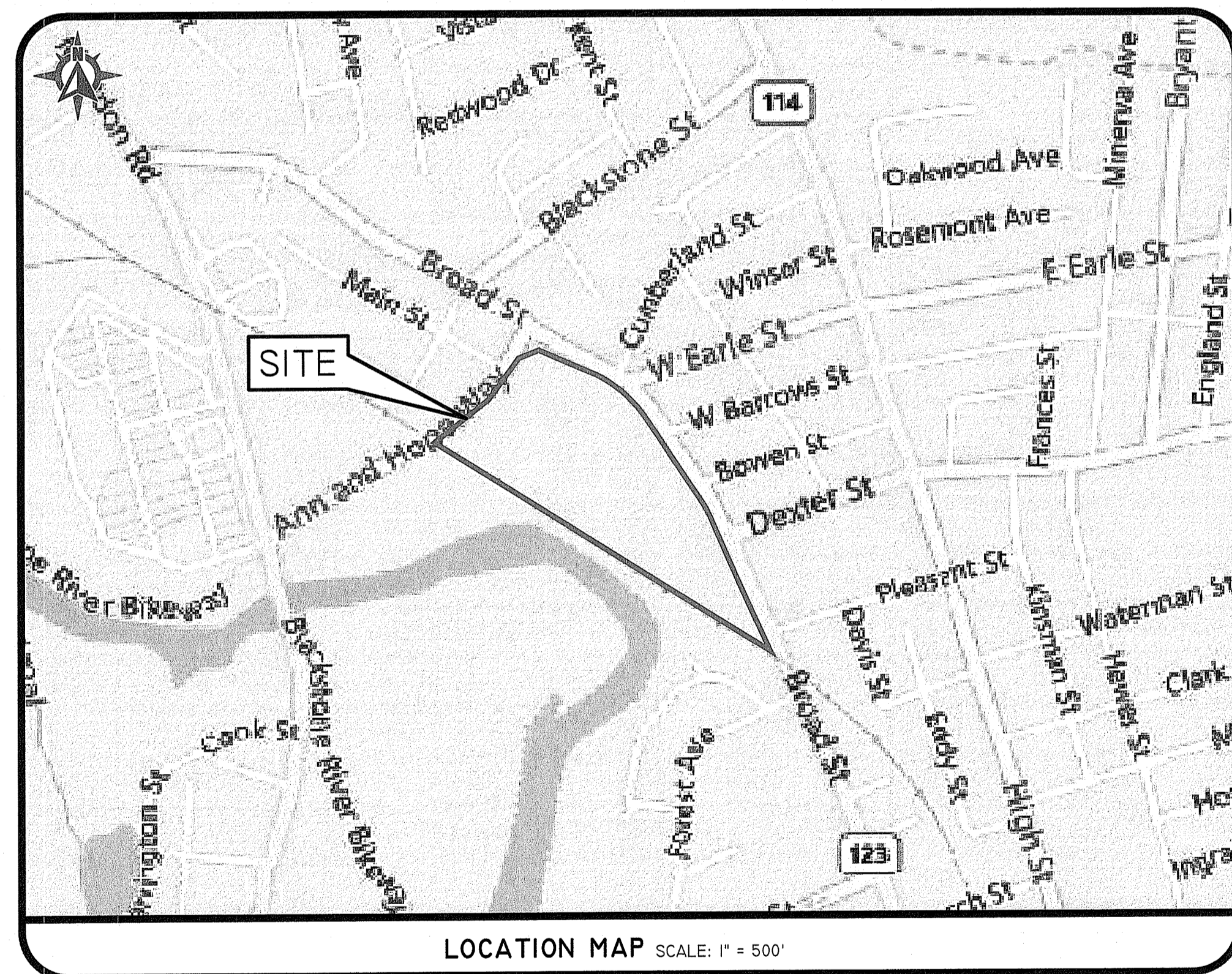


# DESIGN DEVELOPMENT PLANS

# ANN & HOPE MILL REDEVELOPMENT

100 ANN & HOPE WAY  
 CUMBERLAND, RHODE ISLAND  
 ASSESSOR'S PLAT II LOT 159



## SHEET INDEX

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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: OCT 04 2024 FILE #: 24-017  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 NOTE PER DEM:  
 Kindly be advised that this Permit  
 is not equivalent to a  
 verification of the type or extent  
 of freshwater wetlands on site

RI Environmental Management  
 JUL 19 2024  
 Office of Water Resources

**RIDOT**  
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE  
 RATE OF STORMWATER RUNOFF ONTO THE STATE  
 HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY  
 MUST CONFORM TO THE RI STANDARD SPECIFICATIONS,  
 DETAILS, AND ADDENDUMS.

**SESC / O&M**  
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN  
 (SESC) AND STORMWATER OPERATION AND  
 MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS  
 WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE  
 CONTRACTOR AND OWNER ON SITE.

DANA R. NISBET  
 No. 11876  
 REGISTERED  
 PROFESSIONAL ENGINEER  
 CIVIL

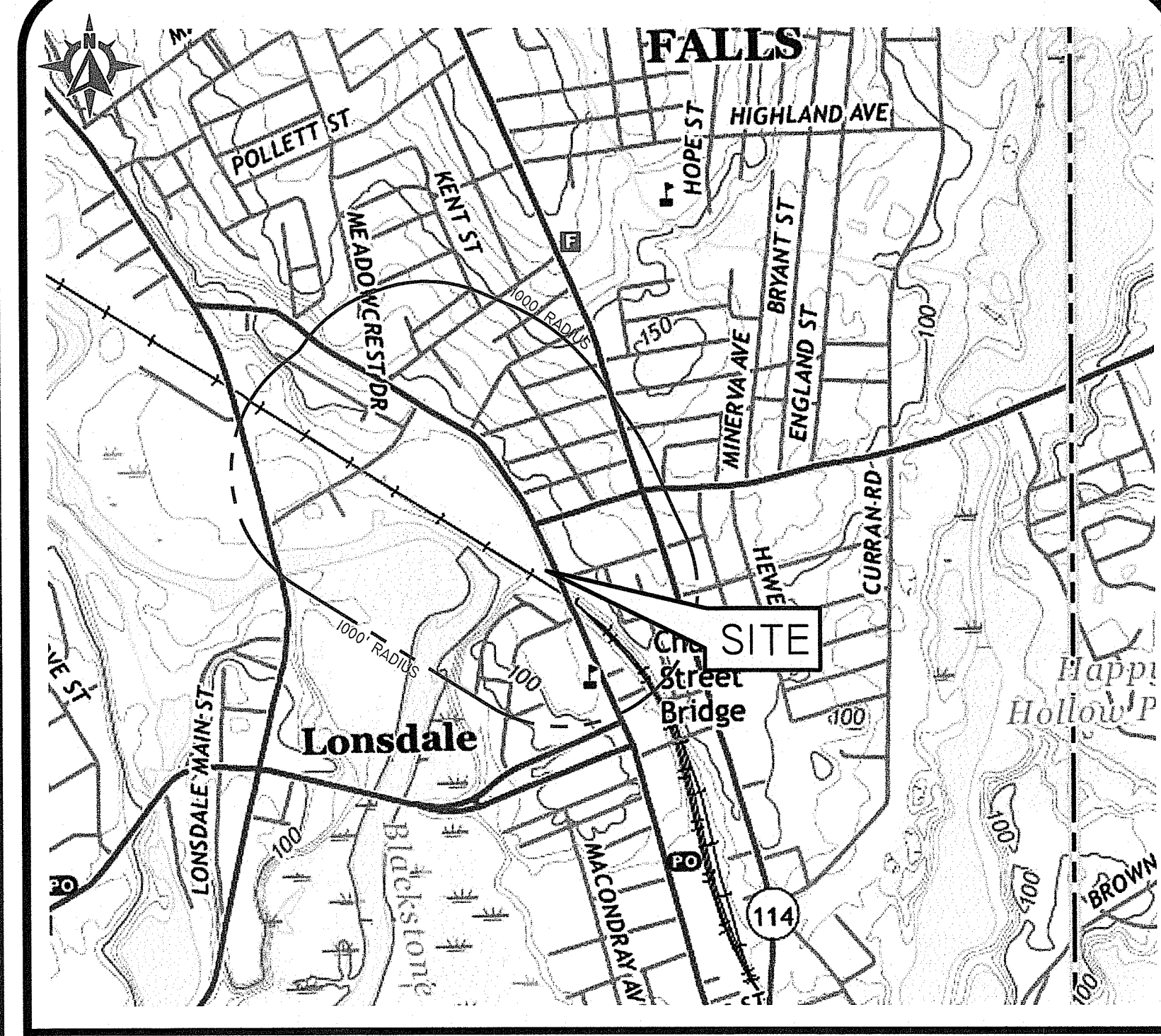
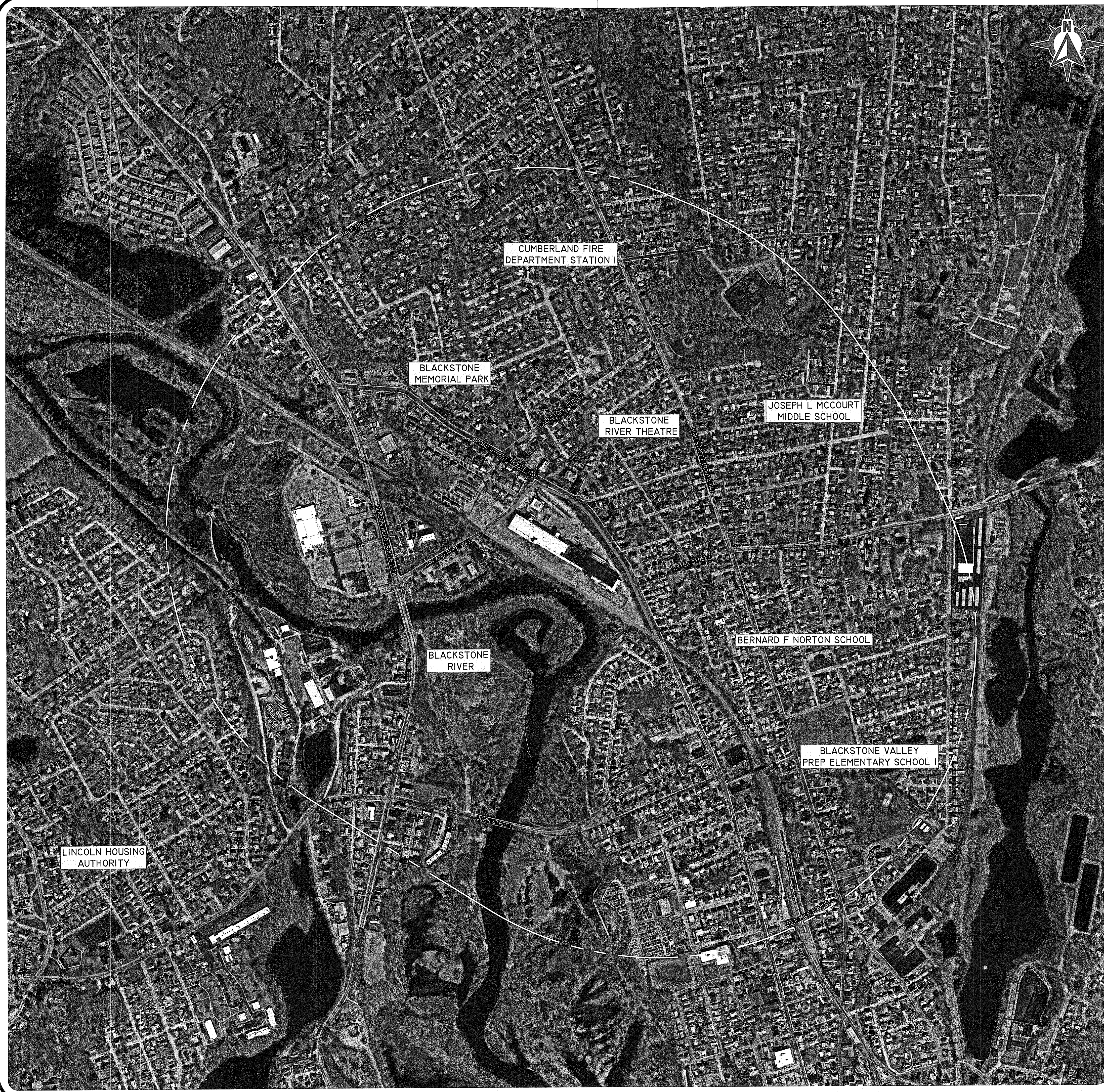
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES  
 UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF ENVIRONMENTAL  
 MANAGEMENT. ANY CHANGES TO THIS PLAN SET MUST BE APPROVED BY  
 THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS,  
 METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA  
 COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND  
 DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE  
 LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF  
 ALL UTILITIES PRIOR TO CONSTRUCTION. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY: F.T.A.
1	07/19/2024	DESIGN SUBMISSION	DIPRETE	

**COVER SHEET**  
**ANN & HOPE MILL REDEVELOPMENT**  
 ASSESSOR'S PLAT II LOT 159  
 CUMBERLAND, RHODE ISLAND  
 PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
 725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
 TEL: 401-383-9646

Z:\BHAM\PROJECTS\2024-005 ANN AND HOPE WAY\00\MULTICAD DRAWINGS\2405-005-046-DWG.PLOTTER: 7/12/2024

Z:\WORK\PROJECTS\2023\03-05-ANN AND HOPE WAY\030AUTOCAD DRAWINGS\2023-03-05-ANN AND HOPE WAY\DWG\2023-03-05-ANN AND HOPE WAY.DWG PLOTTER: 7/12/2023



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/27/2023.  
SCALE: 1"=400'  
0 200' 400' 800'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: 03/08/2024 FILE # 24-0175  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*[Signature]*

**Diprete Engineering**  
The Starford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com  
Boston • Providence • Newport

DANA R. NISBET  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR ANY CONSTRUCTION UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE.  
DIPRETE ENGINEERING, ON Y. WARRANTS AS AN A. DIPRETE ENGINEERING TITLE BLOCK STAMPED BY REGISTERED PROFESSIONAL ENGINEER DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SEQUENCES, AND SAFETY OF CONSTRUCTION OF THIS PLAN AND DESIGN.  
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT TO BE RELIED UPON FOR EXISTING UTILITIES. DAMAGE INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES, SEE UTILITY PLANS ON SHEET 3.

