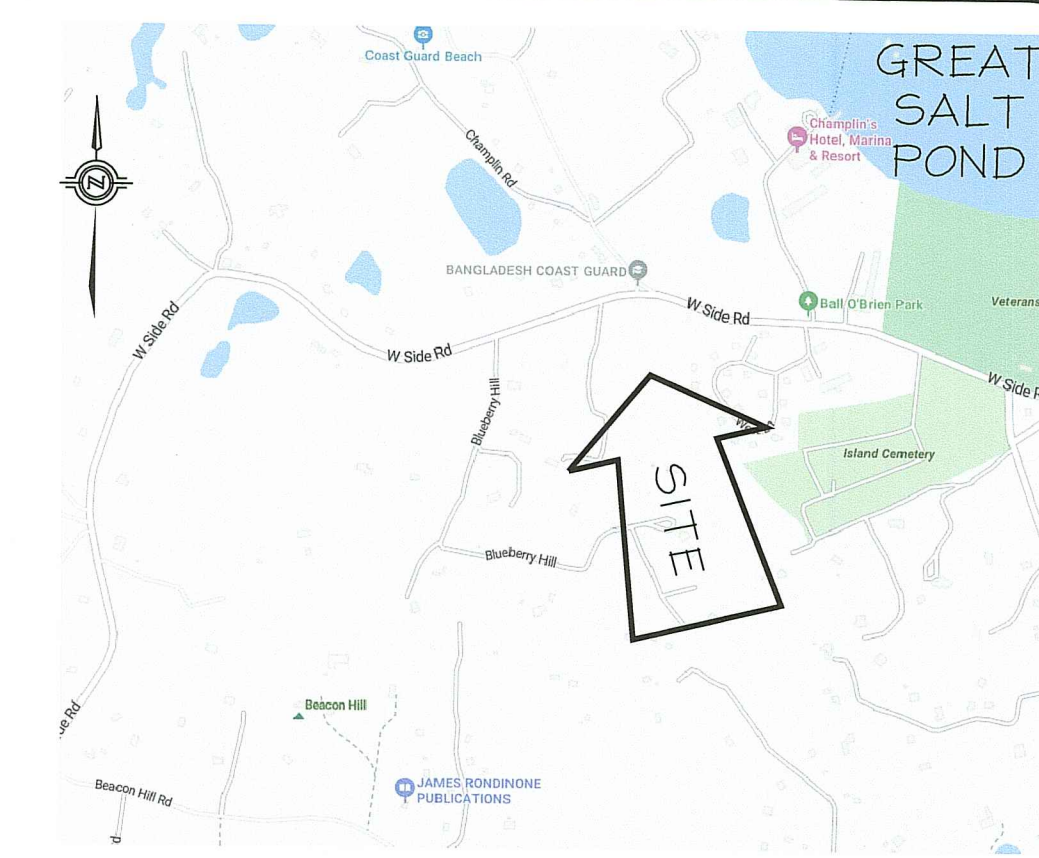


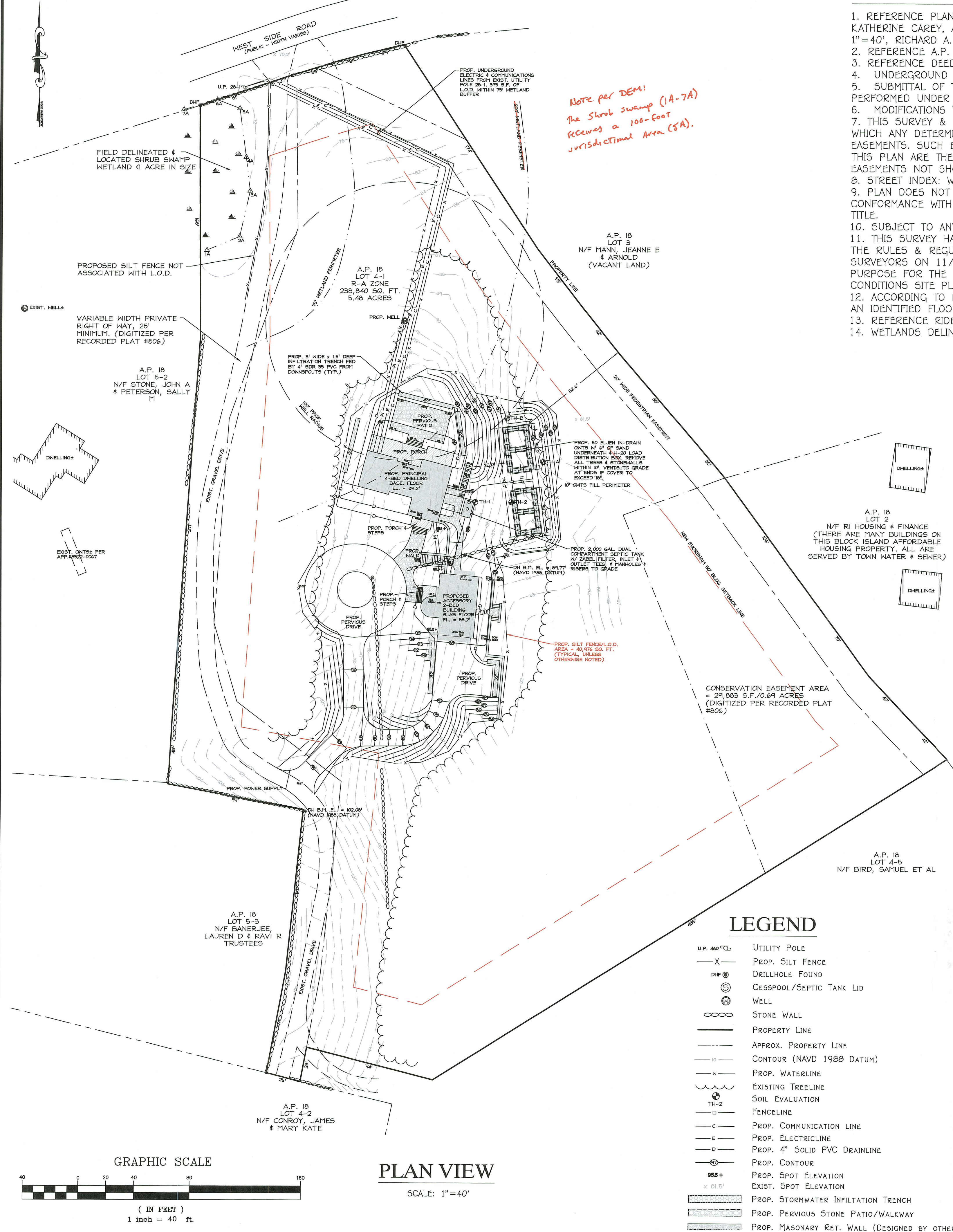
GENERAL NOTES:

