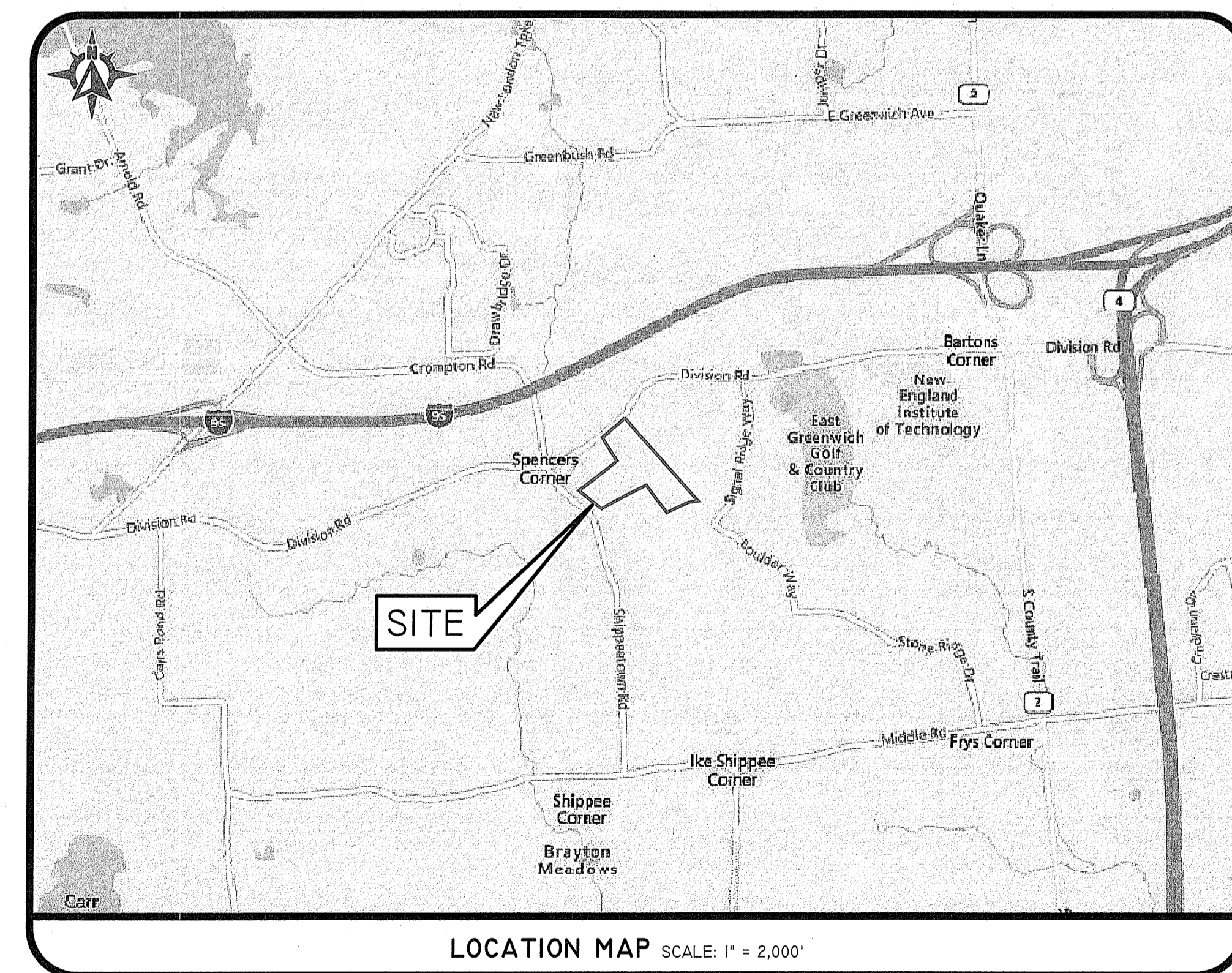


RIDEM SUBMISSION

RIDGELINE ESTATES & CONDOMINIUMS

LOCATED ON DIVISION ROAD & BEECH CREST DRIVE
EAST GREENWICH, RHODE ISLAND 02818

ASSESSOR'S PLAT 69-12 LOTS III & 135



SHEET INDEX

- 1 COVER SHEET
- 2 NOTES & LEGEND
- 3 AERIAL HALF-MILE RADIUS & USGS MAP
- 4 EXISTING CONDITIONS PLAN
- 5 OVERALL SESC PLAN
- 6 OVERALL SITE PLAN
- 7 SITE PLAN - 1
- 8 SITE PLAN - 2
- 9 GRADING PLAN - 1
- 10 GRADING PLAN - 2
- 11 GRADING PLAN - 3
- 12 PLAN & PROFILE - DALTON DRIVE
- 13 PLAN & PROFILE - RIDGELINE ROAD
- 14 DIVISION ROAD WATER LINE EXTENSION
- 15 POND COMPLEX A
- 16 POND COMPLEX B
- 17 DETAIL SHEET - 1
- 18 DETAIL SHEET - 2

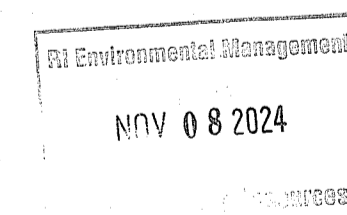
- 19 OVERALL LANDSCAPE PLAN
- 20 LANDSCAPE PLAN - 1
- 21 LANDSCAPE PLAN - 2

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: **NOV 26 2024**, FILE # **24-0192**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman

RIDEM ENVIRONMENTAL MANAGEMENT
FRESHWATER WETLANDS PROGRAM
NOTE PER DEM

Kindly be advised that this Permit
is not equivalent to the
verification of the type & extent
of freshwater wetlands on site



SESC / O&M
THE SOIL EROSION AND SEDIMENT CONTROL PLAN
(SESC) AND STORMWATER OPERATION AND
MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS
WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE
CONTRACTOR AND OWNER ON SITE.