NO.	DATE	DESCRIPTION	BY
01	03/27/2023	DESIGN SUBMISSION	F.Y.A.
			DESIGN BY: F.Y.A.

**AERIAL HALF-MILE RADIUS & USGS MAP  
ANN & HOPE MILL REDEVELOPMENT**  
ASSESSOR'S PLAT II, LOT 159  
CUMBERLAND, RHODE ISLAND  
PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
TEL: 401-383-9646

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF CUMBERLAND ASSESSOR'S PLAT II LOT 159.
2. THE SITE IS APPROXIMATELY 15.24 ACRES AND IS ZONED ANN & HOPE MIXED-USE DISTRICT (I-1).
3. THE OWNER OF AP II LOT 159 IS:
HARTFORD HOLDINGS LLC
56 PINE STREET
PROVIDENCE, RHODE ISLAND 02903
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C01920, MAP REVISED MARCH 2, 2009. (FLOOD PLAN DESCRIPTIONS SHOWN BELOW).
5. BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN SET DEPICTS THE RESULTS OF A 1/2" TOPOGRAPHIC SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THE PLAN SET CONFORMS TO THE T-2 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF CUMBERLAND STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RD6M)
NATURAL HERITAGE AREA (RD06M)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
9. THE SITE IS LOCATED WITHIN THE FRESHWATER WETLANDS BUFFER RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (250-R18045-3-24).
10. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
•• EROSION CONTROL MEASURES
•• SHORT TERM MAINTENANCE
•• ESTABLISHMENT OF VEGETATIVE COVER
•• CONSTRUCTION POLLUTION PREVENTION
•• SEQUENCE OF CONSTRUCTION
•• STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
•• LONG TERM MAINTENANCE
•• LONG TERM POLLUTION PREVENTION
11. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT:
HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORS/CONSULTANTS.PHP.
12. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
13. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF CUMBERLAND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, AND CULVERTS THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDOT BEST MANAGEMENT PRACTICES.
14. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
15. SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 04/19/2023.
16. WETLAND DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS ON DATE 03/20/2024.
17. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PROPOSED THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVES MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
18. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: Soil Name Description, Soil Type. Includes HNC HINCKLEY GRAVELLY SANDY LOAM, ROLLING and UR URBAN LAND.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 01, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
5. SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
6. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE ROW FROM THE PROPOSED DEVELOPMENT.
7. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (ADAAG). WORK ON-SITE WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, TEMPORARY SEDIMENT BASINS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISSC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISSC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/TERMINATE CONTROLS WILL BE REQUIRED IN ORDER TO MEET THE RISSC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
5. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
6. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
7. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
8. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:

- 1. OVERALL SITE CONSTRUCTION PHASING TO BE BASED PER SEDIMENT TRAP CONTRIBUTING CATCHMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE CEOR.
2. SEDIMENT EROSION CONTROL PHASING TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.
3. ANY AREAS THAT ARE CLEARED AND GRUBBED THAT ARE EITHER A) NOT TRIBUTARY TO A SEDIMENT TRAP, OR B) ARE NOT INTENDED FOR IMMEDIATE DEVELOPMENT/ EARTHWORKING, MUST BE STABILIZED IMMEDIATELY (BUT NOT LIMITED TO) SLOPE INTERRUPTERS, HYDROSEED BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWTH MEDIUM (FGM) BEST SUITED TO THE INSITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST NOTIFY 'DIG SAFE' AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R8D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFICALLY OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK, MUST BE RESTORED TO MATCH THE DESIGN PLANS.
7. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
8. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
9. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
10. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE, OR AS LABELED ON THE PLANS.
3. ALL CURBING NOT LABELED HAS A RADIUS OF 3'.
4. SIDEWALK MUST BE CONCRETE, OR AS LABELED ON THE PLANS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/MOUNTING TYPE, PAVEMENT MARKING LOCATIONS, TYPE, WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY THE CEOR OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
6. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, DIMENSIONS, LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
7. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
8. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
9. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
10. ALL GUARDRAIL ON-SITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE CEOR IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND THE CEOR PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAYS/PARKING LOTS/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN THREE FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE AHA.
11. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT EXISTS HAVING PAVEMENT.
12. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
13. PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

GRADING, DRAINAGE, AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE FALL 2024 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. NO NEW SEWER/WATER/GAS/ELECTRIC CONNECTIONS ARE PROPOSED.
3. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
4. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
5. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED GRADINGS. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
7. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
8. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
9. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
10. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE.
11. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
12. THE SITE WILL HAVE 6" CONCRETE/GRANITE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
13. NO STUMP DUMPS ARE ALLOWED ON SITE.
14. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING ELEVATION IS HIGHER THAN DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
15. CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
16. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
17. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DRAINAGE

ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE), OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES DO NOT REQUIRE BRICK INVERT AS SHOWN IN DOT DETAILS.

- DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS ALONG CURBING: RIDOT STD. 4.4.0, TYPE F, 4' DIAMETER WITH APRON STONE
• CATCH BASINS NOT ALONG CURBING: RIDOT STD 4.4.0, 4' DIAMETER
• CATCH BASINS MUST HAVE 3 FT Sumps WITH NOOPE HOLES
• SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
• DOUBLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
• DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
• DROP INLETS: RIDOT STD 4.5.0, 4.5.1 OR 4.5.2
• MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE SELECTION.
• ALL OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVERS.
• FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH ELEVATION/DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NARRAGANSETT Bay COMMISSION RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL PIPES FROM BUILDING TO GREASE TRAP/INTERCEPTOR AND FROM GREASE TRAP/INTERCEPTOR TO THE NEXT STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284C.RP.

WATER

ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH CUMBERLAND WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER CUMBERLAND WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY CUMBERLAND WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH CUMBERLAND WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE NOT TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER CUMBERLAND WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY CUMBERLAND WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH CUMBERLAND WATER TO ENSURE INSPECTOR IS ON SITE.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

ABBREVIATIONS LEGEND

Table mapping abbreviations to full names. Includes ADA (AMERICANS WITH DISABILITY ACT), AHJ (AUTHORITY HAVING JURISDICTION), AP (ASSESSOR'S PLAT), ARCH (ARCHITECT), BC (BOTTOM OF CURB), BT (BOTTOM OF TUSTHOLE), BIT (BITUMINOUS (BERM)), BIO (BIOTRENTION), RSD (REMOVE AND DISPOSE), BS (BASEMENT SLAB ELEVATION), BW (FINISHED GRADE AT BOTTOM OF WALL), CB (CATCH BASIN), (C) CALCULATED, CL (CENTERLINE), (CA) CHORD ANGLE, CEOR (CIVIL ENGINEER OF RECORD, DIPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER), CLDIP (CONCRETE LINED DUCTILE IRON PIPE), CO (CLEAN OUT), CONC (CONCRETE), (D) DEED, DCB (DOUBLE CATCH BASIN), DI (DROP INLET), DMH (DRAINAGE MANHOLE), DP (DETENTION POND), ELEV (ELEVATION), EOP (EDGE OF PAVEMENT), ESC (EROSION AND SEDIMENT CONTROL), EX (EXISTING), FES (FLARED END SECTION), FFE (FINISH FLOOR ELEVATION), GS (GARAGE SLAB ELEVATION), GWT (GROUND WATER TABLE), HW (HEADWALL), HC (HIGH CAPACITY CATCH BASIN GRATE), HDPE (HIGH DENSITY POLYETHYLENE), ID (INLINE DRAIN), INV (INVERT), IP (INFILTRATION POND), LARCH (LANDSCAPE ARCHITECT), LF (LINEAR FEET), LOD (LIMIT OF DISTURBANCE), LP (LIGHT POLE), (M) MEASURED, MEP (MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER), N/F (NOW OR FORMERLY), OHW (OVERHEAD WIRE), PE (POLYETHYLENE), P (PROPERTY LINE), PR (PROPOSED), PVC (POLYVINYL CHLORIDE), R (RADIUS), RSD (REMOVE AND DISPOSE), RCP (REINFORCED CONCRETE PIPE), RHODE ISLAND, RH (HIGHWAY BOUND), RL (RIGHT LEADER), ROW (RIGHT-OF-WAY), S (SLOPE), SD (SUBDRAIN), SF (SEDIMENT FOREBAY), SF2 (SQUARE FOOT), SFL (STATE FREEWAY LINE), SFR (SEWER FORCE MAIN), SG (SLAB ON GRADE ELEVATION), SHL (STATE HIGHWAY LINE), SMH (SEWER MANHOLE), SNDF (SAND FILTER), SS (SIDE SLOPE), STA (STATION), TC (TOP OF CURB), TFD (TRENCH DRAIN), TF (TOP OF FOUNDATION), TRANS (TRANSITION), TW (TOP OF WALL (FINISHED GRADE AT TOP OF WALL)), TYP (TYPICAL), UDS (UNDERGROUND), DETENTION SYSTEM, UIS (UNDERGROUND), INFILTRATION SYSTEM, UP (UTILITY POLE), WQ (WALKOUT ELEVATION), WQ (WATER QUALITY)

SITE CALLOUTS LEGEND

Table mapping callout codes to descriptions. Includes MCC (MONOLITHIC CONCRETE CURB (SEE DETAIL)), 7.1.0 (RIDOT STD PRECAST CONCRETE CURB), 7.1.1 (RIDOT STD 3'-0" PRECAST CONCRETE TRANSITION CURB), 7.1.2 (RIDOT STD 6'-0" PRECAST CONCRETE TRANSITION CURB), 7.1.3 (RIDOT STD PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB), 4.W (4" EPOXY RESIN WHITE MARKINGS), 4.W45 (4" WHITE STRIPING 2' ON CENTER AT 45°), 12W (STOP LINE (REFERENCE MUTCD SECTION 3B.16)), ADAS (ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS), ADAR (ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS), ADAY (VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS), CWK (CROSSWALK PAVEMENT MARKINGS. SOLID 2" WHITE LINES SPACED 4" OC (REFERENCE MUTCD SECTION 3B.18))

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'x8' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: OCT 04 2024 FILE # 24-015
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

EXISTING LEGEND

Table mapping existing features to symbols. Includes PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREELINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 25' BUFFER, 50' BUFFER, 75' BUFFER, 100' BUFFER, 150' BUFFER, 200' BUFFER, FEMO BOUNDARY, STREAM, GROUNDWATER OVERLAY, GROUNDWATER RECHARGE AREA, GROUNDWATER RESERVOIR, NATURAL HERITAGE, COMMUNITY WELLHEAD PROTECTION, NON-COMMUNITY WELLHEAD PROTECTION

PROPOSED LEGEND

Table mapping proposed features to symbols. Includes DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