1. REFERENCE PLAN ENTITLED "FINAL MAJOR SUBDIVISION PREPARED FOR SAMUEL BIRD, SALLY JELLET, & KATHERINE CAREY, ASSESSOR'S PLAT 18, LOTS 4-1 & 4-5, WEST SIDE ROAD, NEW SHOREHAM, RI, SCALE: 1"=40', RICHARD A. GREENE & ASSOCIATES, INC., NOV. 2, 2009." RECORDED PLAT # 806.
2. REFERENCE A.P. 18
3. REFERENCE DEED BOOK/PAGE: 570/451, 514/284, 424/108, 156/293
4. UNDERGROUND UTILITIES ARE NOT LOCATED AS PART OF THIS PROJECT.
5. SUBMITTAL OF THIS PLAN TO RIDEM IS BEYOND THE SCOPE OF THIS PROJECT AND MUST BE PERFORMED UNDER A SEPARATE AGREEMENT.
6. MODIFICATIONS TO THIS PLAN ARE PROHIBITED WITHOUT PERMISSION OF ATLAS LAND SURVEYING, LLC.
7. THIS SURVEY & PLAN DOES NOT SHOW ANY PRESCRIPTIVE EASEMENTS OR SUFFICIENT EVIDENCE BY WHICH ANY DETERMINATION CAN BE MADE BY THIS SURVEYOR ABOUT THE EXISTENCE OF PRESCRIPTIVE EASEMENTS. SUCH EASEMENTS COULD EXIST ON THIS PROPERTY & NOT APPEAR ON THIS PLAN. USERS OF THIS PLAN ARE THEREFORE WARNED TO BE ON THE ALERT FOR THE EXISTENCE OF PRESCRIPTIVE EASEMENTS NOT SHOWN HEREON.
8. STREET INDEX: WEST SIDE ROAD
9. PLAN DOES NOT STATE ANY OPINION REGARDING WHETHER THE OCCUPATION & USES NOT IN CONFORMANCE WITH THE RECORD LINE OF TITLE HAVE RIPPENED TO PRESCRIPTIVE EASEMENTS OR ADVERSE TITLE.
10. SUBJECT TO ANY EASEMENTS OR RIGHTS OF WAY OF RECORD.
11. THIS SURVEY HAS BEEN CONDUCTED & THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES & REGULATIONS ADOPTED BY THE RI STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON 11/25/2015 AS FOLLOWS: PERIMETER SURVEY: CLASS III, TOPOGRAPHY: CLASS III. THE PURPOSE FOR THE CONDUCT OF THE SURVEY & THE PLAN PREPARATION IS FOR CREATING A PROPOSED CONDITIONS SITE PLAN.
12. ACCORDING TO FEMA MAP #44009C0362J, DATED 10/16/2013, THE PROPERTY IS NOT LOCATED WITHIN AN IDENTIFIED FLOOD ZONE.
13. REFERENCE RIDEM OWTS APP.#2322-0194 (DESIGNED BY OTHERS) FOR MORE INFO.
14. WETLANDS DELINEATED BY NINIGRET ENVIRONMENTAL, LLC IN MAY 2024.



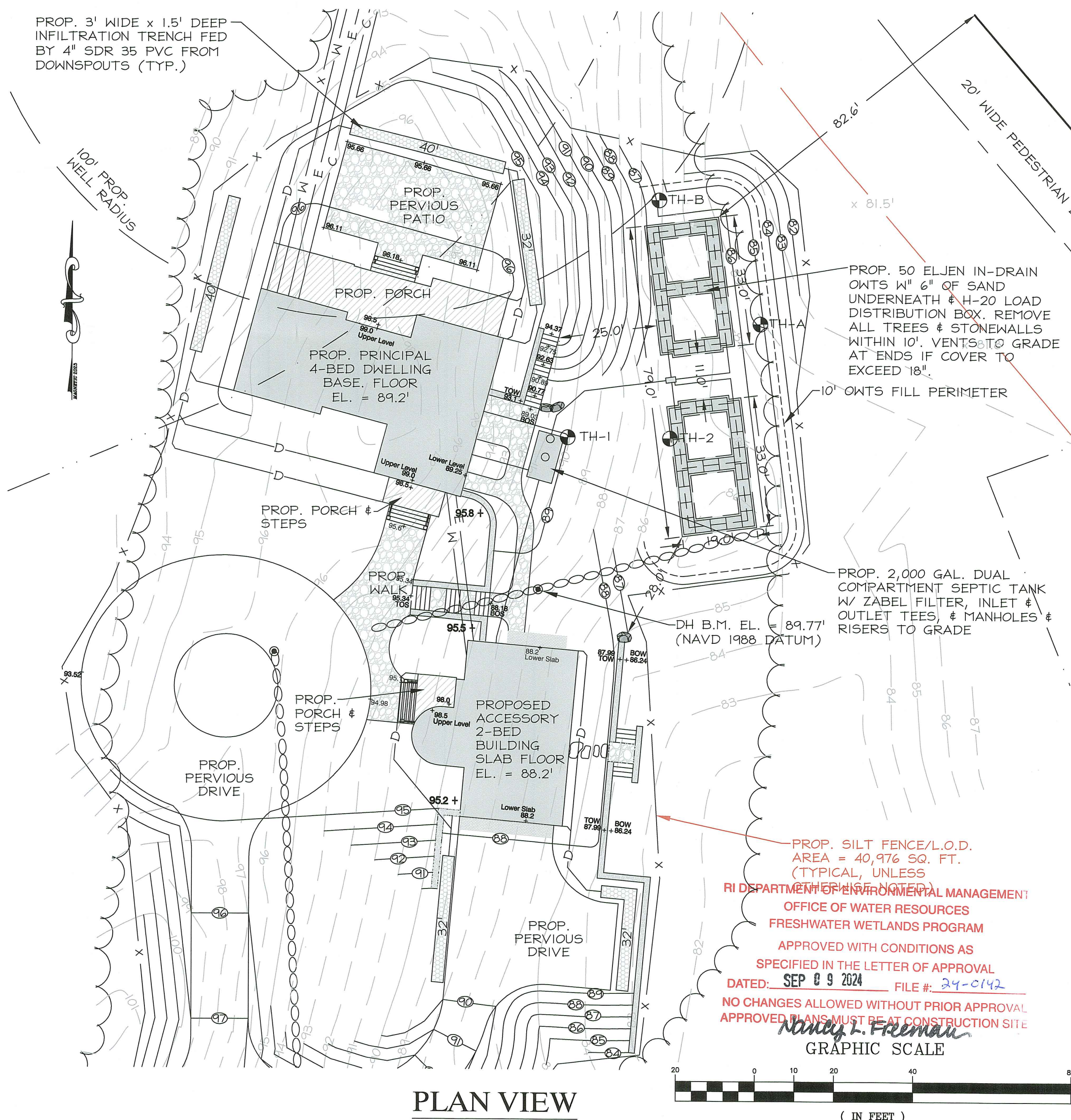
LOCUS MAP

*Note per DEM:
The Shrub Swamp (1A-7A)
Receives a 100-foot
jurisdictional Area (SA).*