RIDOT
THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE
RATE OF STORMWATER RUNOFF ONTO THE STATE
HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY
MUST CONFORM TO THE RI STANDARD SPECIFICATIONS,
DETAILS, AND ADDENDUMS.

COVER SHEET
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818
PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION
UNLESS IT IS APPROVED BY THE RI DEPARTMENT OF
ENVIRONMENTAL MANAGEMENT. THE CONTRACTOR IS
RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS
AND DESIGN. EASTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR
IS RESPONSIBLE FOR VERIFYING THE LOCATION OF
EXISTING UTILITIES PRIOR TO CONSTRUCTION. SEE
UTILITY NOTES ON SHEET 2.

CHRISTOPHER A. DUHAMEL
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com
Boston • Providence • Newport

GENERAL NOTES:

- THE SITE IS LOCATED ON THE TOWN OF EAST GREENWICH ASSESSOR'S PLAT 69-12, LOTS III & 135.
- THE SITE IS APPROXIMATELY 31.5+ ACRES AND IS ZONED F1 - FARMING.
- THE OWNER OF AP 69-12 LOTS III & 135 IS:
ESTATE OF LESLIE E. GRINNELL, KIMBERLY A. HALEY
134-F NECK ROAD
OLD LYME, CT 06037-2700
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44000301H, MAP REVISED OCTOBER 2, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS 4 BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSIDERED AS A CLASS 1 STANDARD SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS 1 STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADAPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF EAST GREENWICH STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS LOCATED WITHIN THE FRESHWATER WETLAND BUFFER RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (250-RICR-150-15-3-24).
- RIDEM APPLICATIONS FOR FRESHWATER WETLANDS, RIDEPS, STORMWATER WATER QUALITY, ONSITE WASTEWATER SYSTEMS, SITE SPECIFIC PHYSICAL ALTERATION PERMIT APPLICATION AND KENT COUNTY WATER AUTHORITY APPLICATIONS ARE REQUIRED.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - SOIL EROSION AND SEDIMENT CONTROL PLAN (SECC). THE SECC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.ri.gov/business/contractorsandconsultants.php)
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PRIVATE INDIVIDUAL AND COMMUNITY ONSITE WASTEWATER TREATMENT SYSTEMS.
- CONTRACTOR TO REFER TO KENT COUNTY WATER AUTHORITY (KCWA) RULES AND REGULATIONS FOR SERVICE INSTALLATION AND EXTENSIONS FOR PROPER REVIEW AND INSTALLATION REQUIREMENTS.
- PROPOSED PUBLIC RIGHT OF WAY IS TO BE 44' WIDE, CONSISTING OF 24' WIDE PAVEMENT AND 0.5' CEMENT CURB ON EACH SIDE. DUPLEX CONDOMINIUMS WILL HAVE A PRIVATE ROAD, CONSISTING OF 24' WIDE PAVEMENT AND 0.5' BERM ON EACH SIDE.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF EAST GREENWICH SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND STORMWATER BMP COMPLEXES. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES. PHASE 1 - PRIVATE DRIVE, PUBLIC ROAD, UTILITIES, AND STORMWATER. PHASE 2 - RIDOT PHYSICAL ALTERATION PERMIT AND CONSTRUCTION OF EACH CONDOMINIUM OR SINGLE FAMILY HOME BASED ON THE MARKET.
- PROPOSED SINGLE FAMILY HOMES REPRESENTED LOTS ARE TO BE 5 BEDROOMS. DUPLEX CONDOMINIUMS ARE PROPOSED TO BE 2 BEDROOMS PER UNIT.
- WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND SURVEYED BY DIPRETE ENGINEERING USING SUBMETER GPS ON 09-26-2022.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY A COMPLETED "SUBSTITUTION REQUEST" CSI FORM 13.1A (APRIL 2022 VERSION MODIFIED BY DIPRETE ENGINEERING 2023) - FORM AVAILABLE FROM DIPRETE ENGINEERING. SUBMISSION PACKAGE MUST INCLUDE APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVES MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE CEOR.
- THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT/DETAILS BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAILS BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF DWELLING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING MUST BE PRECAST CONCRETE FOR THE PUBLIC RIGHT OF WAY. PRIVATE DRIVEWAY IS TO HAVE BITUMINOUS BERM EDGE TREATMENT.
- SIDEWALK ALONG PRIVATE ROADWAY TO BE ASPHALT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/MOUNTING TYPE, PAVEMENT MARKING LOCATIONS, TYPE, WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY THE CEOR OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/PAVEMENT MARKINGS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE DWELLING. THE HOUSE IS SHOWN AS A SCHEMATIC ONLY AND WILL BE CONSIDERED PRIOR TO BUILDING PERMIT APPLICATIONS. AS APPLICABLE, BUILDINGS WITH BASEMENTS ARE TO HAVE A BULKHEAD ACCESS DOOR.
- CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON THE ELECTRIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TRIM GUARDRAIL WITH STEEL POSTS IN CONFORMANCE WITH SECTION 5.4.1.0 "HERMITT PARKWAY AESTHETIC GUARDRAIL" OF THE MASSHO ROADSIDE DESIGN GUIDE 4TH EDITION 2011. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE CEOR IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND THE CEOR PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAY/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN TWO FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE A&M.
- INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT. PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISECC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISECC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISECC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE RISECC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SECC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SECC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEARED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SECC PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.
- SLOPES STEEPER THAN 3:1 REQUIRE TEMPORARY EROSION CONTROL BLANKETS. EROSION CONTROL BLANKETS TO BE NORTH AMERICAN GREEN OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- AT THE COMPLETION OF CONSTRUCTION AND PRIOR TO DEMOBILIZATION, CONTRACTOR MUST FLUSH AND CLEAN THE ENTIRE DRAINAGE NETWORK, ALL STRUCTURES AT DOWNSTREAM CONNECTION POINTS, WATER QUALITY SYSTEMS, INFILTRATION BASINS, SWALES, ETC. CLEANING MUST INCLUDE REMOVAL OF ALL SEDIMENTS AND DEBRIS FROM PIPES AND ALL DRAINAGE COMPONENTS. WASTE MATERIAL MUST BE LEGALLY DISPOSED OFF SITE.

SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:

- OVERALL SITE CONSTRUCTION PHASING TO BE BASED PER POND COMPLEX AND SEDIMENT TRAPS) CONTRIBUTING CATCHMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE CEOR.
- SEDIMENT EROSION CONTROL PHASING TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.
- ANY AREAS THAT ARE CLEARED AND GRUBBED THAT ARE EITHER A) NOT TRIBUTARY TO A SEDIMENT TRAP OR B) ARE NOT INTENDED FOR IMMEDIATE DEVELOPMENT/ EARTHWORKING, MUST BE STABILIZED IMMEDIATELY INCLUDING (BUT NOT LIMITED TO) SLOPE INTERRUPTORS, HYDROSEED BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWTH MEDIUM (FGM) BEST SUITED TO THE INSITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.

DEMOLITION NOTES:

- CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDINGS(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF AND SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED IN FINISH GROUND AT EACH INSTALLED CATCH BASIN. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO CONSTRUCTION. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FEBRUARY 2024, WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS 1998 EDITION (AMENDED OCTOBER 2022) WITH ALL REVISIONS.
- CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
- ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
- NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
- SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM PRE-DEVELOPMENT TO POST DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE ROW FROM THE PROPOSED DEVELOPMENT.
- WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). WORK ONSITE WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.

GRADING, DRAINAGE, AND UTILITY NOTES:

- CONSTRUCTION TO COMMENCE WITHIN 90 DAYS OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND DWELLINGS MUST BE COORDINATED WITH OWNER AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ONSITE.
- IF EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE THE DUPLEX CONDOMINIUM ROADWAY WITH A 3' BITUMINOUS BERM. THE FOUR LOT SUBDIVISION ROADWAY OFF OF BEECH CREST ROAD WILL HAVE 6" PRECAST CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM AND CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE SPECIFIED.
- NO STUMP DUMPS ARE ALLOWED ON SITE.
- ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
- CONTRACTOR MUST PROVIDE SUMP CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
- IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE. ALL

- RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATIONS SHOWN ON PLANS, MUST HAVE A MINIMUM OF 12" OF SEPARATION TO THE SEASONAL HIGH GROUNDWATER TABLE. DIPRETE ENGINEERING ONLY CERTIFIES TO THE SOIL CONDITIONS IN AREAS TESTED. ADDITIONAL TESTING WILL BE REQUIRED DURING CONSTRUCTION TO VERIFY SEASONAL HIGH GROUNDWATER. ALL TESTING TO BE WITNESSED BY A LICENSED SOIL EVALUATOR. CONTRACTOR TO NOTIFY DESIGN ENGINEER IF SOIL CONDITIONS ARE FOUND TO DIFFER OR IN CONFLICT WITH A MINIMUM OF 24" OF SEPARATION.
- CONTRACTOR MUST HOLD SUPPORT/RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MASTS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS NECESSARY FOR UTILITY CONNECTION/ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DEMOLITION NOTES:

- CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDINGS(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF AND SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED IN FINISH GROUND AT EACH INSTALLED CATCH BASIN. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

DRAINAGE:

- ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE), OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.
- DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
 - CATCH BASINS ALONG CURBING: RIDOT STD. 4.4-0, TYPE F, 4" DIAMETER WITH APRON STONE 4% AND STEEPER
 - CATCH BASINS MUST HAVE 3 FT SIPS WITHOUT SEEP HOLES
 - SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
 - DOUBLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
 - HIGH CAPACITY CATCH BASIN GRATES: RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 4% AND STEEPER
 - DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
 - DROP INLETS: RIDOT STD 4.5-0, 4.5-1 OR 4.5-2
 - APRON STONE, WHERE REQUIRED: RIDOT STD 7.1-7 OR 7.1-8
 - HEADWALLS: RIDOT STD 2.1-0
 - MANHOLES: RIDOT STD 4.2-0, 4.2-1 OR 4.2-2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE SELECTION.
 - ALL OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVER.
 - FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION/DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/A&M REQUIREMENTS & SPECIFICATIONS.

RIDEM SITE SUITABILITY NOTES:

- THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
- THERE ARE NO KNOWN EXISTING OR PROPOSED OWTS WITHIN 200 FT OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
- THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT OF THE PROPOSED DEVELOPMENT.
- THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT OF A PROPOSED OWTS EXCEPT WHERE SHOWN.

WATER:

ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH KENT COUNTY WATER AUTHORITY RULES, REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAD ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASUILT PER PROVIDENCE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH KENT COUNTY WATER AUTHORITY TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS:

PROPOSED ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH RI ENERGY PRIOR TO CONSTRUCTION.

