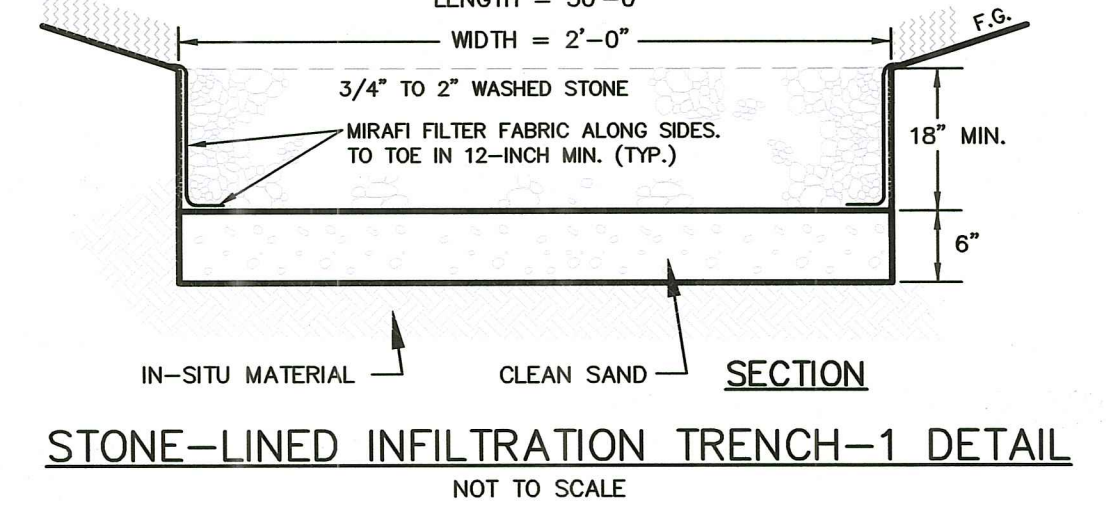


**NOTES:**

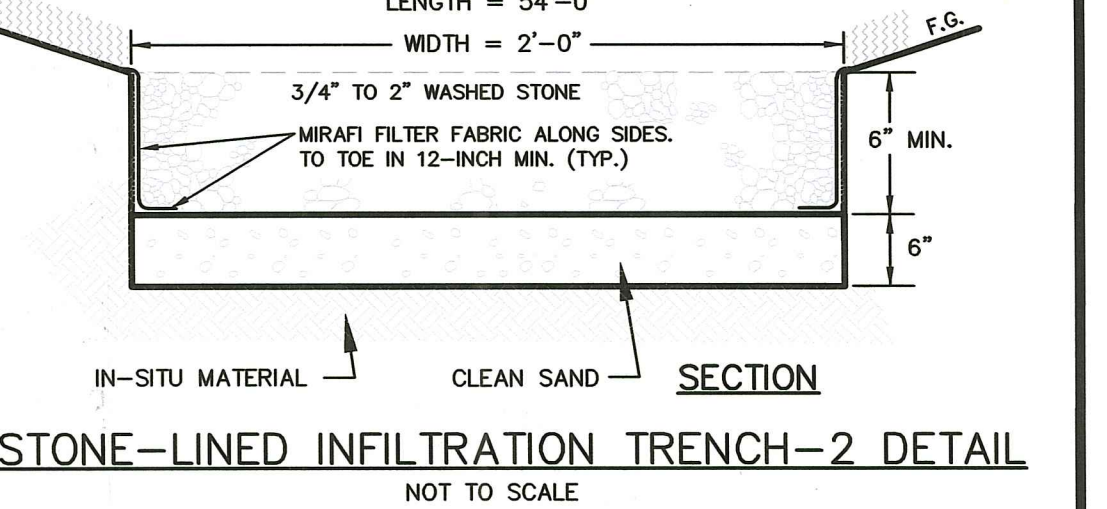
- TO SEE LIST OF APPROVED GRASSES FOR USE IN OPEN CHANNELS AND RAIN GARDENS SEE THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, APPENDIX B: VEGETATION GUIDELINES AND PLANTING LIST, SECTION B.6 OPEN CHANNELS, TABLE B-2.
- FOR EMERGENT PLANT SPECIES SEE THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, APPENDIX B: VEGETATION GUIDELINES AND PLANTING LIST, TABLE B-6 PLANT LIST FOR STORMWATER BASINS AND WQTS. (ZONE 3 & ZONE 4)