LEGEND

- U.P. 440'± UTILITY POLE
- X- PROP. SILT FENCE
- DHF Ⓞ DRILLHOLE FOUND
- ⊙ CESSPOOL/SEPTIC TANK LID
- ⊕ WELL
- ⊖ STONE WALL
- PROPERTY LINE
- - - - - APPROX. PROPERTY LINE
- CONTOUR (NAVD 1988 DATUM)
- - - - - PROP. WATERLINE
- - - - - EXISTING TREELINE
- ⊕ SOIL EVALUATION
- - - - - FENCELINE
- - - - - PROP. COMMUNICATION LINE
- - - - - PROP. ELECTRICLINE
- - - - - PROP. 4" SOLID PVC DRAINLINE
- ⊕ PROP. CONTOUR
- ⊕ PROP. SPOT ELEVATION
- ⊕ EXIST. SPOT ELEVATION
- ⊕ PROP. STORMWATER INFILTRATION TRENCH
- ⊕ PROP. PERVIOUS STONE PATIO/WALKWAY
- ⊕ PROP. MASONARY RET. WALL (DESIGNED BY OTHERS)



PROP. SILT FENCE/L.O.D. AREA = 40,976 SQ. FT. (TYPICAL, UNLESS OTHERWISE NOTED)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: **SEP 09 2024** FILE # **24-C142**

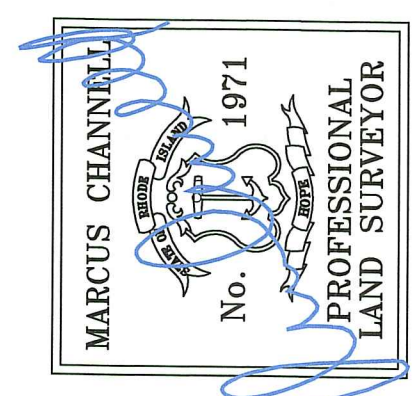
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Atlas Land Surveying