SITE LIGHTING:

NOT PROVIDED

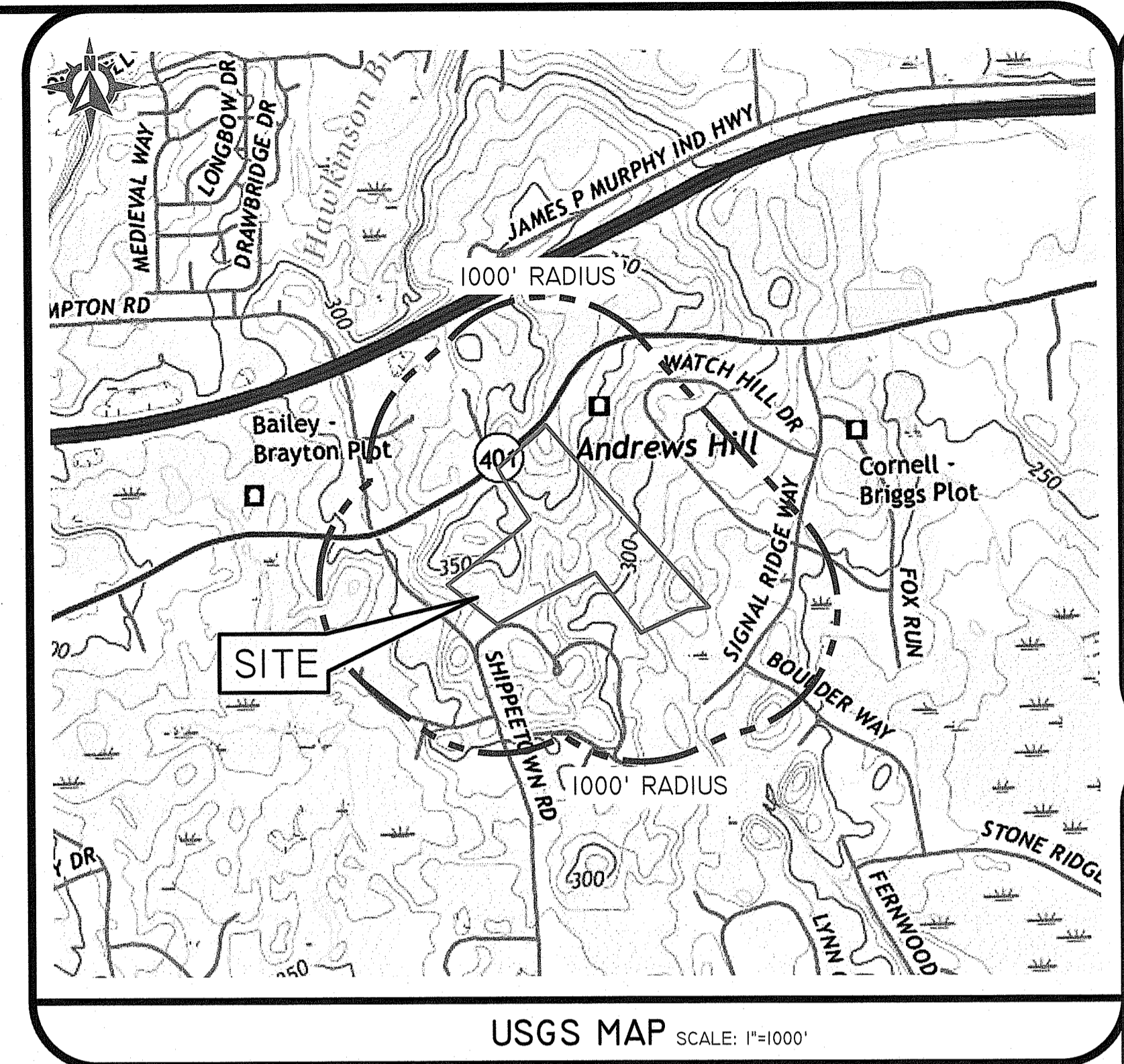
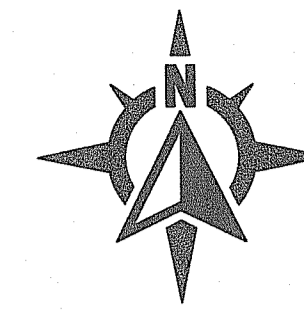
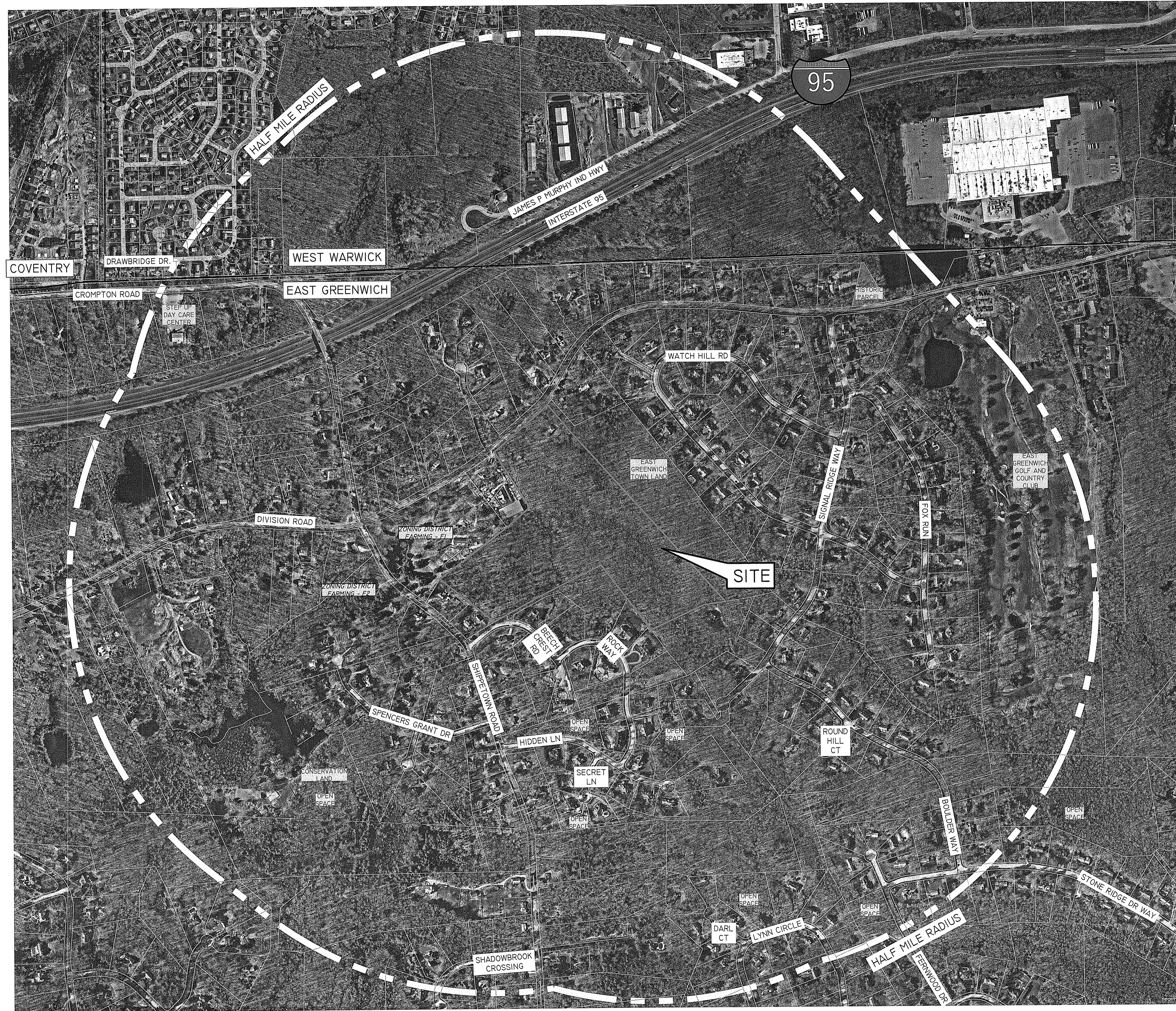
ABBREVIATIONS LEGEND:

ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHJ	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AP	ASSESSOR'S PLAT	PE	POLYETHYLENE
ARCH	ARCHITECT	PR	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TRESTHOLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIORETENTION	R&D	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT TOP OF WALL	RH	RHODE ISLAND
CB	CATCH BASIN	RHB	HIGHWAY BOUND
CA	CALCULATED	RL	ROOF LEADER
CEOR	CENTERLINE	ROW	RIGHT-OF-WAY
(CA)	CHORD ANGLE	S	SLOPE
CEOR	CIVIL ENGINEER OF RECORD, DIPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER	SD	SUBDRAIN
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SEF	SEDIMENT FOREBAY
CO	CLEAN OUT	SP	SQUARE FOOT
CONC	CONCRETE	SFL	STATE FREEWAY LINE
(D)	DEED	SFM	SEWER FORCE MAIN
DCB	DOUBLE CATCH BASIN	SG	SLAB ON GRADE ELEVATION
DI	DROP INLET	SH	STATE HIGHWAY LINE
DMH	DRAINAGE MANHOLE	SHM	SEWER MANHOLE
DPT	DETENTION POND	SNF	SAND FILTER
ELEV	ELEVATION	SS	SIDE SLOPE
EOP	EDGE OF PAVEMENT	ST	STATION
ESC	EROSION AND SEDIMENT CONTROL	TC	TOP OF CURB
EX	EXISTING	TD	TRENCH DRAIN
FES	FLARED END SECTION	TF	TOP OF FOUNDATION
FF	FINISH FLOOR ELEVATION	TRANS	TRANSITION
GS	GARAGE SLAB ELEVATION	TW	TOP OF WALL (FINISHED)
GW	GROUND WATER TABLE	UDS	UNDERGROUND
HW	HEADWALL	UIS	UNDERGROUND
HC	HIGH CAPACITY CATCH BASIN GRATE	UIS	UNDERGROUND
HDPE	HIGH DENSITY POLYETHYLENE	UIS	UNDERGROUND
IND	INLINE DRAIN	UP	UTILITY POLE
INV	INVERT	WQ	WALKOUT ELEVATION
IP	INFILTRATION POND	WQ	WATER QUALITY
LARCH	LANDSCAPE ARCHITECT		
LF	LINEAR FEET		
LOD	LIMIT OF DISTURBANCE		
LP	LIGHT POLE		
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/PLUMBING ENGINEER		

PROPOSED LEGEND:

	DRAINAGE LINE
	BUILDING SETBACKS
	CHAIN-LINK FENCE
	GUARDRAIL
	RETAINING WALL
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	SPOT ELEVATION
	EDGE OF PAVEMENT
	BITUMINOUS BERM
	CONCRETE CURB (RIDOT STD 7.1-0)
	MONOLITHIC CONCRETE CURB AND SIDEWALK
	BUILDING FOOTPRINT
	BUILDING OVERHANG
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE
	MILL AND OVERLAY
	CONCRETE
	ASPHALT SIDEWALK
	SAWCUT LINE
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)
	ACCESSIBLE PARKING SPACE SYMBOLS

Z:\UEMAIN\PROJECTS\3240-001 DIVISION STREET 2020\AUTOCAD DRAWINGS\3240-001-CVMS DWG PLOTTER: 10/28/2024



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 04/09/2024.
SCALE: 1"=400'
0 200' 400' 800'

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 26 2024 FILE #: 24-0192
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman

RI Environmental Management
NOV 08 2024
Office of Water Resources

DiPrete Engineering

Two Stafford Court Cranston, RI 02930
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

CHRISTOPHER A. DUHAMEL
[Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN AND ALL WORK THEREON SHALL BE THE PROPERTY OF DIPRETE ENGINEERING AND SHALL BE USED ONLY FOR THE PROJECT AND FOR WHICH IT WAS PREPARED. NO PART OF THIS PLAN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT TO BE RELIED UPON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. SEE UTILITY NOTE ON SHEET E.