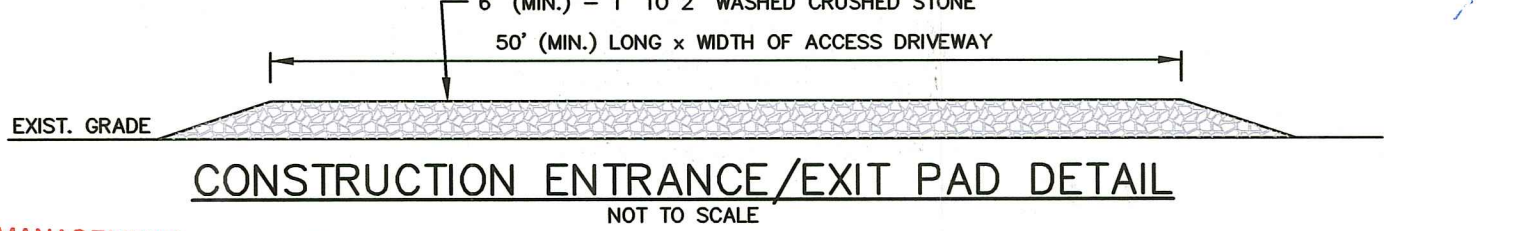
TYPICAL EROSION/SEDIMENT CONTROL FENCE STRAW WATTLE DETAIL NOT TO SCALE



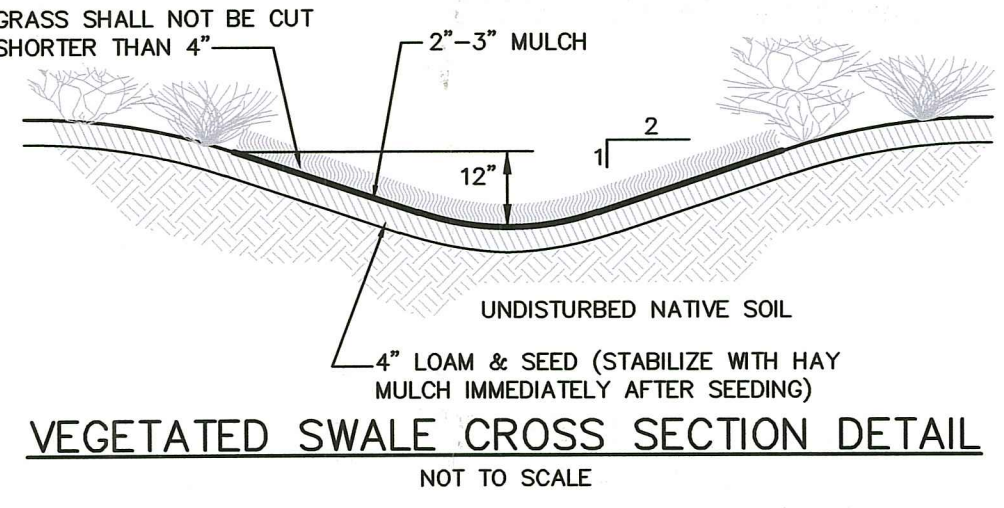
STONE-LINED INFILTRATION TRENCH-1 DETAIL NOT TO SCALE



STONE-LINED INFILTRATION TRENCH-2 DETAIL NOT TO SCALE



CONSTRUCTION ENTRANCE/EXIT PAD DETAIL NOT TO SCALE



VEGETATED SWALE CROSS SECTION DETAIL NOT TO SCALE

**CURRENT OWNER**  
 HELEN GREER LYON  
 EXEMPT MARITAL TRUST  
 PO BOX 2533  
 NEWPORT, RI 02840

**TITLE REFERENCE:**  
 DEED BK.1804/PG.85

**SITE LOCATION:**  
 0 BRIARWOOD LANE  
 PORTSMOUTH, RHODE ISLAND

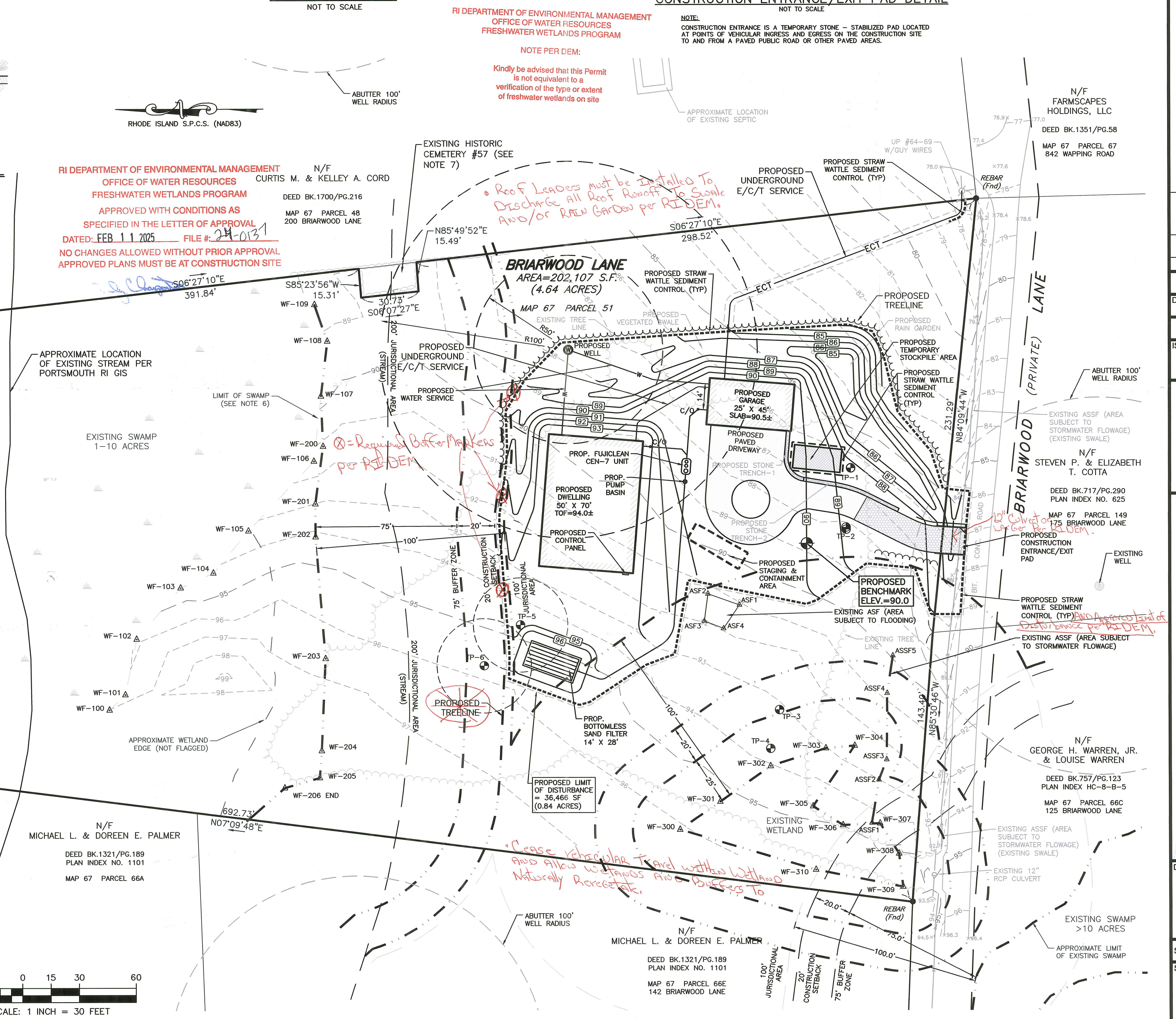
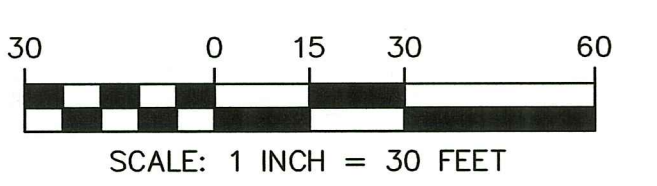
**ASSESSORS REFERENCE:**  
 MAP 67 PARCEL 51

**R-40 RESIDENTIAL ZONING DISTRICT**

REGULATION	REQUIREMENT
MIN. LOT AREA	40,000 SQ. FT.
LOT FRONTAGE	125 FT.
FRONT SETBACK	30 FT.
SIDE SETBACK	20 FT.
REAR SETBACK	30 FT.
MAX. BUILDING HEIGHT	35 FT.
MAX. LOT COVERAGE	20%

**LEGEND**

- CATCH BASIN
- CONCRETE BOUND W/DRILL HOLE
- ELECTRIC METER
- ⊛ LAMP POST
- ⊛ LANDSCAPING
- MAIL BOX
- OVERHEAD WIRES
- PROPERTY LINE
- SIGN
- ⊙ SPOT ELEVATION
- - - TOPOGRAPHIC CONTOUR
- ⊙ TREE
- ⊙ UTILITY POLE
- ⊙ WELL



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

NOTE PER DEM:  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED: FEB 11 2025 FILE # 24-013