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

NEW ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

A.P. 18, LOT 4-1
WEST SIDE ROAD
NEW SHOREHAM, RHODE ISLAND
Prepared For:
CHARLES A III & CYNTHIA A BACON



ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING

177 Burbank Drive ~ Warwick, RI 02886
401-737-4407
WWW.ATLASLANDSURVEYING.COM

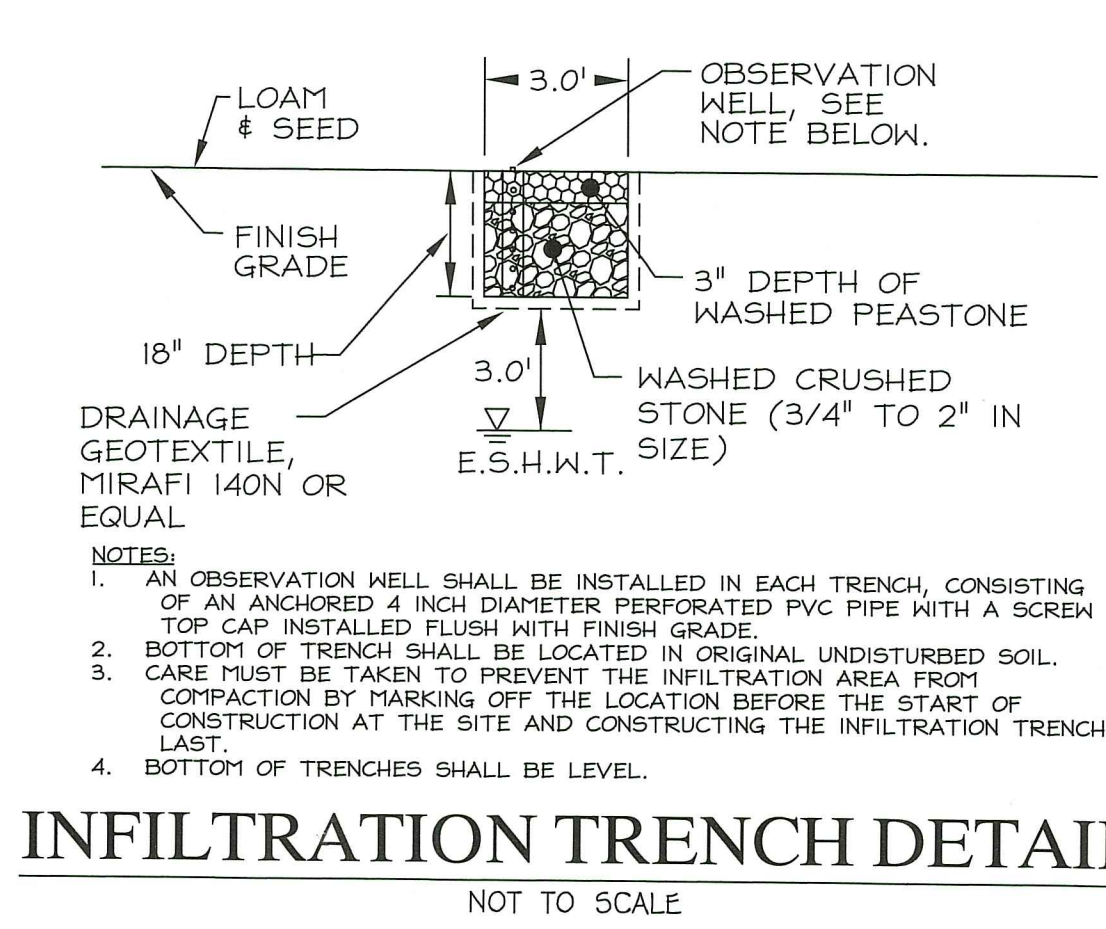
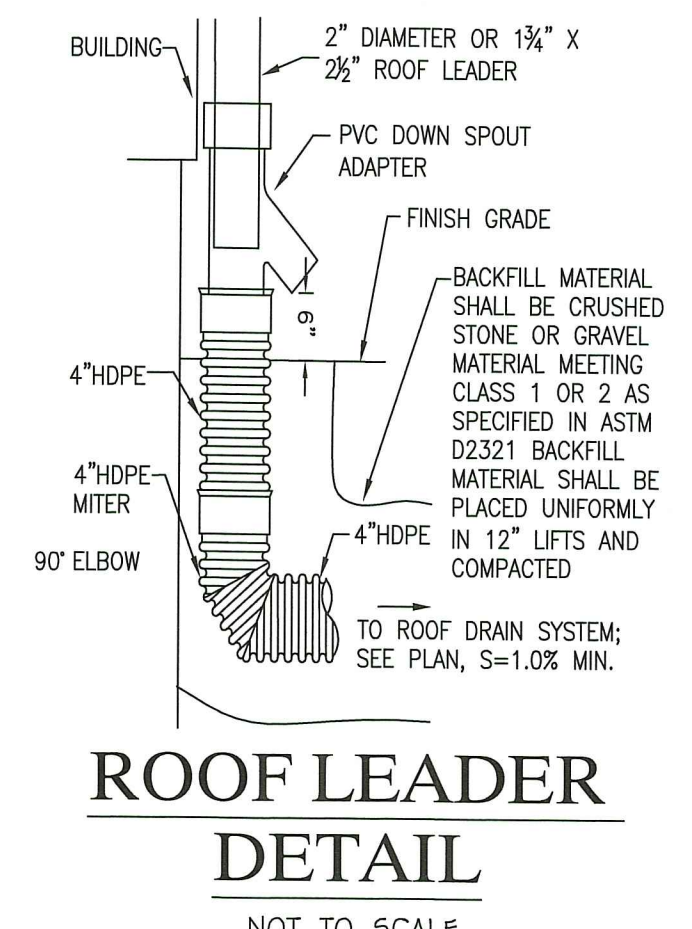
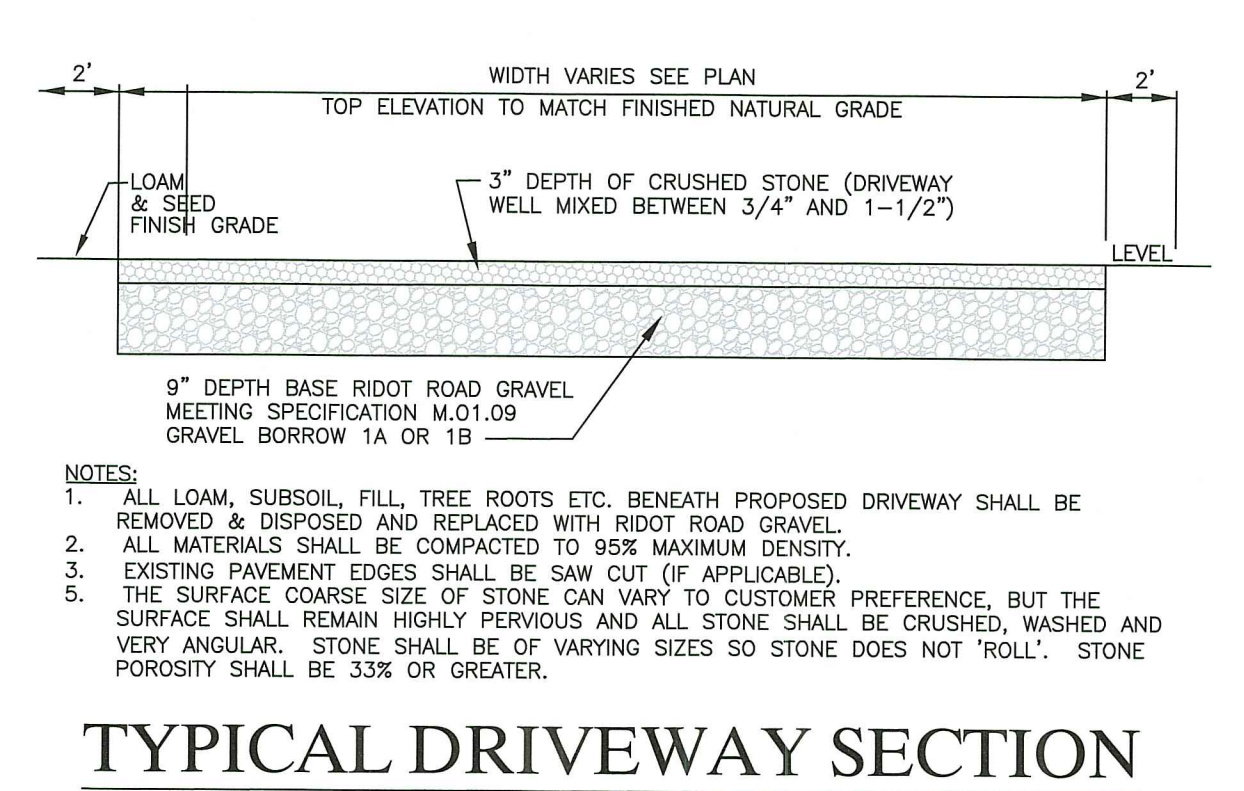
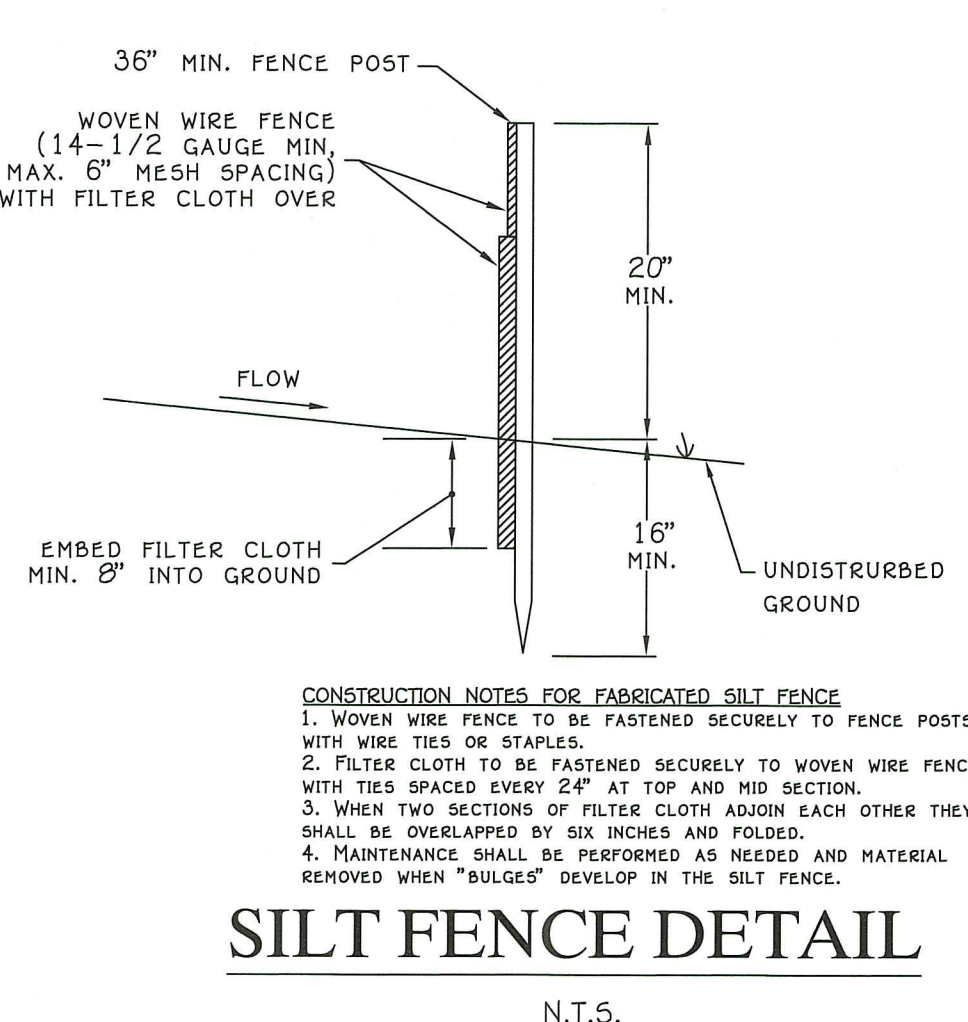
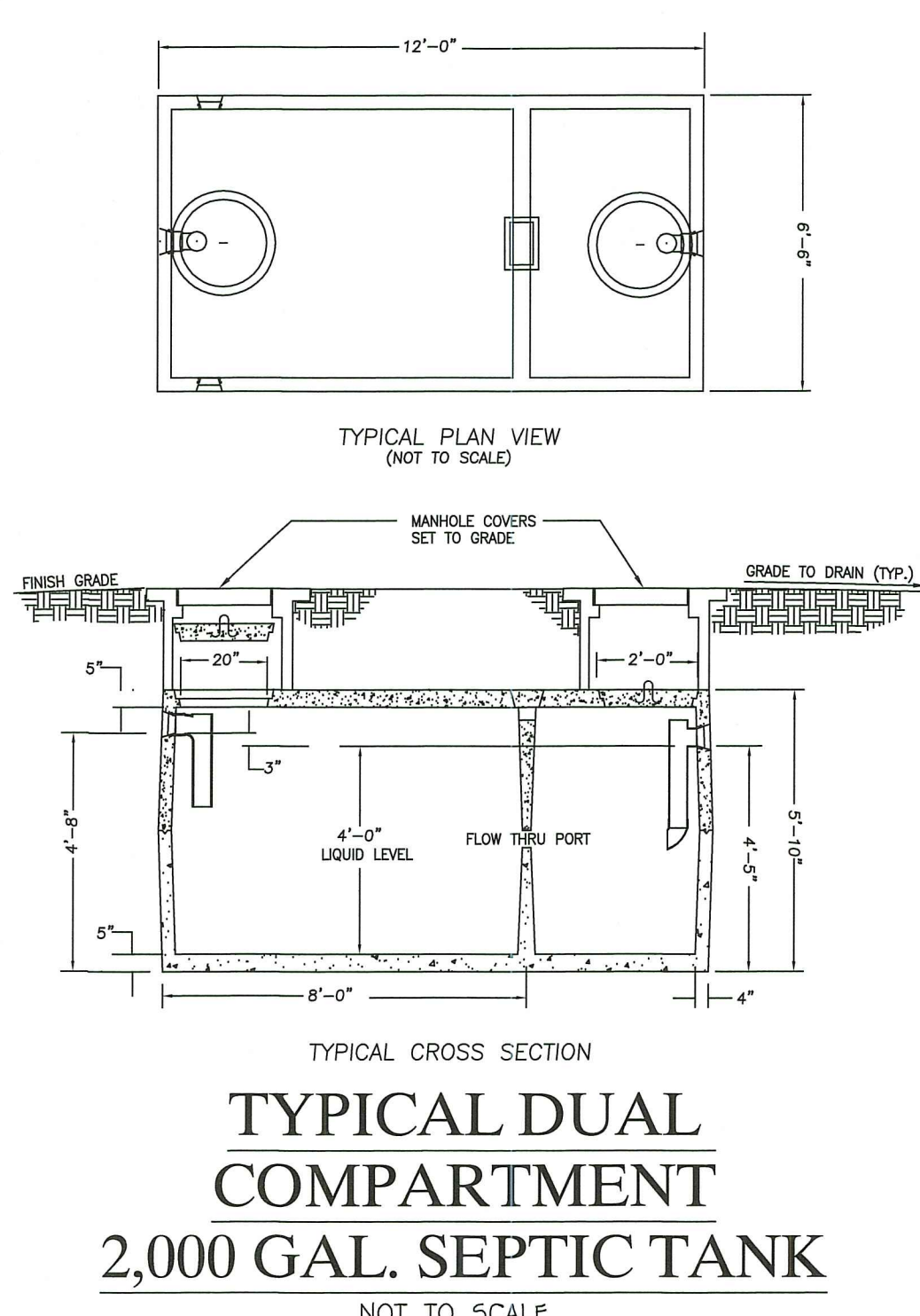
REVISION: 5/27/2024
8/6/2024