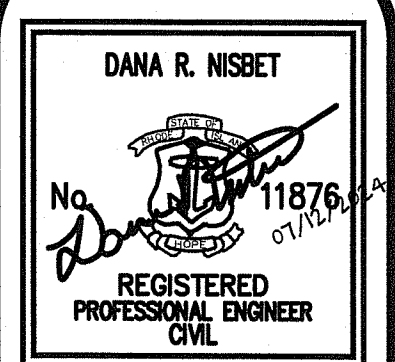
ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATION COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DETECTED OR NOT DETECTED IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNLESS VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

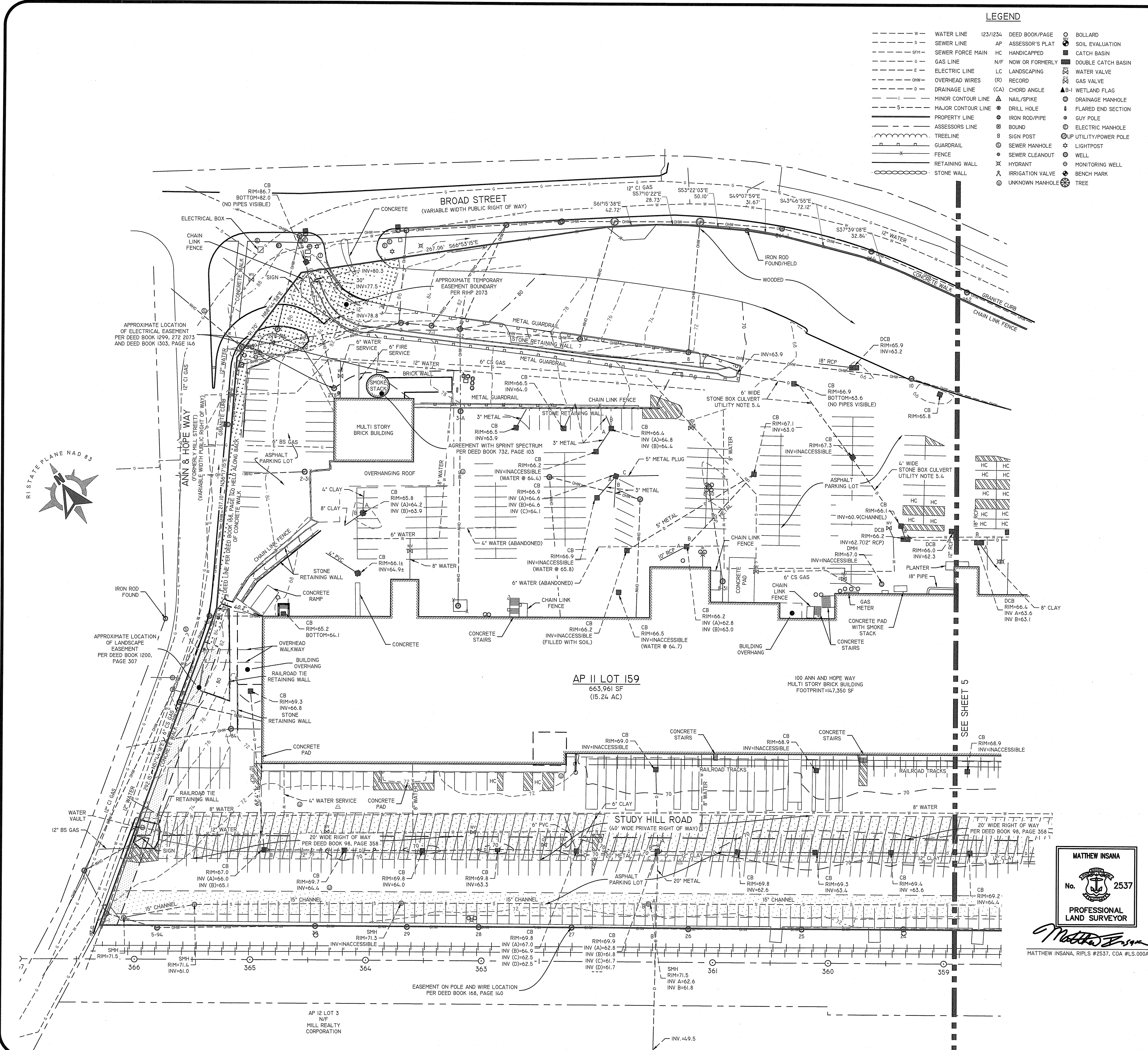
THE PURPOSE OF THIS PLAN SET IS TO OBTAIN A PERMIT FROM THE REGULATORY AGENCY IT WAS SUBMITTED TO. THIS PLAN SET CONTAINS THE REQUIRED INFORMATION NECESSARY FOR APPROVAL BY THE SPECIFIC AGENCY IT WAS SUBMITTED TO, AND MAY NOT HAVE THE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS PLAN SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS (BUT NOT LIMITED TO) FINE GRADING, GRADING BETWEEN THE CONTOUR INTERVAL, ADDITIONAL SURVEY MAPPING, BUILDING SHAPE LOCATION, ADA UTILITY CONNECTIONS, UTILITY CROSSINGS, SURFACE GROUNDWATER MITIGATION, SOIL STABILITY AND CONSISTENCY, SPECIFIC END USER NEEDS, CONSTRUCTABILITY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.



THIS PLAN SET IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION SHOWN ON THESE PLANS. DIPRETE ENGINEERING IS NOT WARRANTING THE ACCURACY OF ANY INFORMATION SHOWN ON THESE PLANS. DIPRETE ENGINEERING IS NOT WARRANTING THE ACCURACY OF ANY INFORMATION SHOWN ON THESE PLANS. DIPRETE ENGINEERING IS NOT WARRANTING THE ACCURACY OF ANY INFORMATION SHOWN ON THESE PLANS. DIPRETE ENGINEERING IS NOT WARRANTING THE ACCURACY OF ANY INFORMATION SHOWN ON THESE PLANS.

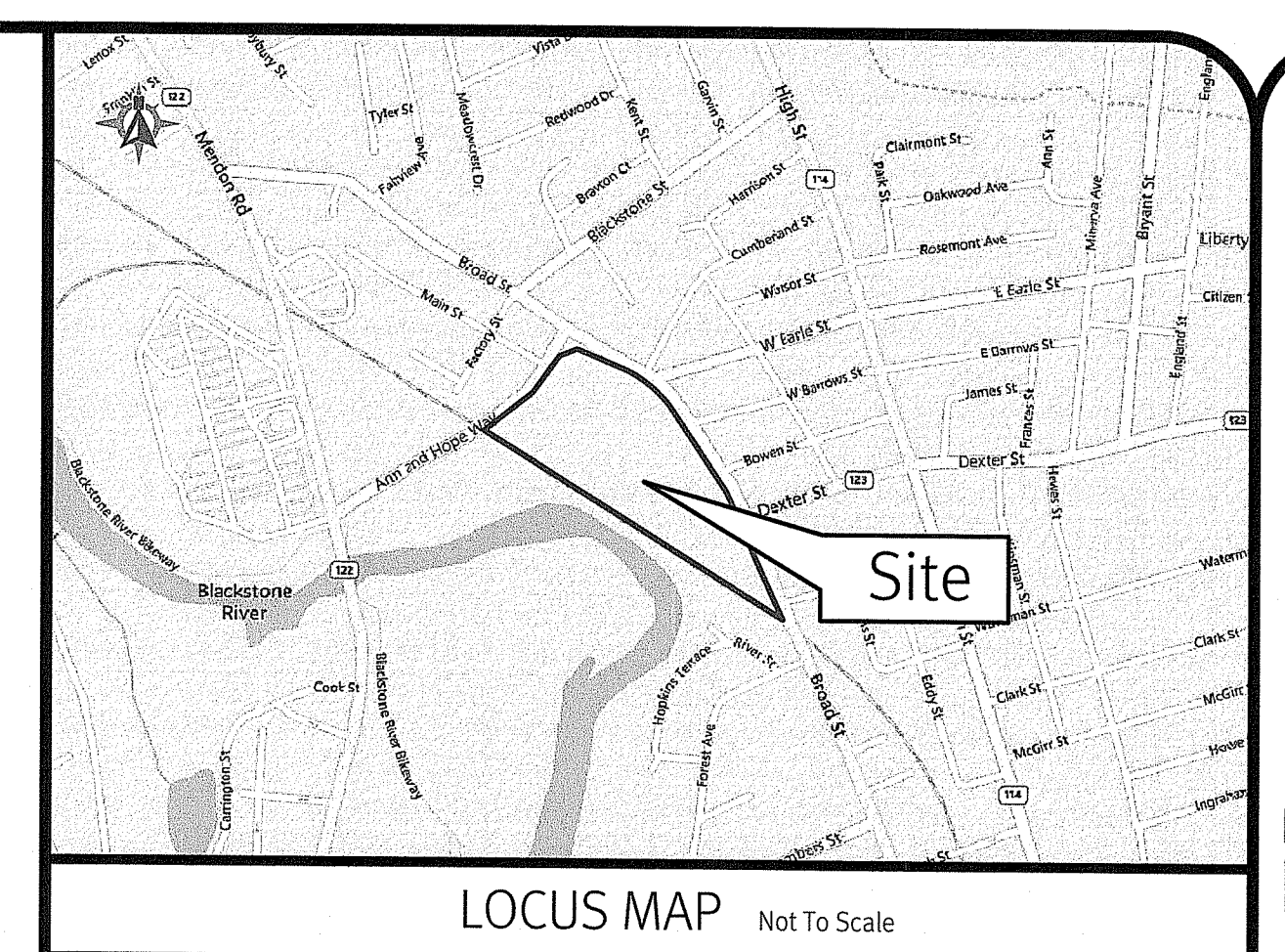
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DESIGNED BY: F.Y.A.
DRAWN BY: F.Y.A.
CHECKED BY: F.Y.A.
DATE: 08/15/2024
DESIGN SUBMISSION
NO. DATE: 08/15/2024
DESIGN SUBMISSION
NO. DATE: 08/15/2024
DESIGN SUBMISSION
NO. DATE: 08/15/2024
DESIGN SUBMISSION



**LEGEND**

W	WATER LINE	125/1234	DEED BOOK/PAGE	○	BOLLARD
S	SEWER LINE	AP	ASSESSOR'S PLAT	⊙	SOIL EVALUATION
SF-H	SEWER FORCE MAIN	HC	HANDICAPPED	■	CATCH BASIN
G	GAS LINE	N/F	NOW OR FORMERLY	▨	DOUBLE CATCH BASIN
E	ELECTRIC LINE	LC	LANDSCAPING	⊗	WATER VALVE
OWH	OVERHEAD WIRES	(R)	RECORD	⊗	GAS VALVE
D	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	WETLAND FLAG
I	MINOR CONTOUR LINE	▲	NAIL/SPIKE	⊙	DRAINAGE MANHOLE
5	MAJOR CONTOUR LINE	⊙	DRILL HOLE	⊕	FLARED END SECTION
---	PROPERTY LINE	⊙	IRON ROD/PIPE	⊙	CLAY POLE
---	ASSESSOR'S LINE	⊕	BOUND	⊙	ELECTRIC MANHOLE
---	TREELINE	⊕	SIGN POST	⊕	UTILITY/POWER POLE
---	GUARDRAIL	⊕	SEWER MANHOLE	⊕	LIGHTPOST
---	FENCE	⊕	SEWER CLEANOUT	⊕	WELL
---	RETAINING WALL	⊕	HYDRANT	⊕	MONITORING WELL
---	STONE WALL	⊕	IRRIGATION VALVE	⊕	BENCH MARK
		⊕	UNKNOWN MANHOLE	⊕	TREE



- UTILITY NOTES**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CLASSIC STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
  - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
  - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
  - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
  - UTILITY PLAN REFERENCES
    1. WATER INFORMATION OBTAINED FROM PAWTUCKET WATER SUPPLY BOARD WATER UTILITY LOCATIONS DATABASE.
    2. GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS DATABASE.
    3. SEWER AND DRAINAGE INFORMATION OBTAINED FROM THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY).
    4. DRAINAGE CULVERT INFORMATION OBTAINED FROM "SITE PLAN SHOWING DRAINAGE IMPROVEMENTS, ANN & HOPE WAY, CUMBERLAND, RHODE ISLAND, PREPARED FOR ANN & HOPE, INC., SCALE 1"=40', DATE: DECEMBER 11, 2012.