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Roof Leaders must be installed to Discharge All Roof Runoff to Swale and/or Rain Garden per RIDEM.*

*Required Buffer Markers per RIDEM*

*Proposed Limit of Disturbance = 36,466 SF (0.84 ACRES)*

*Propose rectangular Trench with natural material and allow various size buffers to naturally absorb.*

**LDEC**  
 Land Development Engineering & Consulting, LLC

207 High Point Avenue, Unit 6  
 Portsmouth, RI 02871  
 T: 401-354-2050 F: 401-369-9775  
 WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
1.	5/22/2024	UPDATED WETLAND BOUNDARIES, BUFFERS & SETBACKS. GENERAL OWTS REVISIONS PER RIDEM COMMENTS
2.	9/9/2024	UPDATED WETLAND BOUNDARIES, BUFFERS & SETBACKS.
3.	10/1/2024	GENERAL STORMWATER REVISIONS
4.	12/3/2024	ADDED NEW TEST PITS, REVISED LEACHFIELD LOCATIO & UPDATED WETLAND LINES/BUFFERS

DATE: MARCH 5, 2024

PROJECT NO. 22057

ISSUED FOR: PERMITTING

**MICHAEL E. RUSSELL**  
 No. 7956  
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

**PROPOSED SITE PLAN**  
 BRIARWOOD LANE  
 PORTSMOUTH, RHODE ISLAND  
 ASSESSORS MAP 67, PARCEL 51

DEC 12 2024

DRAWING TITLE: SITE PLAN

SCALE: 1"=30'

SHEET NO. 1 OF 1

PREPARED FOR: HELEN GREER LYON EXEMPT MARITAL TRUST