DATE: 3/15/2024
DRAWN BY: KRC
SCALE:

SHEET

OF 1 SHEETS 2
JOB NO. BACON
DWG. NO. BACON-OWTS

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STORMWATER BMP NOTES:

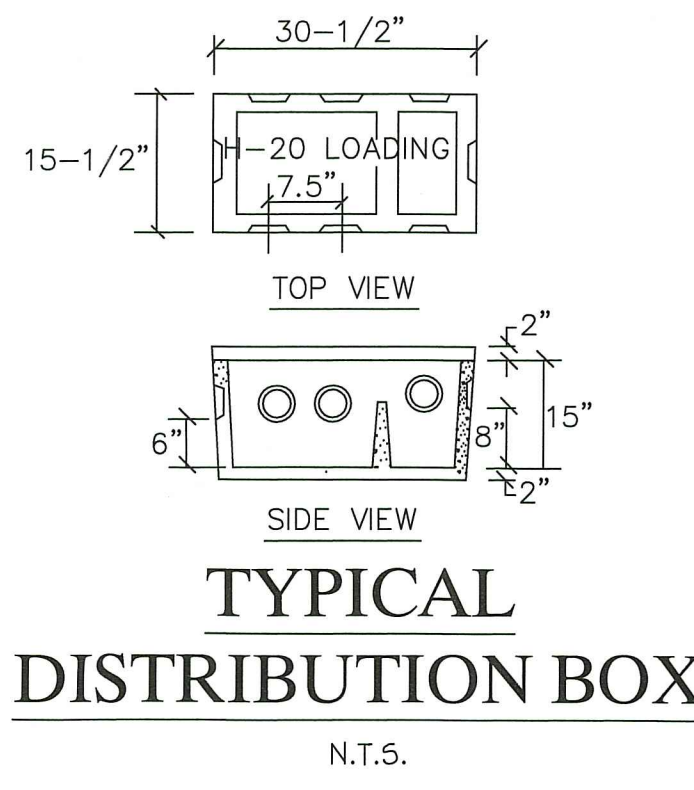
THE STORMWATER BMP'S SHALL BE MAINTAINED (WHERE APPLICABLE) IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