- GENERAL NOTES**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT II, LOT 159 IN THE TOWN OF CUMBERLAND, PROVIDENCE COUNTY, RHODE ISLAND.
  - THE OWNER OF LOT 159 PER DEED BOOK 1917, PAGE 29 IS HARTFORD HOLDINGS, LLC.
  - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C01926, MAP REVISED MARCH 2, 2009. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
  - THE PARCEL IS ZONED I-1 LIGHT INDUSTRIAL BASED ON THE TOWN OF CUMBERLAND ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
  - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 14, AND JUNE 10, 2021 AND NOVEMBER 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATES.
  - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

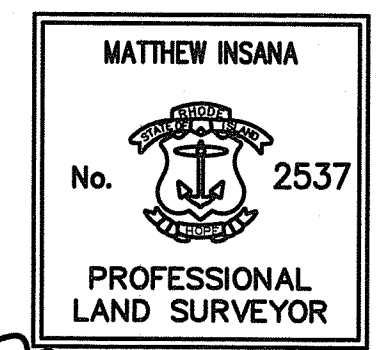
- PLAN REFERENCES:**
- PLAT SHOWING LAND CONVEYED TO THE PROVIDENCE & WORCESTER RAILROAD CO. BY THE LONSDALE COMPANY, SURVEYED AND PLATED BY S.L. NINOT IN APRIL, 1885, CORRECTED BY S.B. CUSHING IN OCTOBER, 1887, RECORDED IN THE MISCELLANEOUS PLAT BOOK AT PAGE 19.
  - RHP 2075.
  - RIGHT OF WAY AND TRACK MAP, PROVIDENCE AND WORCESTER R.R. CO., OPERATED BY THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO., FROM VALLEY FALLS TO WORCESTER, STATION 316+75 TO 369+53, TOWN OF CUMBERLAND, STATE OF R.I., SCALE 1"=100', DATED JUNE 30, 1915.
  - NEW YORK NEW HAVEN AND HARTFORD RAILROAD, OFFICE OF ENGINEER - REAL ESTATE, LAND IN R.I. TO BE CONVEYED TO REALTY ASSOCIATES, INC., SCALE 1"=100', DATED JUNE 1960, RECORDED IN DEED BOOK 168, PAGE 140.
  - LOCATION OF PROPOSED SANITARY SEWER EASEMENT, CONTRACT BI. 5, ZONE 68, PUBLIC WORKS DEPT., TOWN OF CUMBERLAND, R.I., SCALE 1"=80', DATED JULY, 1972, PLAN BY KIELY-IRZA & ASSOCIATES, RECORDED IN DEED BOOK 233, PAGE 411.
  - PLAN SHOWING PARCELS OF LAND, RECORDED IN DEED BOOK 240, PAGE 94.
  - LOCATION OF PROPOSED SANITARY SEWER EASEMENTS, RIVER STREET, CONTRACT NO. 25, SHEET 1 OF 1, PUBLIC WORKS DEPT., TOWN OF CUMBERLAND, R.I., RECORDED IN 277, PAGE 263.

**SURVEYOR'S CERTIFICATE**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS I
- TOPOGRAPHIC SURVEY CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.

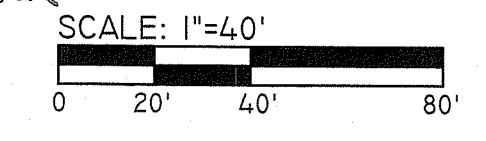


Matthew Insana 7/3/2024  
MATTHEW INSANA, RIPLS #2537, COA #LS.000A160

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: OCT 04 2024 FILE #: 21-0115

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
tel (401) 943-1000 fax (401) 464-6006 www.diprete-eng.com

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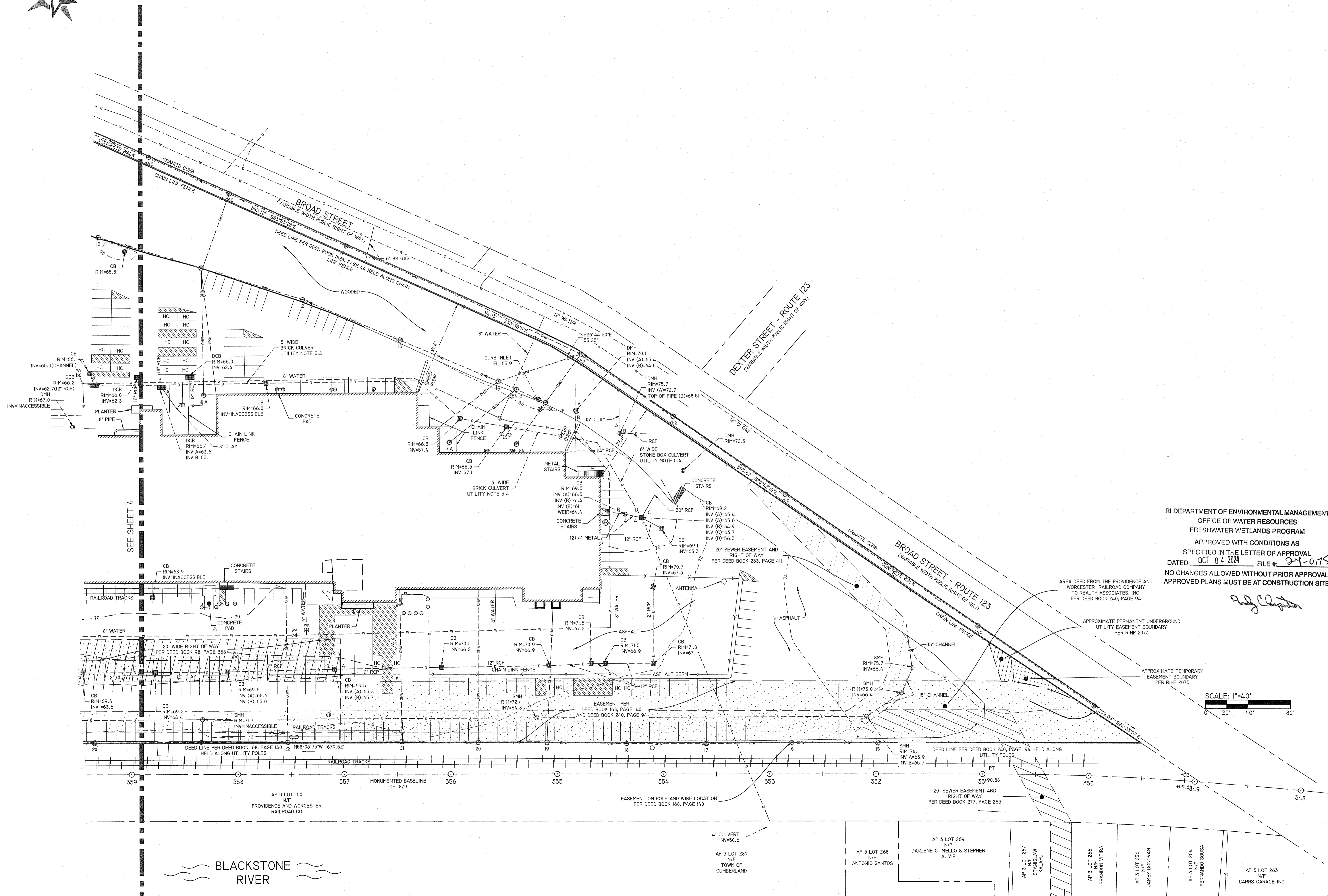
**EXISTING CONDITIONS PLAN - I**

100 ANN AND HOPE WAY  
CITY/TOWN, RHODE ISLAND

PREPARED FOR:  
PREMIER LAND DEVELOPMENT, INC.  
100 DORRANCE STREET, SUITE 20, PROVIDENCE, RHODE ISLAND 02903  
TEL (401) 453-0461 FAX (401) 453-0465

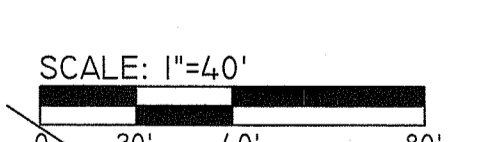
DATE: 7/3/24

NO.	DATE	DESCRIPTION	BY:
0	7/3/24	EXISTING CONDITIONS PLAN	J.A.S.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS  
 SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: OCT 04 2024 FILE #: 24-0175  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Andy Clapton*



EXISTING CONDITIONS PLAN - 2  
 100 ANN AND HOPE WAY  
 ASSESSOR'S PLAT II LOT 159  
 CITY/TOWN, RHODE ISLAND

PREPARED FOR:  
**PREMIER LAND DEVELOPMENT, INC.**  
 100 DORRANCE STREET, SUITE 20, PROVIDENCE, RHODE ISLAND 02903  
 TEL: (401) 453-0461 FAX: (401) 453-0465

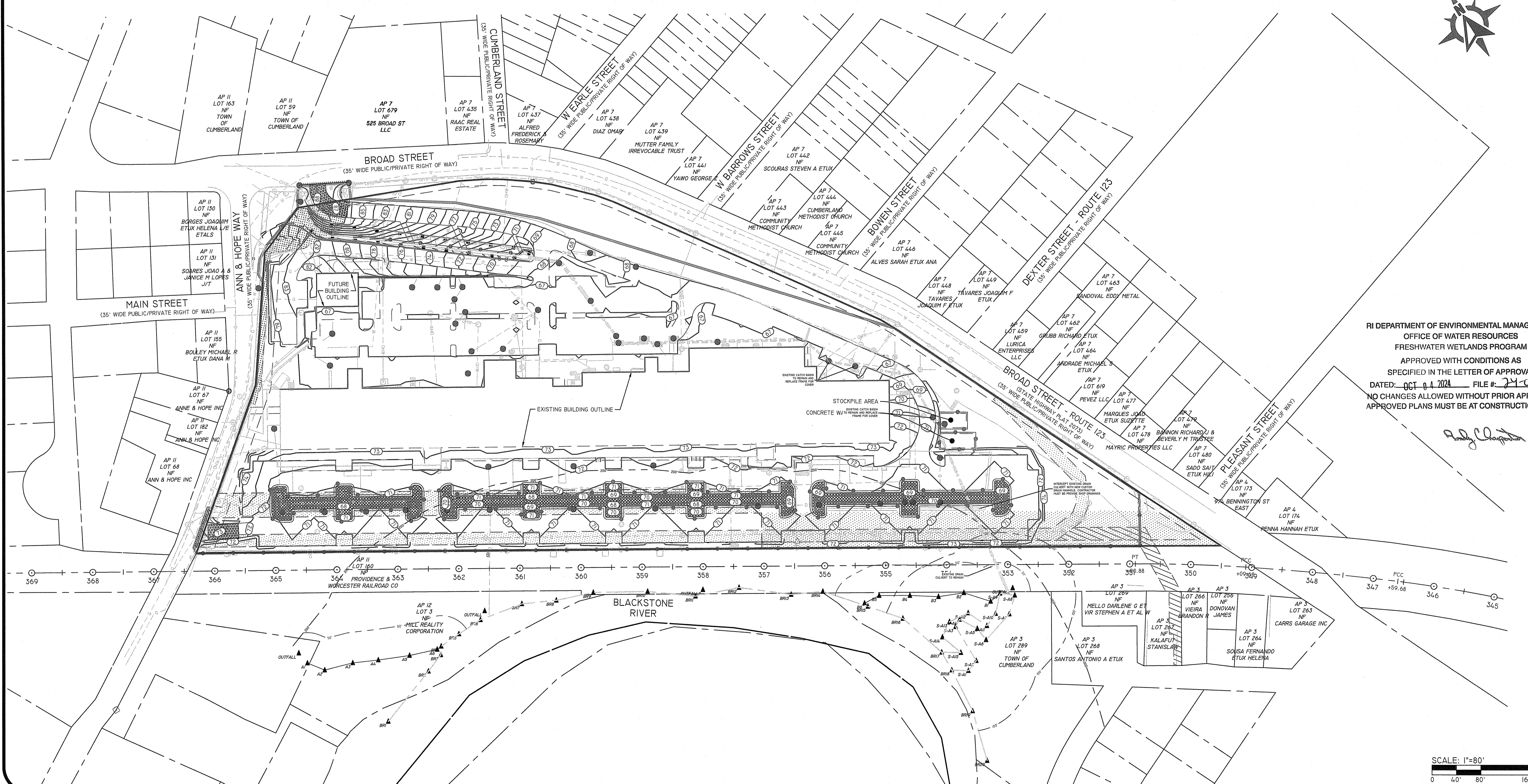
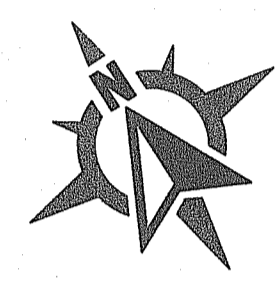
NO.	DATE	DESCRIPTION	J.J.S.	BY:
0	7/2/26	EXISTING CONDITIONS PLAN		