NO.	DATE	DESCRIPTION	BY:
1	10/26/2024	DESIGN RESPONSE TO COMMENTS	J.W.S.
2	11/08/2024	FINAL DESIGN	J.W.S.

DESIGN BY: J.W.S.

AERIAL HALF-MILE RADIUS & USGS MAP
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818

PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880

UTILITY NOTES

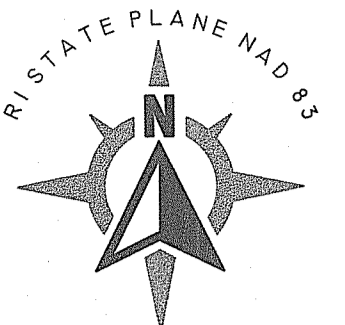
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UTILITY PLAN REFERENCES
 - WATER INFORMATION OBTAINED FROM KENT COUNTY WATER AUTHORITY PLANS OF RECORD

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION	PERCENT SLOPES
BnB	BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 0 TO 8 PERCENT SLOPES
BnC	BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 8 TO 15 PERCENT SLOPES
CdC	CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
CdD	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 15 TO 25 PERCENT SLOPES
NbB	NARRAGANSETT VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES
NbC	NARRAGANSETT EXTREMELY STONY SILT LOAM, 3 TO 15 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
Wcb	WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES

NOTE: NO PRIME FARMLAND OR FARMLAND OF STATEWIDE IMPORTANCE



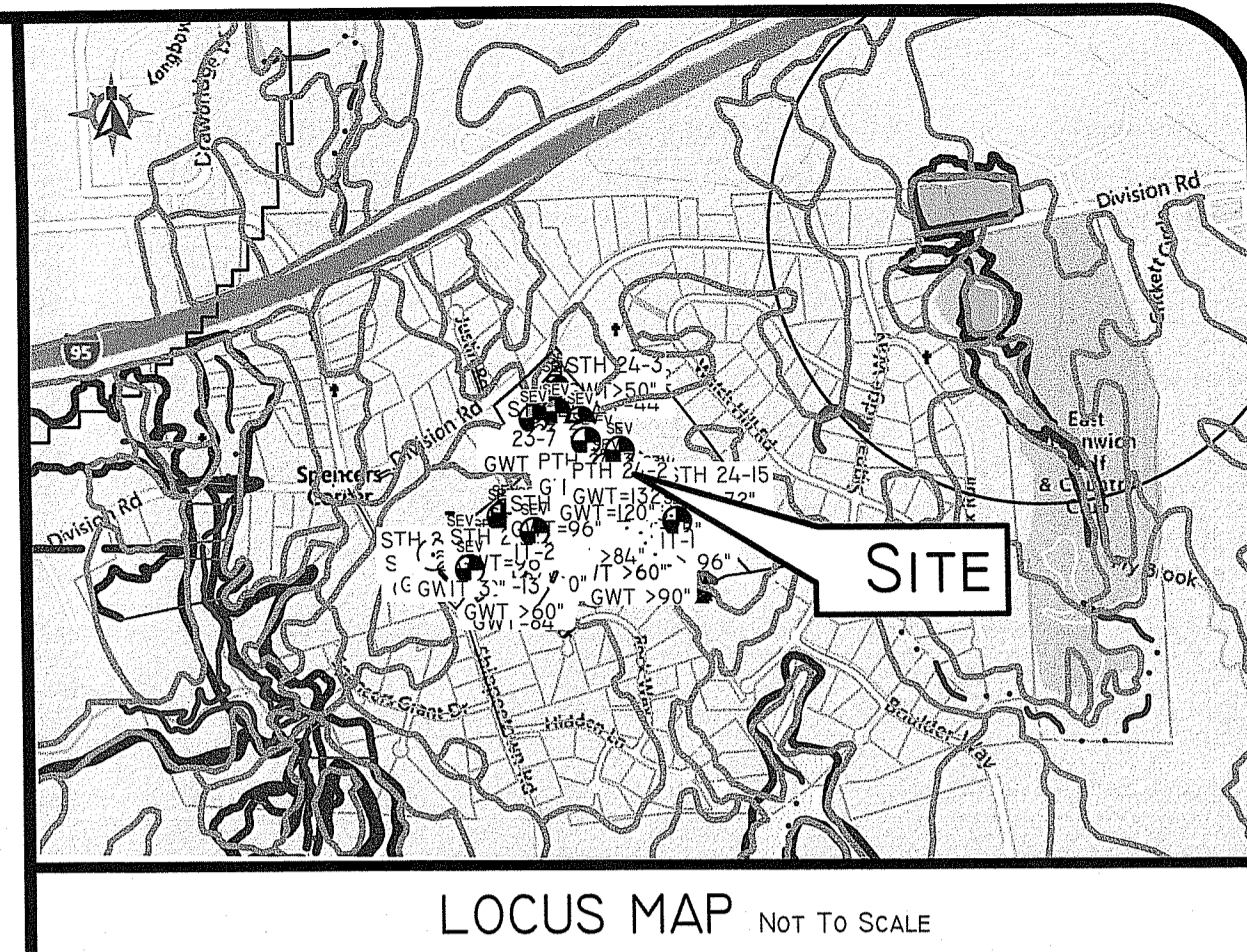
LEGEND

--- W ---	WATER LINE	123/1234	DEED BOOK/PAGE	○	BOLLARD
--- S ---	SEWER LINE	AP	ASSESSOR'S PLAT	⊗	SOIL EVALUATION
--- SFH ---	SEWER FORCE MAIN	HC	HANDICAPPED	■	CATCH BASIN
--- G ---	GAS LINE	N/F	NOW OR FORMERLY	□	DOUBLE CATCH BASIN
--- E ---	ELECTRIC LINE	LC	LANDSCAPING	⊕	WATER VALVE
--- OHW ---	OVERHEAD WIRES	(R)	RECORD	⊕	GAS VALVE
--- D ---	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	B-I WETLAND FLAG
---	MINOR CONTOUR LINE	▲	NAIL/SPIKE	○	DRAINAGE MANHOLE
---	MAJOR CONTOUR LINE	○	DRILL HOLE	⊕	FLARED END SECTION
---	PROPERTY LINE	⊕	IRON ROD/PIPE	○	GUY POLE
---	ASSESSOR'S LINE	⊕	BOUND	⊕	ELECTRIC MANHOLE
---	TREELINE	⊕	BOUND (HELD)	⊕	UTILITY/POWER POLE
---	GUARDRAIL	⊕	BOUND (HELD)	⊕	LIGHTPOST
---	FENCE	⊕	BOUND (HELD)	⊕	WELL
---	RETAINING WALL	⊕	BOUND (HELD)	⊕	MONITORING WELL
---	STONE WALL	⊕	BOUND (HELD)	⊕	BENCH MARK
		⊕	BOUND (HELD)	⊕	TREE

ZONING NOTES

- THE PARCEL IS ZONED F1 PER THE ASSESSOR'S ONLINE DATABASE.
- THE ZONING ORDINANCE SECTION LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:
 43,650 SQUARE FEET (1 ACRE)
 MINIMUM FRONTAGE AND LOT WIDTH 150 FEET
 MINIMUM FRONT YARD 60 FEET
 MINIMUM SIDE YARD 30 FEET
 MINIMUM REAR YARD 45 FEET
 (ACCESSORY STRUCTURE) 10 FEET
 MAXIMUM LOT COVERAGE 25 %
 MAXIMUM HEIGHT 35 FEET

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE CITY OF EAST GREENWICH ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.



- GENERAL NOTES**
- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 69-12, LOTS III & 135 IN THE TOWN OF EAST GREENWICH, KENT COUNTY, RHODE ISLAND.
 - THE OWNER OF AP 69-12 LOT III PER DEED BOOK 129 PAGE 264 IS MICHAEL GRINNELL. THE OWNER OF AP 69-12 LOT 135 PER DEED BOOK 129 PAGE 264 IS MICHAEL C. & LESLIE E. GRINNELL.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003C0117H, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON FEBRUARY 8, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - THIS SITE IS NOT WITHIN A:
 • NATURAL HERITAGE SITE
 • GROUNDWATER PROTECTION OVERLAY DISTRICT
 • WELLHEAD PROTECTION AREA
 • GROUNDWATER RECHARGE AREA
 • GWTS CRITICAL RESOURCE AREA
 • DRINKING WATER SUPPLY WATERSHED
 • NATIONAL REGISTER OF HISTORIC PLACES
 - THIS SITE IS WITHIN AN AREA WITH A TMDL WATERSHED AS DEFINED BY RIDEM.
 - THE SITE DOES NOT CONTAIN SOILS CLASSIFIED AS PRIME FARMLAND.

PLAN REFERENCES:

- FOLGER'S WOODS PLAT, PROPOSED MINOR SUBDIVISION, ASSESSORS PLAT 12C LOT 7, EAST GREENWICH, RHODE ISLAND, PREPARED FOR TOWN OF EAST GREENWICH LAND TRUST BY ALPHA ASSOCIATES, SCALE 1" = 80', DATED NOVEMBER 11, 1993.
- APPROVED PLAN FOR AP 12 LOT 8, BLUEBERRY HILL IN EAST GREENWICH, RHODE ISLAND, LAYOUT PLAN BY COMMONWEALTH ENGINEERS AND CONSULTANTS, SCALE 1" = 50', DATED JUNE 22, 2004.
- FAITH HILL FARM PLAT, ADMINISTRATIVE SUBDIVISION, ASSESSORS MAP 68 PLAT 12 LOT 112 & ASSESSORS MAP 69 PLAT 12 LOTS 91 & 113 BY ALPHA ASSOCIATES, LTD., SCALE 1" = 50', DATED FEBRUARY 1, 2017.
- SIGNAL RIDGE, SUBDIVISION 8 BY S.F.M. ENGINEERING ASSOCIATES, SCALE 1" = 50', DATED AUGUST, 1988 REVISED JUNE 8, 1989.
- R.I. STATE HIGHWAY PLAT 439

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-01-19 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

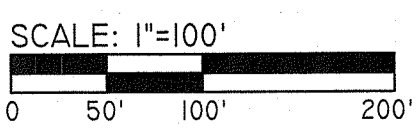
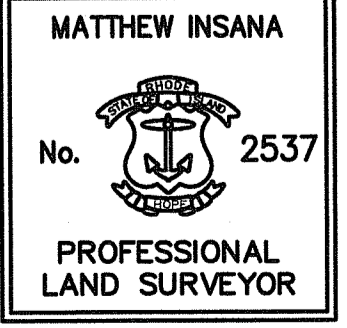
- PERIMETER BOUNDARY SURVEY CLASS 1 (LOT III, LOT 135, AND DIVISION ROAD)
- TOPOGRAPHIC SURVEY CLASS T-2 (AREA LIMITED ALONG DIVISION STREET AND THE IMMEDIATE AREA AROUND THE DWELLING AT 2020 DIVISION STREET)
- TOPOGRAPHIC SURVEY (LIDAR) CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS SET FORTH IN THE FOLLOWING: PERIMETER RETRACEMENT FOR SITE ENGINEERING AND PERMITTING.