- PROPERTY OWNER SHALL MAINTAIN BMP'S IN ACCORDANCE WITH THE 'STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT GUIDELINES'.
- AREA SHALL NOT SERVE AS A TEMPORARY SEDIMENT CONTROL DEVICE DURING CONSTRUCTION.
- CRUSHED STONE SHALL BE REPLACED OR RE-GRADED AS NECESSARY TO MAINTAIN THE SURFACE.

INFILTRATION TRENCHES:

- INFILTRATION TRENCHES SHALL BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
- THE PROPOSED STORMWATER MANAGEMENT PRACTICES SHOWN ON THIS PLAN WERE DESIGNED AS FOLLOWS:

INFILTRATION TRENCH DESIGN DATA - MAXIMUM OF 2,759 SQ. FT. OF ROOFLINE PROPOSED FOR PRINCIPAL & 1,516 SQ. FT. OF ROOFLINE FOR ACCESSORY. USING TABLES 10 & 11 FROM THE RID MANUAL & DESIGNING ON SANDY SOILS, W/18" DEPTH OF STONE, 336 SQ. FT. IS REQUIRED & PROVIDED FOR PRINCIPAL & 192 SQ. FT. IS REQUIRED & PROVIDED FOR ACCESSORY. ALL TRENCHES SHOWN ARE 18" DEEP & 36" WIDE. SEE PLAN FOR LENGTH OF EACH TRENCH. SEE DETAIL FOR MORE INFO.



STATE OF RHODE ISLAND Department of Environmental Management Office of Water Resources

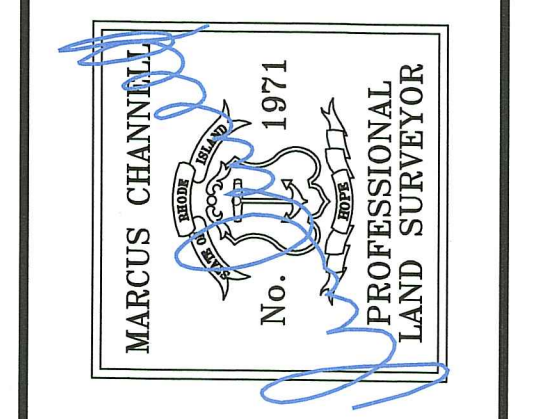
Project Name: *Charles & Cynthia Bacon* Application Number: *2322-0194*

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02/24/24	ISSUED FOR PERMIT	CS	CS
2	03/18/24	REVISION 1	CS	CS
3	03/25/24	REVISION 2	CS	CS
4	04/01/24	REVISION 3	CS	CS
5	04/08/24	REVISION 4	CS	CS
6	04/15/24	REVISION 5	CS	CS
7	04/22/24	REVISION 6	CS	CS
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NEW ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