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z:\delmain\projects\103505-005-ann and hope way\100\aircard.dwg (3/25/05-005-ann and hope way) 7/13/2024

**SOIL EROSION CONTROL LEGEND**

- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- TRIBUTARY AREA TO SESC BHP
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: OCT 11 2024 FILE #: 24-0175  
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*Andy Chapman*

SCALE: 1"=80'  
 0 40' 80' 160'

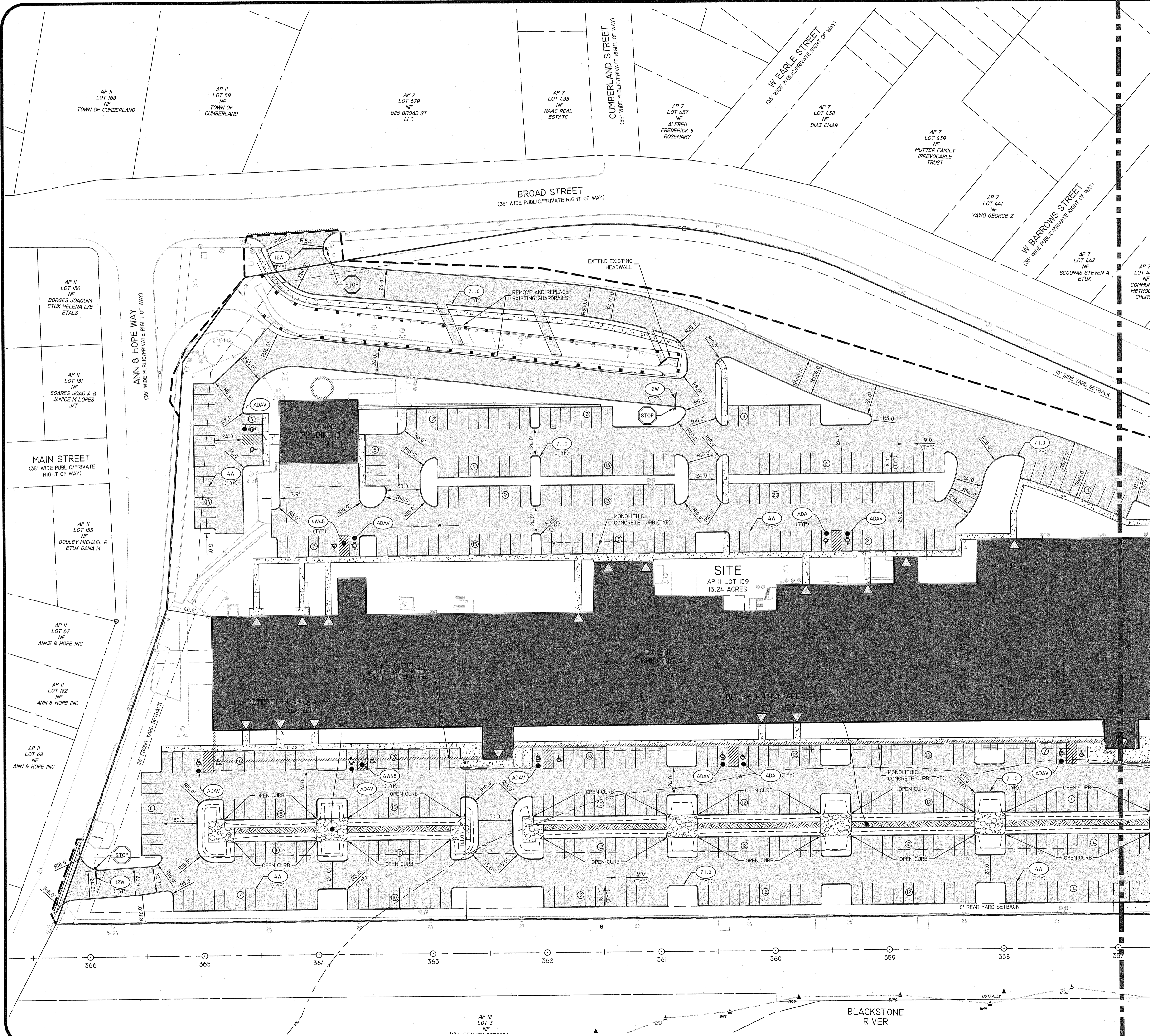
**DANA R. NISBET**  
 No. 11876  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

UNLESS OTHERWISE NOTED, ALL INFORMATION ON THIS PLAN IS BASED ON THE RECORD DRAWINGS AND SURVEY DATA PROVIDED TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS REVIEWED THE RECORD DRAWINGS AND SURVEY DATA. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE VISUAL INSPECTIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS AND CONSTRUCTION OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. SEE UTILITY MAPS ON SHEET S.

DATE: 10/11/2024	DESIGN BY: F.Y.A.
NO. 11876	BY: F.Y.A.
DESCRIPTION: SOIL EROSION & SEDIMENT CONTROL PLAN	DESIGN BY: F.Y.A.
PROJECT: ANN & HOPE MILL REDEVELOPMENT	DESIGN BY: F.Y.A.

**SOIL EROSION & SEDIMENT CONTROL PLAN**  
**ANN & HOPE MILL REDEVELOPMENT**  
 ASSESSOR'S PLAT II LOT 159  
 CUMBERLAND, RHODE ISLAND  
 PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
 725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
 TEL 401-383-9646

Z:\DEPARTMENT\PROJECTS\2505-005 ANN AND HOPE WAY 100\AUTOCAD DRAWINGS\2505-005-PLAN\DWG PLOTTER: 7/12/2024



**DEVELOPMENT DATA:**

TOTAL SITE AREA: 15.24 ACRES  
 TOTAL NUMBER OF BUILDINGS: 2 BUILDINGS

**DIMENSIONAL REGULATIONS:**

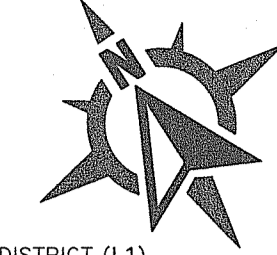
CURRENT ZONING: ANN & HOPE MIXED USE DISTRICT (I-1)  
 MINIMUM LOT AREA: 5,000 SF  
 MINIMUM FRONTAGE AND LOT WIDTH: 25'  
 MINIMUM FRONT AND CORNER SIDE YARD: 10'  
 MINIMUM REAR YARD: 10'  
 MAXIMUM STRUCTURE HEIGHT: 75'  
 MAXIMUM LOT COVERAGE: 90%

**PARKING REGULATIONS:**

PARKING USE: RETAIL - ANN & HOPE MIXED USE DISTRICT  
 PARKING REQUIREMENT: 450 SPACES +  
 ADA PARKING REQUIRED: 13 SPACES

ADA PARKING PROVIDED: 16 SPACES  
 ADA VAN PARKING PROVIDED: 8 SPACES  
 TOTAL PARKING SPACES PROVIDED: 607 SPACES

\* PER ZONING ORDINANCE SECTION 9-3.2(E)



**DIPrete Engineering**

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**DANA R. NISBET**

No. 11876  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING OR ITS AGENTS OR ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY ENGINEERING TITLE BLOCKS STAMPED BY REGISTERED PROFESSIONAL ENGINEERS WHOSE EXPIRATION DATE IS NOT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, SURVEYING, FIELD CONDITIONS AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND DAMAGE INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY MAP ON SHEET 3.

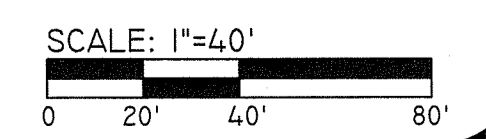
NO.	DATE	DESCRIPTION	BY:
1	01/24/2024	DESIGN SUBMISSION	F.Y.A.
2	01/24/2024	DESIGN SUBMISSION	F.Y.A.
3	01/24/2024	DESIGN SUBMISSION	F.Y.A.
4	01/24/2024	DESIGN SUBMISSION	F.Y.A.
5	01/24/2024	DESIGN SUBMISSION	F.Y.A.
6	01/24/2024	DESIGN SUBMISSION	F.Y.A.
7	01/24/2024	DESIGN SUBMISSION	F.Y.A.
8	01/24/2024	DESIGN SUBMISSION	F.Y.A.
9	01/24/2024	DESIGN SUBMISSION	F.Y.A.
10	01/24/2024	DESIGN SUBMISSION	F.Y.A.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: OCT 04 2024 FILE #: 24-0115

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*Andy Chapman*



Z:\CADD\PROJECTS\2024-005-ANN AND HOPE WAY\04\AUTOCAD DRAWINGS\2024-005-PLAN\DWG PLOTTED: 7/12/2024

**SITE LAYOUT PLAN - I**

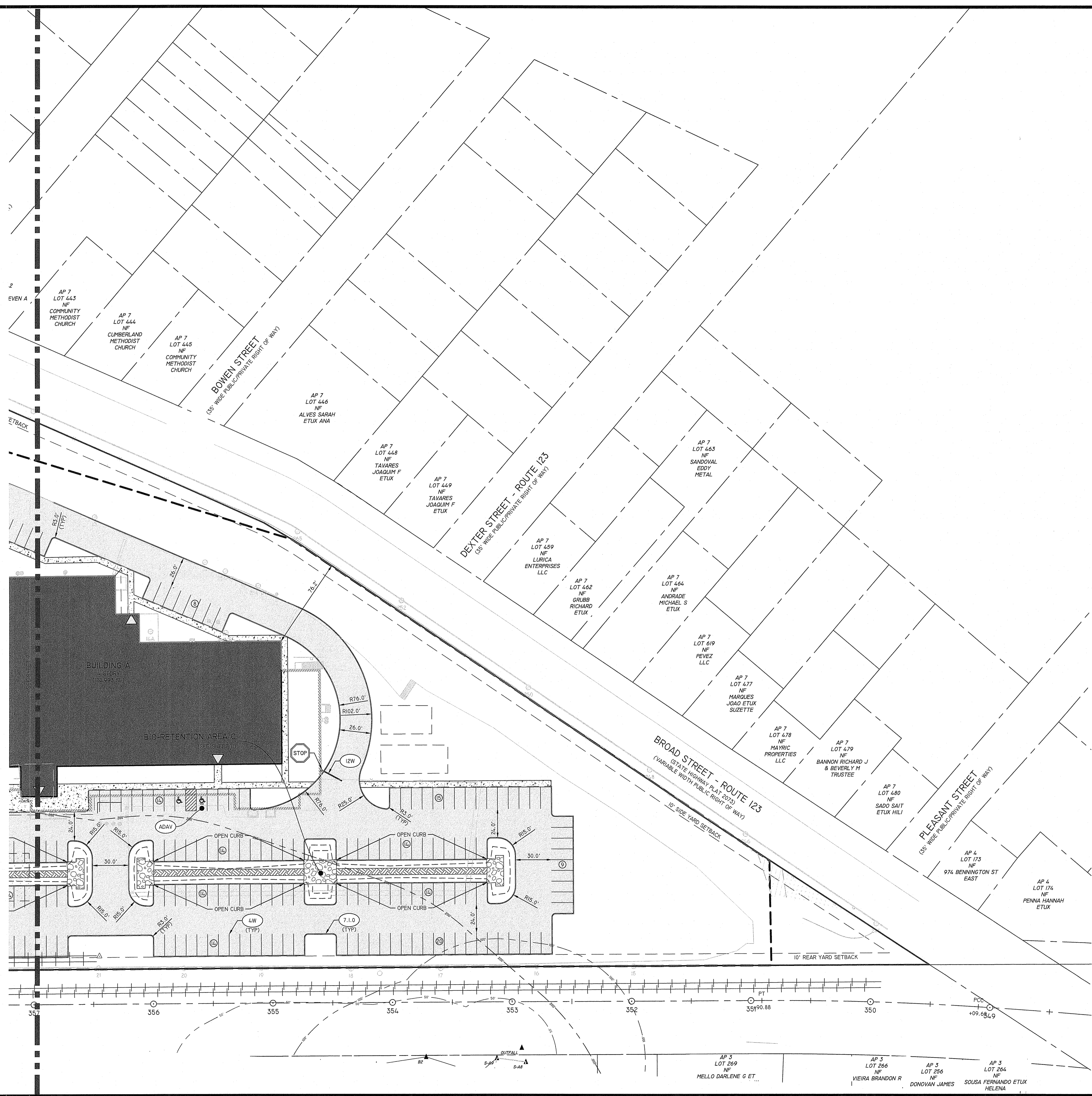
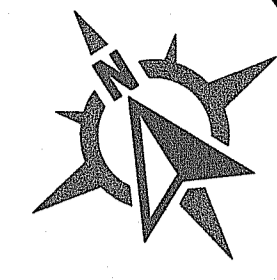
**ANN & HOPE MILL REDEVELOPMENT**

ASSESSOR'S PLAT II LOT 159  
 CUMBERLAND, RHODE ISLAND

PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
 725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
 TEL 401-383-9646

DE JURE NO. 2505-005 COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **7** OF 13

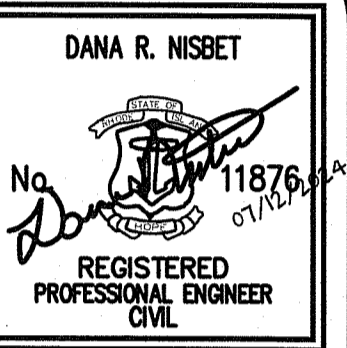


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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 DATED: DEC 11 2024 FILE #: 24-0175  
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SCALE: 1"=40'  
 0 20' 40' 80'

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 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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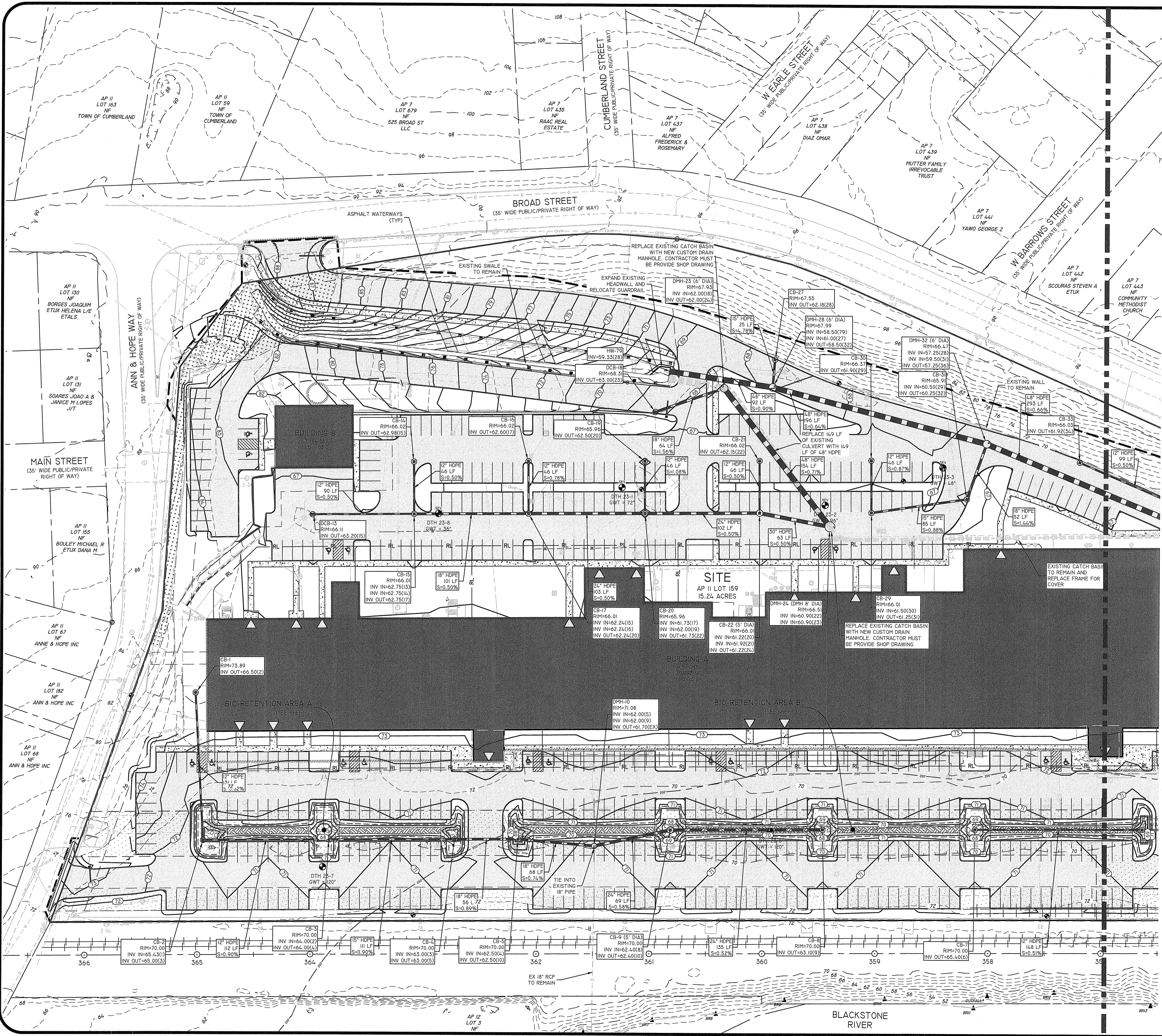
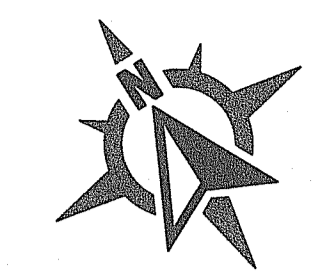
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY EXISTING UTILITIES. ONLY DIPRETE ENGINEERING ASSUMES RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND SEE UTILITY NOTES ON SHEET 3.

NO.	DATE	DESCRIPTION	BY:
0	07/22/2024	REBER SUBMISSION	F.Y.A.
		DESIGN	F.Y.A.

**SITE LAYOUT PLAN - 2**  
**ANN & HOPE MILL REDEVELOPMENT**  
 ASSESSOR'S PLAT LOT 159  
 CUMBERLAND, RHODE ISLAND

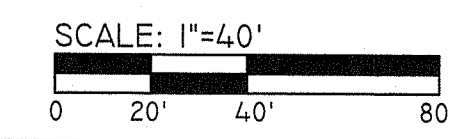
PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
 725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
 TEL 401-385-9646

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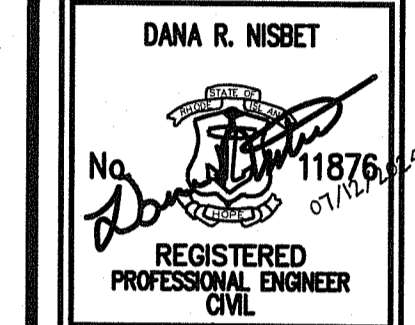


Z:\DWG\PROJECTS\1205-005-ANN AND HOPE WAY (RD)\AUTOCAD DRAWINGS\1205-005-PLAN.DWG PLOTTED: 7/12/2024

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: OCT 04 2024 FILE #: 24-015  
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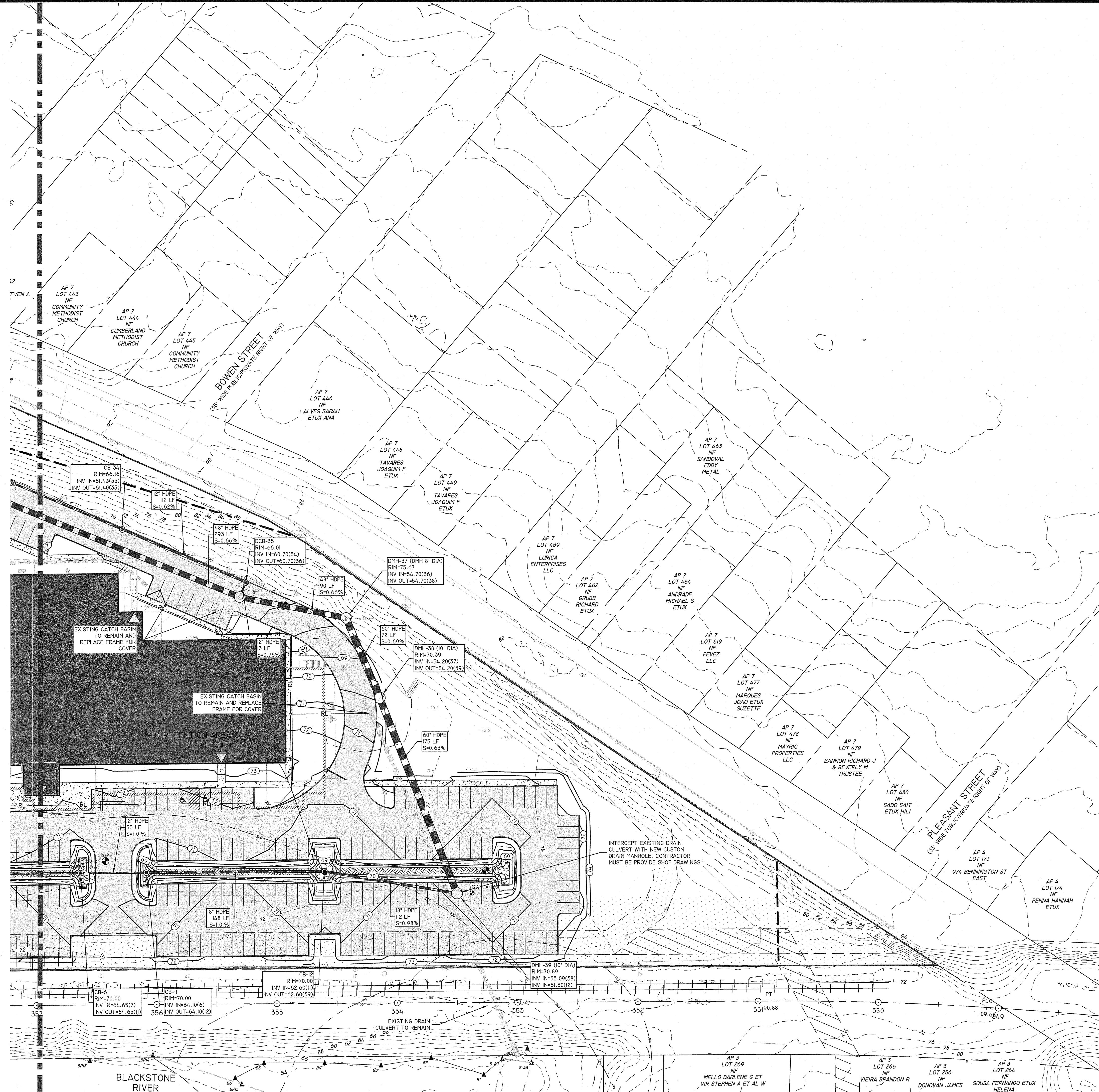
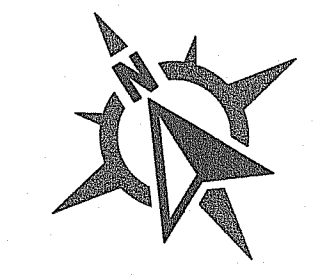


**GRADING AND DRAINAGE - I**  
**ANN & HOPE MILL REDEVELOPMENT**  
ASSESSOR'S PLAT III, LOT 159  
CUMBERLAND, RHODE ISLAND  
PREPARED FOR:  
**HARTFORD HOLDINGS, LLC**  
725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
TEL 401-383-9646



THIS PLAN SET MAY NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC.  
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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DISCRETE BASIS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND CONFORMANCE IN THE IMPLEMENTATION OF THE PLAN AND DESIGN.  
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.  
DIPRETE ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PARTIES.  
ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
ENGINEERING SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECTS.  
DESIGN BY: F.Y.A.  
DRAWN BY: F.Y.A.

**DiPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com  
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*[Signature]*

SCALE: 1"=40'  
 0 20' 40' 80'

GRADING AND DRAINAGE - 2  
 ANN & HOPE MILL REDEVELOPMENT  
 ASSESSOR'S PLAT # LOT 159  
 CUMBERLAND, RHODE ISLAND

PREPARED FOR:  
 HARTFORD HOLDINGS, LLC  
 725 BRANCH AVENUE, PROVIDENCE, RHODE ISLAND 02904  
 TEL. 401-385-9646

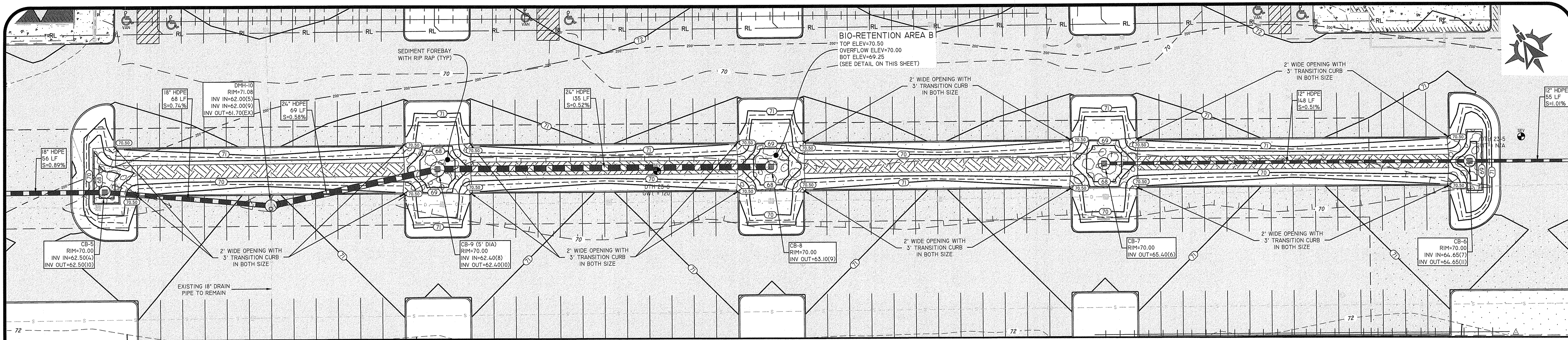
NO.	DATE	DESCRIPTION	BY:
0	07-22-2024	ROBERT SUBMISSION	F.Y.A.
		DESIGN	BY: F.Y.A.

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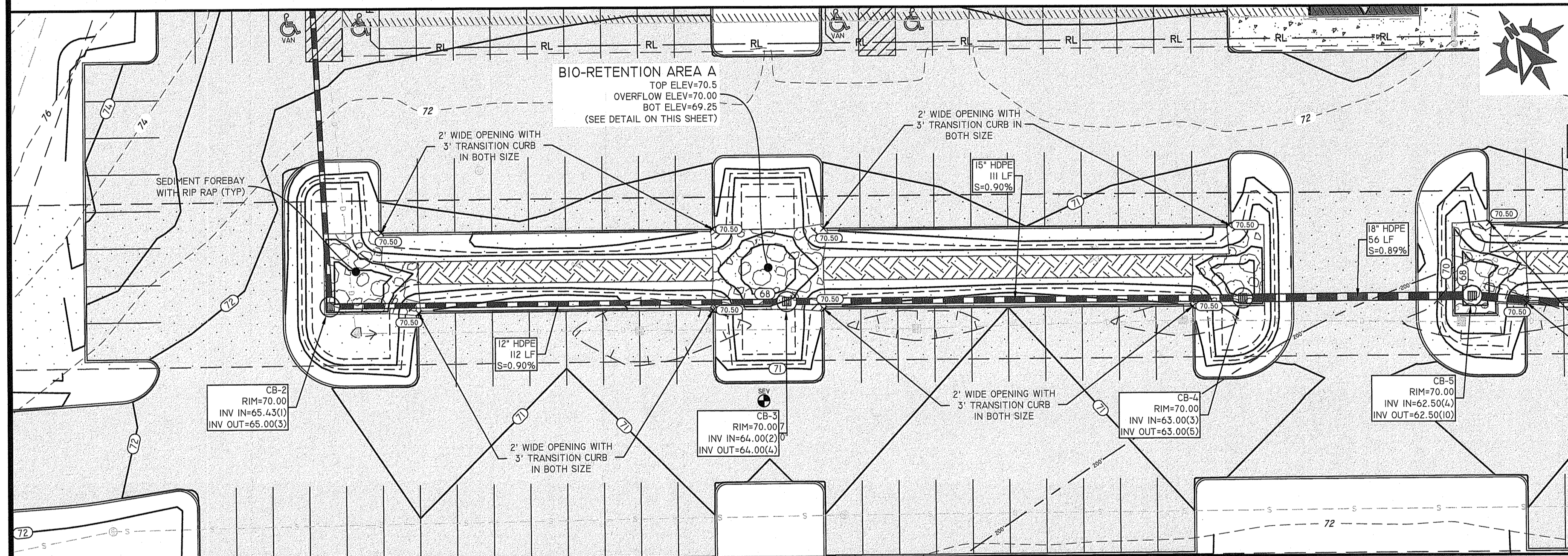
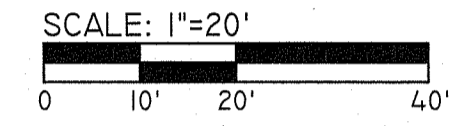
DANA R. NISBET  
 No. 11876  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

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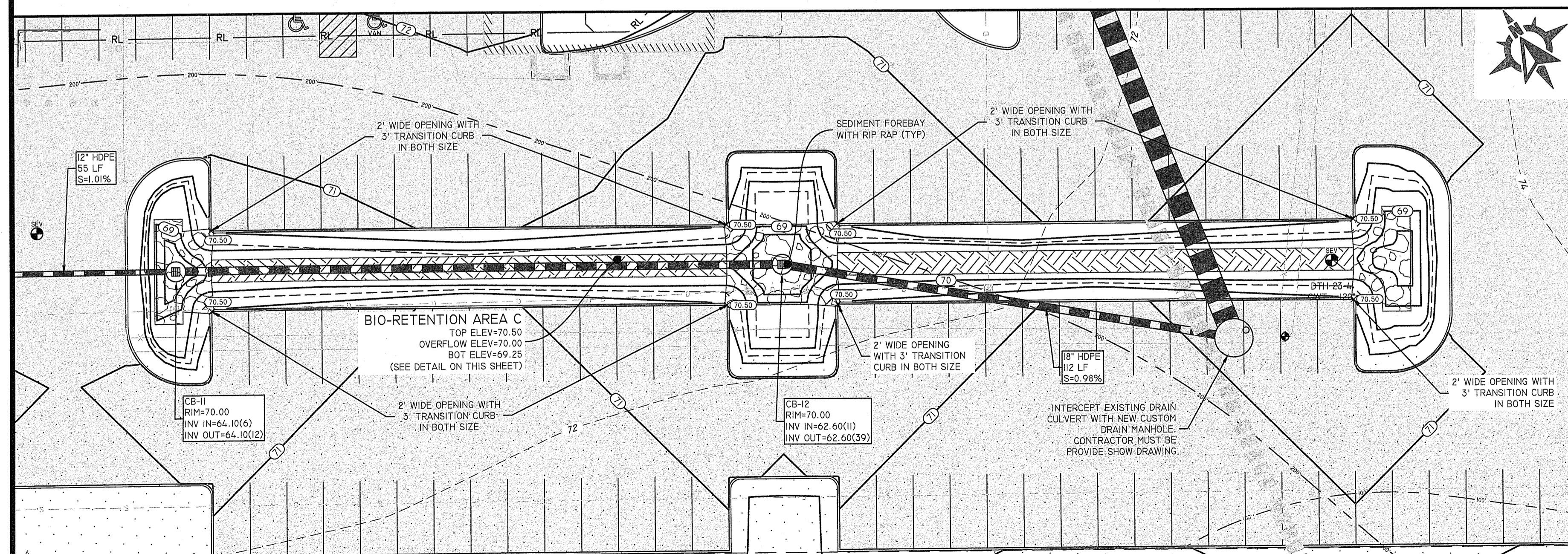
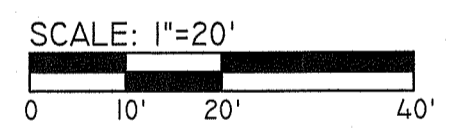
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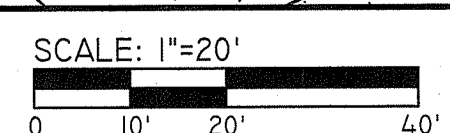
BIO-RETENTION AREA B



BIO-RETENTION AREA A



BIO-RETENTION AREA C

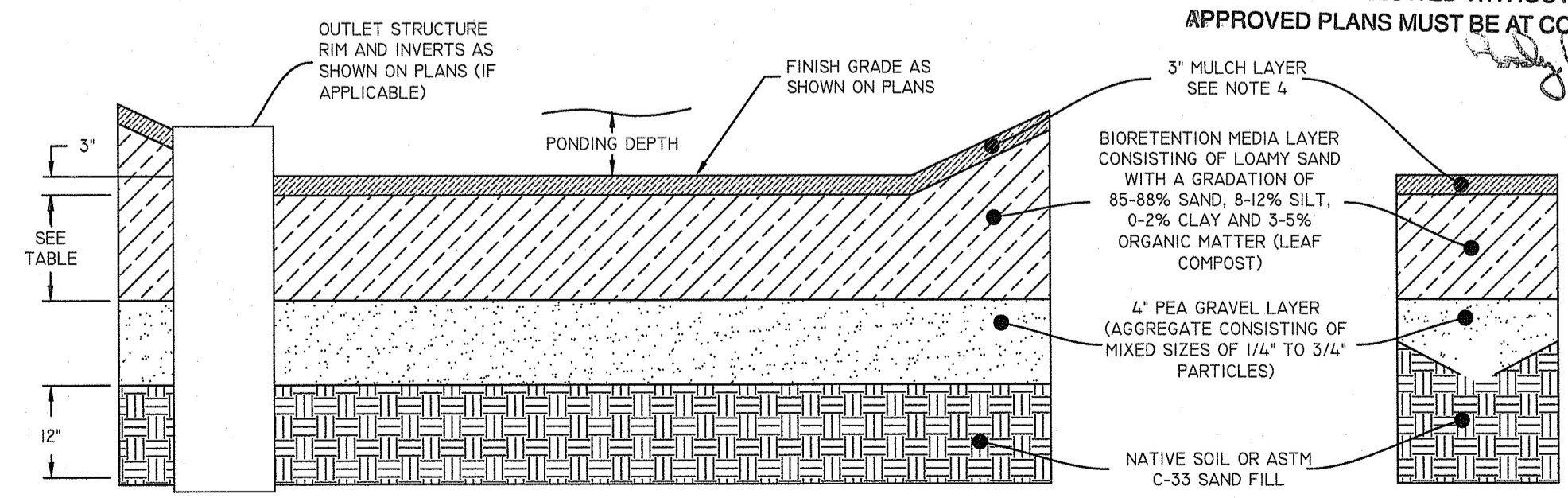


- NOTES:**
- BIORETENTION AREAS SHALL BE HAND COMPACTED ONLY. NO MACHINES SHALL BE DRIVEN THROUGH OR OPERATED WITHIN THE BIORETENTION FOOTPRINT.
  - BIORETENTION AREAS SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL ONCE BIORETENTION SOIL HAS BEEN INSTALLED. AREA IS TO REMAIN PROTECTED UNTIL ALL TRIBUTARY AREAS HAVE BEEN STABILIZED AND APPROVAL FROM THE DESIGN ENGINEER. NO CONSTRUCTION TRAFFIC IS ALLOWED ON BIORETENTION MEDIA.
  - BIORETENTION AREAS DESIGNED AS AN INFILTRATION SYSTEM SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL AT THE START OF CONSTRUCTION. NO CONSTRUCTION TRAFFIC IS ALLOWED WITHIN BIORETENTION LIMITS THROUGHOUT CONSTRUCTION.
  - THE MULCH LAYER SHALL BE SHREDDED HARDWOOD MULCH THAT IS WELL (AGED STOCKPILED/STORED FOR AT LEAST 6 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS (WEED SEEDS, SOIL, ROOTS ETC.).