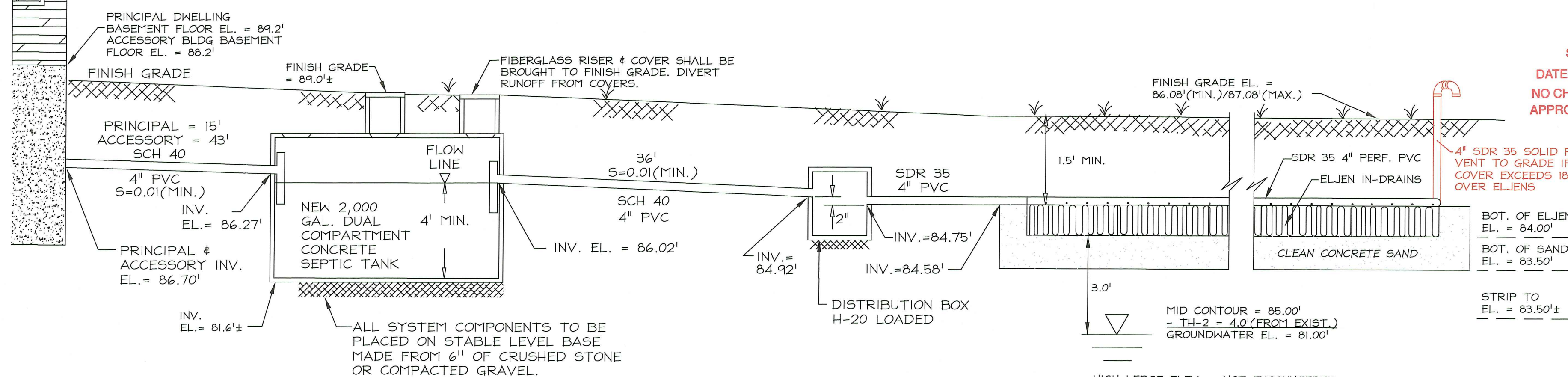
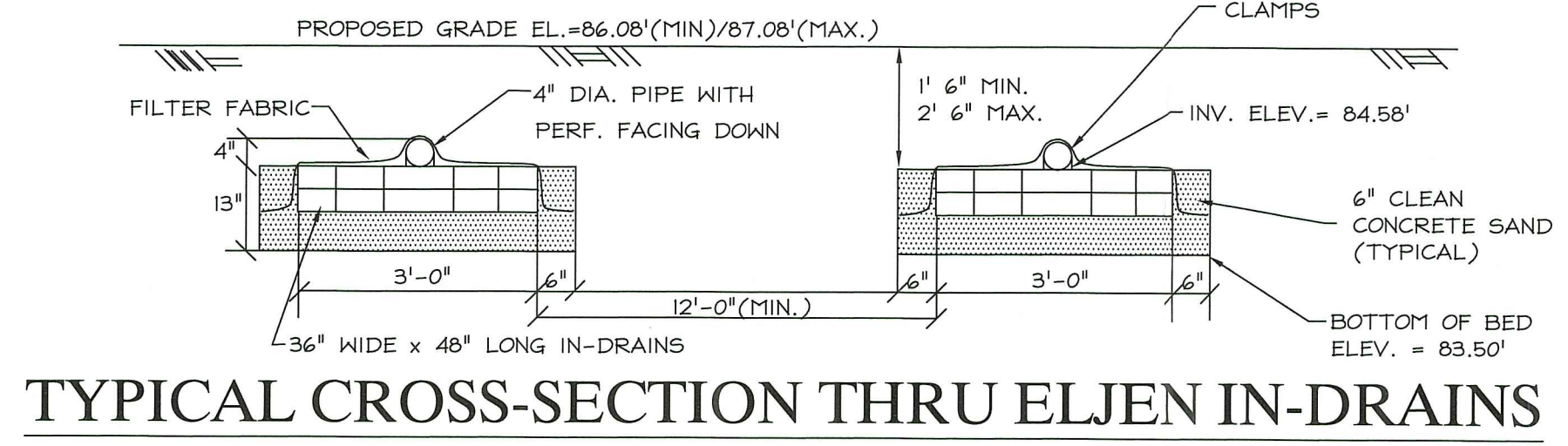
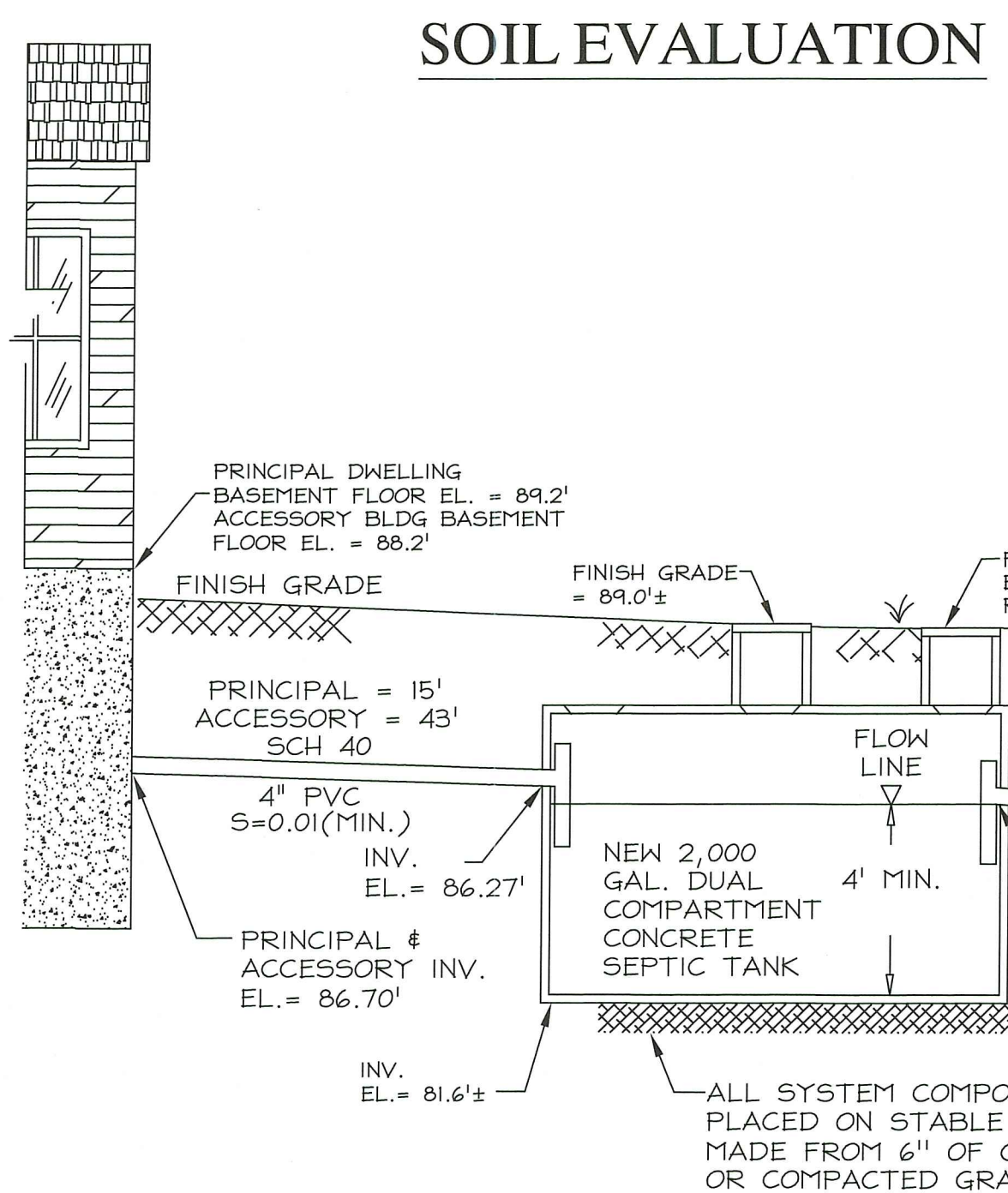
A.P. 18, LOT 4-1
WEST SIDE ROAD
NEW SHOREHAM, RHODE ISLAND

Prepared For:
CHARLES A III & CYNTHIA A BACON



OWTS GENERAL NOTES:

- THE PROPERTY 'IS NOT' SUBJECT TO RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL REVIEW.
- ALL PRIVATE AND PUBLIC DRINKING WATER LINES WITHIN 50 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- THERE ARE NO PUBLIC SEWERS AVAILABLE TO THE PROPERTY WITHIN 200 FEET UNLESS NOTED ON SITE PLAN.
- ALL EXISTING AND PROPOSED PRIVATE DRINKING WATER WELLS, 4/OR THERE RADII, ARE SHOWN WITHIN 200' OF THE PROPOSED OWTS COMPONENTS SHOWN ON THIS PLAN.
- ALL EXISTING AND PROPOSED WELLS SERVING NON-POTABLE USES WITHIN 100 FEET OF THE OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- ALL EXISTING AND PROPOSED PUBLIC DRINKING WATER WELLS WITHIN 500 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN. THE CONSTRUCTION DETERMINATION OF SAID WELLS IS IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
- ALL WATERCOURSES, WETLANDS, AND DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN.
- ALL STORM AND SUBSURFACE DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN. THE ULTIMATE DISCHARGE OF SAID DRAINS ARE IDENTIFIED ON THE SITE PLAN.
- THE OWTS 'IS NOT' LOCATED WITHIN THE WATERSHED OF A PUBLIC WATER SUPPLY OR OTHER CRITICAL RESOURCE AREA.
- ALL EXISTING OWTS ON ABUTTING PROPERTIES WITHIN 200 FEET OF A PROPOSED WELL TO SERVICE THE SUBJECT PROPERTY ARE IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN AN IDENTIFIED FLOOD ZONE.
- IF A PROPOSED WELL IS REQUIRED TO SERVICE THE WATER REQUIREMENTS FOR THE SUBJECT PROPERTY, SAID WELL 'DOES NOT' REQUIRE A VARIANCE FROM RID046 RULES AND REGULATIONS GOVERNING THE ENFORCEMENT OF THE DRILLING OF DRINKING WATER WELLS.
- OWTS DESIGN DATA:
 - 6 BEDROOM DESIGN - 115 GALLONS PER BEDROOM - TOTAL DESIGN FLOW = 690 GPD
 - BASED ON THE SOIL EVALUATION, THE MOST RESTRICTIVE SOIL DESIGN CATEGORY IS 5 & 7.
 - SOIL APPLICATION RATE = 0.52 GALS/SQ FT/DAY
 - TOTAL REQUIRED LEACHING AREA = 1326.92 SQUARE FEET
 - TOTAL PROVIDED LEACHING AREA = 1,400 SQUARE FEET
 - LEACHFIELD: 50 ELJEN IN-DRAINS W/ 6" OF SAND UNDERNEATH.
- OWTS GENERAL CONSTRUCTION NOTES:
 - ALL PIPING SHALL BE 4" PVC SCH 40 OR EQUIVALENT, UNLESS OTHERWISE NOTED
 - ALL PIPE SLOPES SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%, REFER TO THE PROFILE
 - THE SEPTIC TANK SHALL BE A CONCRETE TANK WITH THE CAPACITY AS STATED ON THE SITE PLAN
 - THE SEPTIC TANK INLET SHALL EXTEND 1' BELOW THE FLOW LINE AND THE OUTLET TEE SHALL EXTEND 1/3 THE DEPTH BELOW THE FLOW LINE.
 - THE SEPTIC TANK SHALL BE FITTED WITH TWO ACCESS MANHOLE RISERS NOT LESS THAN 20" & THE D-BOX, IF REQUIRED, SHALL HAVE A MINIMUM FEET OF BOTTOM AREA AND BE CAPABLE OF CARRYING A MINIMUM 300 PSF LOAD WITH MINIMAL SIDEWALL DEFLECTION.
 - LEACHFIELD STONE, IF USED, SHALL BE 3/4" TO 2" DOUBLE WASHED STONE, FREE OF ALL DEBRIS.
 - SURFACE GRADES WITHIN 10 FEET OF THE LEACHFIELD SHALL BE LOWER THAN ELEVATION 84.58' AT THE 10 FEET DISTANCE FROM THE LEACHFIELD, THE SLOPE SHALL BE A MINIMUM OF 3/4% TO MATCH INTO EXISTING GRADES.
 - THE LEACHFIELD AND THE AREA WITHIN 10 FEET FOR THE LEACHFIELD SHALL BE STRIPPED OF ALL TREES, BRUSH, STUMPS AND BOULDERS. THE SIDES AND BOTTOM OF THE EXCAVATION SHALL NOT BE COMPACTED OR SPOURED AND THE BOTTOM SHALL BE GRADED PRIOR TO LEACHFIELD PLACEMENT TO A MINIMUM DEPTH OF 83.50'.
 - REFER TO THE SITE PLAN FOR LEACHFIELD STRIP REQUIREMENTS.
 - THE FINISH GRADE OVER THE SEPTIC TANK SHALL BE GRADED TO DIVERT SURFACE WATER RUNOFF AWAY FROM THE TANK.
 - IF A DRIVEWAY OR PAVEMENT IS TO BE LOCATED NEAR THE PROPOSED OWTS, A FENCE OR CURBING SHALL BE INSTALLED AROUND THE SYSTEM IN THE AREA OF THE PAVEMENT TO PREVENT VEHICULAR TRAFFIC FROM DRIVING ONTO THE SYSTEM.
 - CONTRACTOR TO OBSERVE & CONFIRM ALL EXISTING PLUMBING INSIDE THE DWELLING WILL BE TIED INTO THE PROPOSED SEPTIC TANK SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WHERE ALL EXISTING PLUMBING EXISTS THE BUILDING(S), SHOWN ON THIS PLAN, PRIOR TO INSTALLING ANY OWTS COMPONENTS. NEW PLUMBING, INSIDE THE BUILDING(S) SHOWN ON THIS PLAN, MAY BE REQUIRED AS PART OF THIS OWTS INSTALLATION.
- THIS PLAN CONFORMS TO A CLASS 'II' PROPERTY LINE & A CLASS 'III' TOPOGRAPHY AS ADOPTED BY THE RI BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE, OTHER THAN SHOWN ON THIS PLAN, WITHOUT WRITTEN CONSENT.
- GENERAL OWNER NOTES:
 - FOOD/GARBAGE GRINDERS INSIDE DWELLING AND DISPOSAL OF GREASES, OILS, AND OR FATS ARE PROHIBITED.
 - BACKLASH PARKING OR TRAFFIC OVER THE OWTS IS PROHIBITED.
 - BACKWASH WATER FROM A WATER TREATMENT SYSTEM HAS NOT TAKEN INTO CONSIDERATION WITH THE DESIGN OF THIS OWTS. WATER TREATMENT SYSTEM DISCHARGE TO THIS OWTS IS PROHIBITED.
 - THE SEPTIC TANK SHALL BE PUMPED WHEN DEEMED NECESSARY BY OPERATIONS & MAINTENANCE PERSONNEL OR LICENSED SEPTIC INSPECTOR.
- INSTALLER TO PROVIDE DESIGNS, W/ ALL COPIES OF MATERIALS PURCHASED & USED ON INSTALLING THIS OWTS PRIOR TO ISSUANCE OF CERTIFICATE OF CONSTRUCTION.
- THERE ARE NO EXISTING OR PROPOSED SUBSURFACE DRAINS WITHIN 25' OF THE PROPOSED OWTS COMPONENTS SHOWN ON THIS PLAN.
- SEE RIDEN APP# 2322-0194 FOR MORE INFO. THIS PLAN IS BEING PREPARED AS A RE-DESIGN FROM A PREVIOUS APPROVAL BY OTHERS.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: SEP 09 2024 FILE #: 24-0142
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING

177 Burbank Drive ~ Warwick, RI 02886
401-737-4407
WWW.ATLASLANDSURVEYING.COM

REVISION: 5/27/2024
8/6/2024

DATE: 3/15/2024
DRAWN BY: KRC
SCALE: AS NOTED

SHEET 2
OF 2 SHEETS 2

JOB NO. BACON
DWG. NO. BACON-OWTS