DESCRIPTION	BIO-A	BIO-B	BIO-C
TOP OF POND ELEVATION	70.50	70.50	70.50
100 YEAR STORM ELEVATION	70.23	70.27	70.31
10 YEAR STORM ELEVATION	70.10	70.09	70.14
1 YEAR STORM ELEVATION	69.49	69.56	69.67
OUTLET ELEVATION	70.00	70.00	70.00
TOP OF MULCH	69.25	69.25	69.25
BIO-MEDIA LAYER DEPTH	2'	2'	2'
SEASONAL HIGH GWT ELEVATION	58.0	58.0	61.0
SOIL EVALUATION	DTH 23-7	DTH 23-6	DTH 23-4

SYSTEM EXCAVATION MUST BE MONITORED/INSPECTED BY SITE ENGINEER AND/OR GEOTECHNICAL ENGINEER AT TIME OF INITIAL EXCAVATION TO BOTTOM OF SYSTEM, AND AS REQUIRED BY DESIGN ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: OCT 04 2024 FILE # 24-015

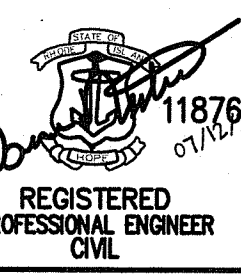


BIO-RETENTION AREA (INFILTRATION) CROSS SECTION  
NOT TO SCALE



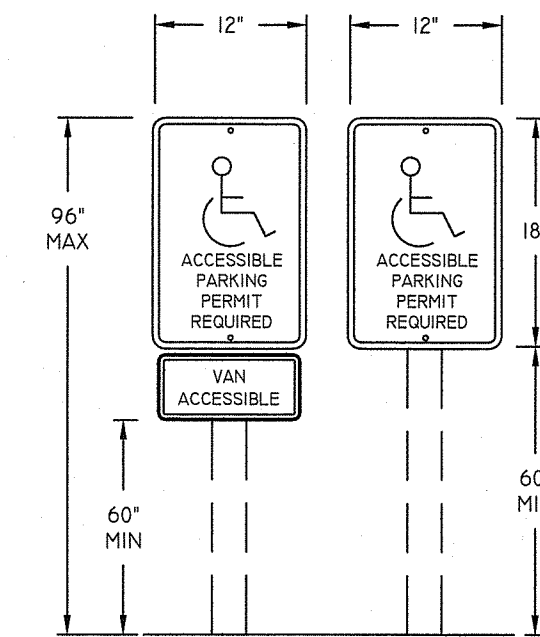
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DANA R. NISBET



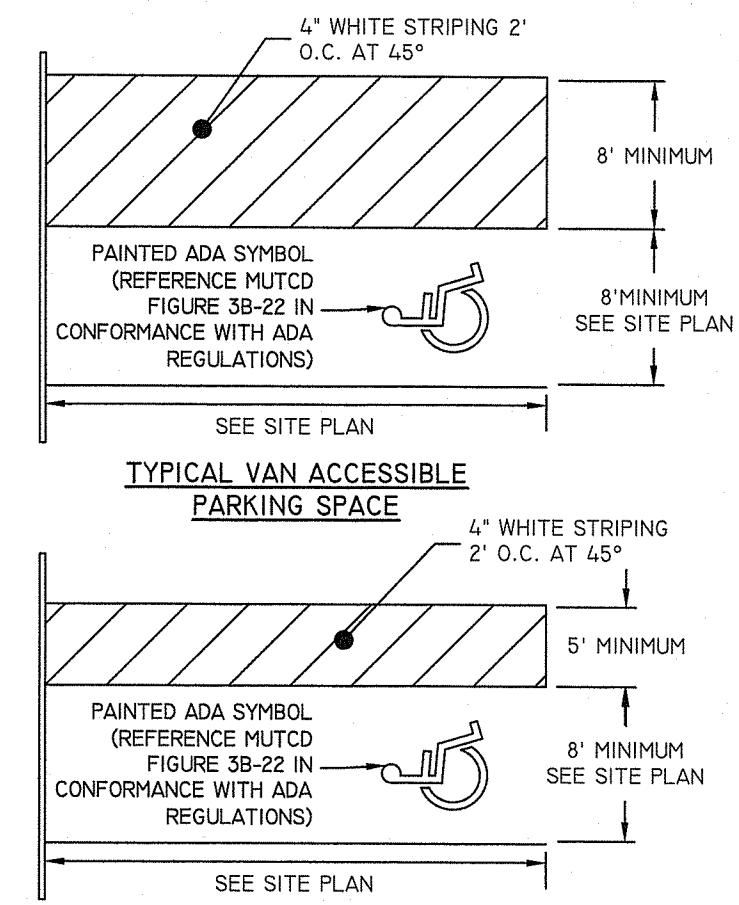
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: OCT 04 2024 FILE #: 24-017  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Dana R. Nisbet*



- NOTES:**
- SIGN MUST BE PLACED BEHIND APPLICABLE VAN ACCESSIBLE OR ACCESSIBLE SPACE AS SHOWN ON SITE PLAN.
  - ACCESSIBLE PARKING SPACES AND SIGNAGE MUST COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR THE APPLICABLE STATE/ MUNICIPAL BUILDING CODE, WHICHEVER STANDARD CONTROLS.
  - THE MAXIMUM HEIGHT OF THE TOP OF THE HIGHEST SIGN SHALL BE 96".
  - THE MINIMUM HEIGHT OF THE BOTTOM OF THE HIGHEST SIGN SHALL BE 60".
  - THE ABOVE NOTES APPLY REGARDLESS OF ADA SIGN MOUNTING TYPE (I.E. POLE MOUNTED, BOLLARD MOUNTED, WALL MOUNTED ETC.)

**TYPICAL ACCESSIBLE PARKING SIGN**  
NOT TO SCALE

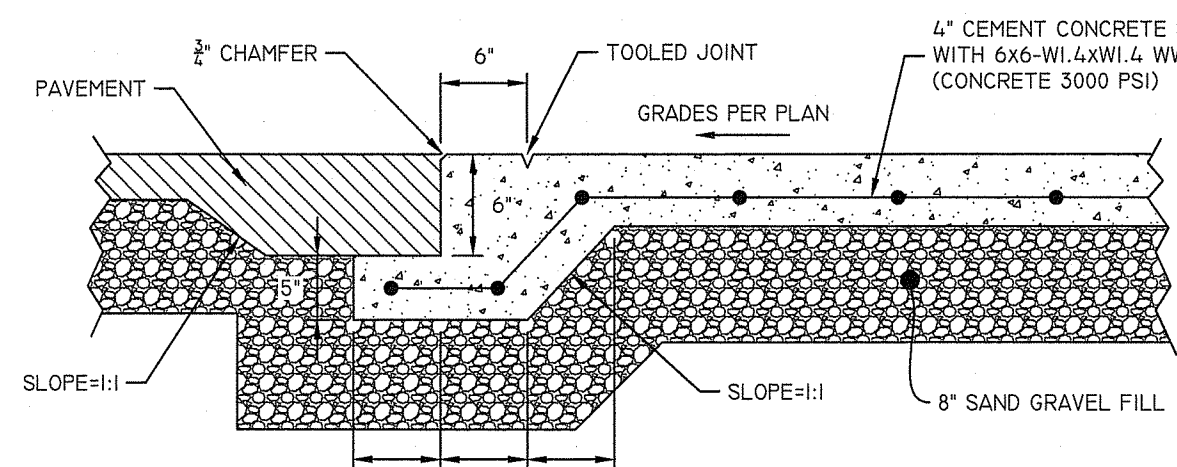


- NOTES:**
- ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
  - APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
  - FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.

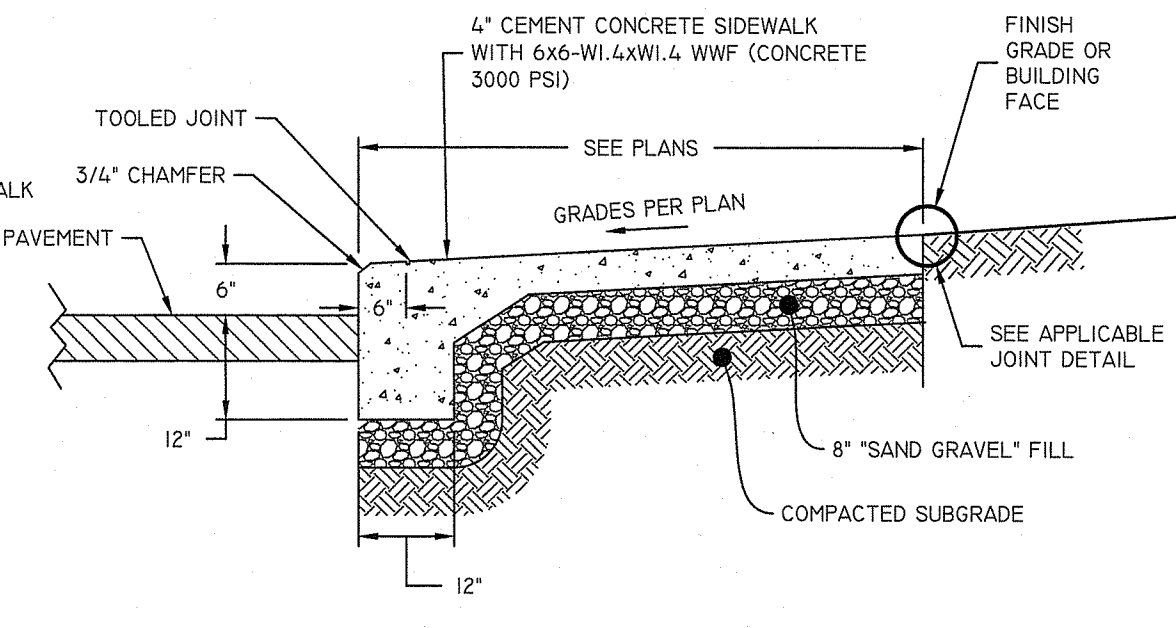
**TYPICAL ACCESSIBLE PARKING SPACES**  
NOT TO SCALE

**NOTE:**

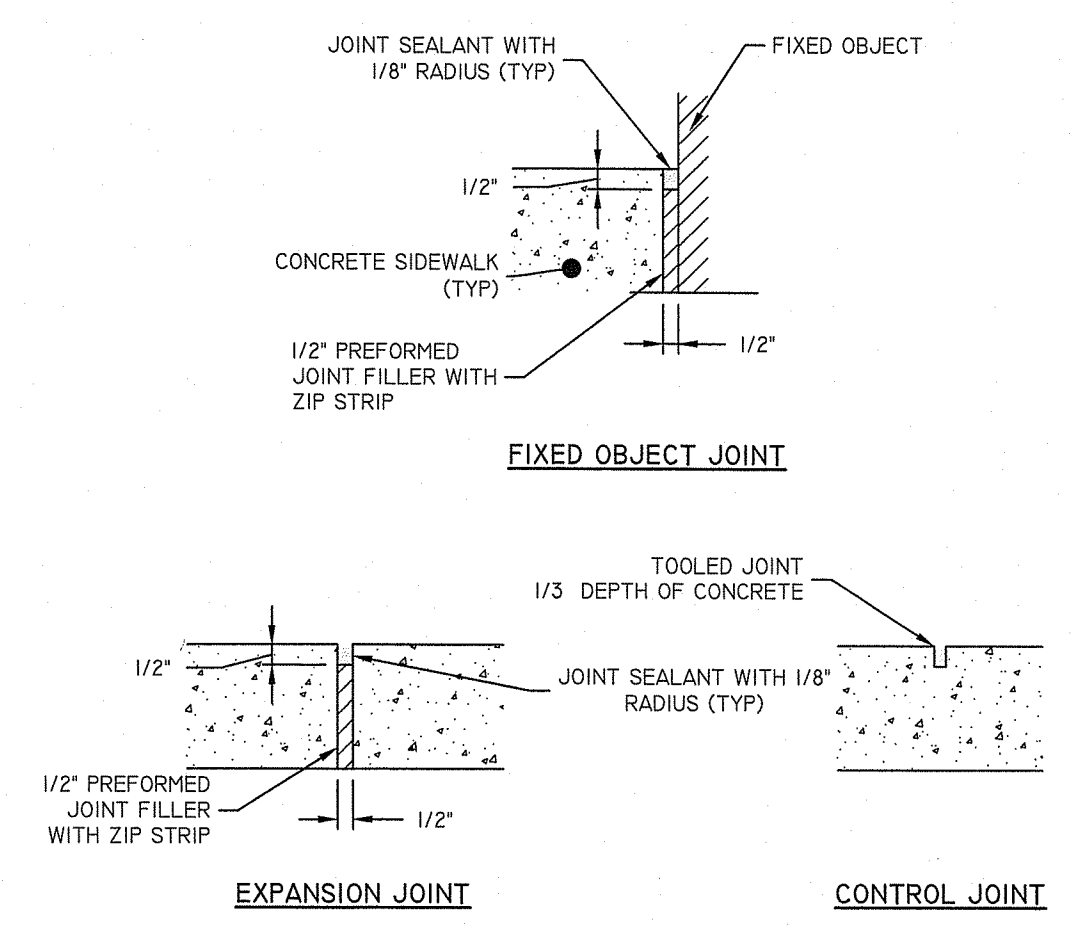
- SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
- SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
- PROVIDE EXPANSION JOINTS AT MAX. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
- PROVIDE CONTROL JOINTS AT 5' O.C.
- MUST BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS, CURRENT EDITION.



**SECTION MONOLITHIC CURB AND SIDEWALK (FLUSH)**  
NOT TO SCALE



**SECTION MONOLITHIC CURB AND SIDEWALK (6" REVEAL)**  
NOT TO SCALE



**EXPANSION JOINT CONTROL JOINT**