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DATE: NOV 26 2024 FILE #: 24-0192
 Matthew L. Freeman

NOV 08 2024
 Matthew Insana, RIPLS #2537, COA #LS.000A160



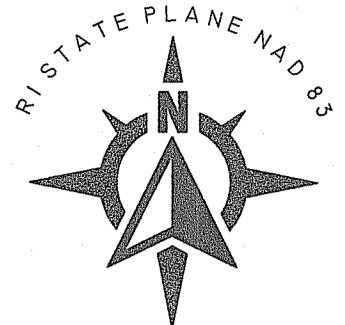
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 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	08-26-2024	EXISTING CONDITIONS UPDATE	J.W.S.	J.W.S.
2	08-26-2024	PERMITTING PLANS	J.W.S.	J.W.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: NOV 26 2024 FILE #: 24-0192
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
 Matthew L. Freeman

EXISTING CONDITIONS PLAN
RIDGELINE ESTATES & CONDOMINIUMS
 MAP 69 PLAT 12 LOTS III & 135
 EAST GREENWICH, RHODE ISLAND 02818
 PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
 P.O. BOX 385
 WAKEFIELD, RI 02880

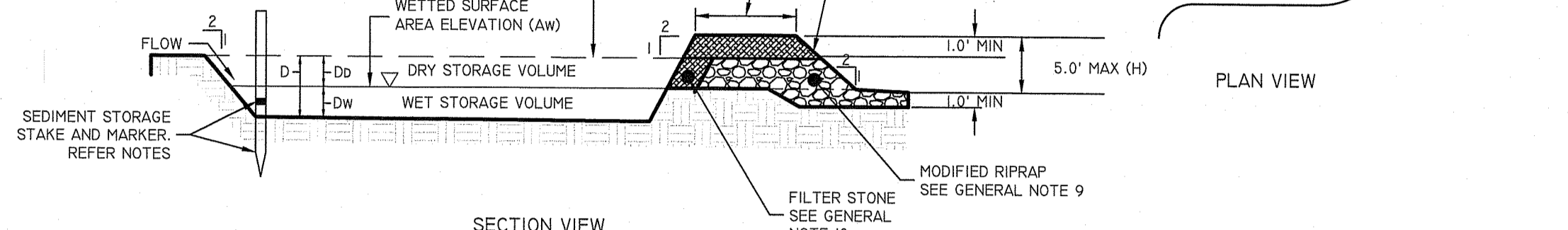


SEDIMENT TRAP DIMENSIONS*	TRAP A	TRAP B
TRIBUTARY DRAINAGE AREA	3.41 AC	2.04 AC
WET STORAGE DEPTH (Dw)	3.00 FT	2.00 FT
DRY STORAGE DEPTH (Dd)	3.00 FT	2.00 FT
TOTAL DEPTH (D)	6.00 FT	4.00 FT
BOTTOM OF TRAP AREA (Ab)	1,598 sq.FT	1,930 sq.FT
WETTED SURFACE AREA (Aw)	2,474 sq.FT	2,668 sq.FT
SURFACE AREA AT OUTLET (Ad)	3,075 sq.FT	3,075 sq.FT

*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT
H=HEIGHT OF EMBANKMENT
W=TOP WIDTH OF EMBANKMENT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	2.5	3.0	4.0	4.5	5.0



SECTION VIEW
TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE

SOIL EROSION CONTROL LEGEND

- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE OR STD 9.2.0, OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

GENERAL NOTES:

- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES.
- THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
- ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
- THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
- THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
- TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
- MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
- SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
- MODIFIED RIPRAP SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
- FILTER STONE SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION N.01.03 TABLE 1, COLUMN V FILTER STONE.

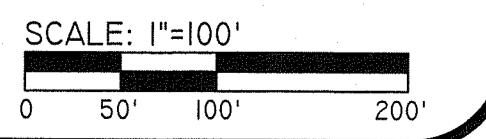
INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

- INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
- INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
- CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
- CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
- WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
- DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
- THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

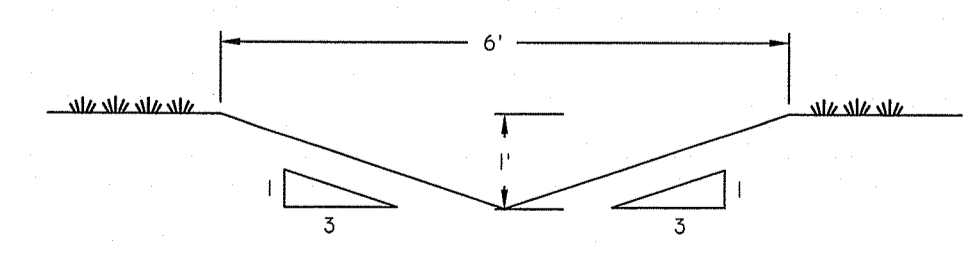
INSTALLATION NOTES:

- CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
- REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
- EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
- USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY COVER, VEGETATION PROTECTION, IMMEDIATELY AFTER CONSTRUCTION.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Nancy L. Freeman



TEMPORARY DIVERSION CHANNEL
NOT TO SCALE



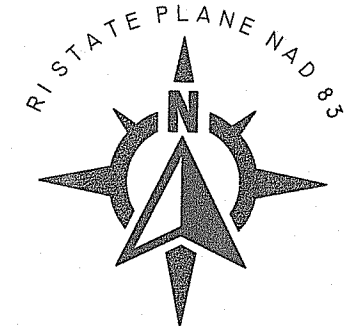
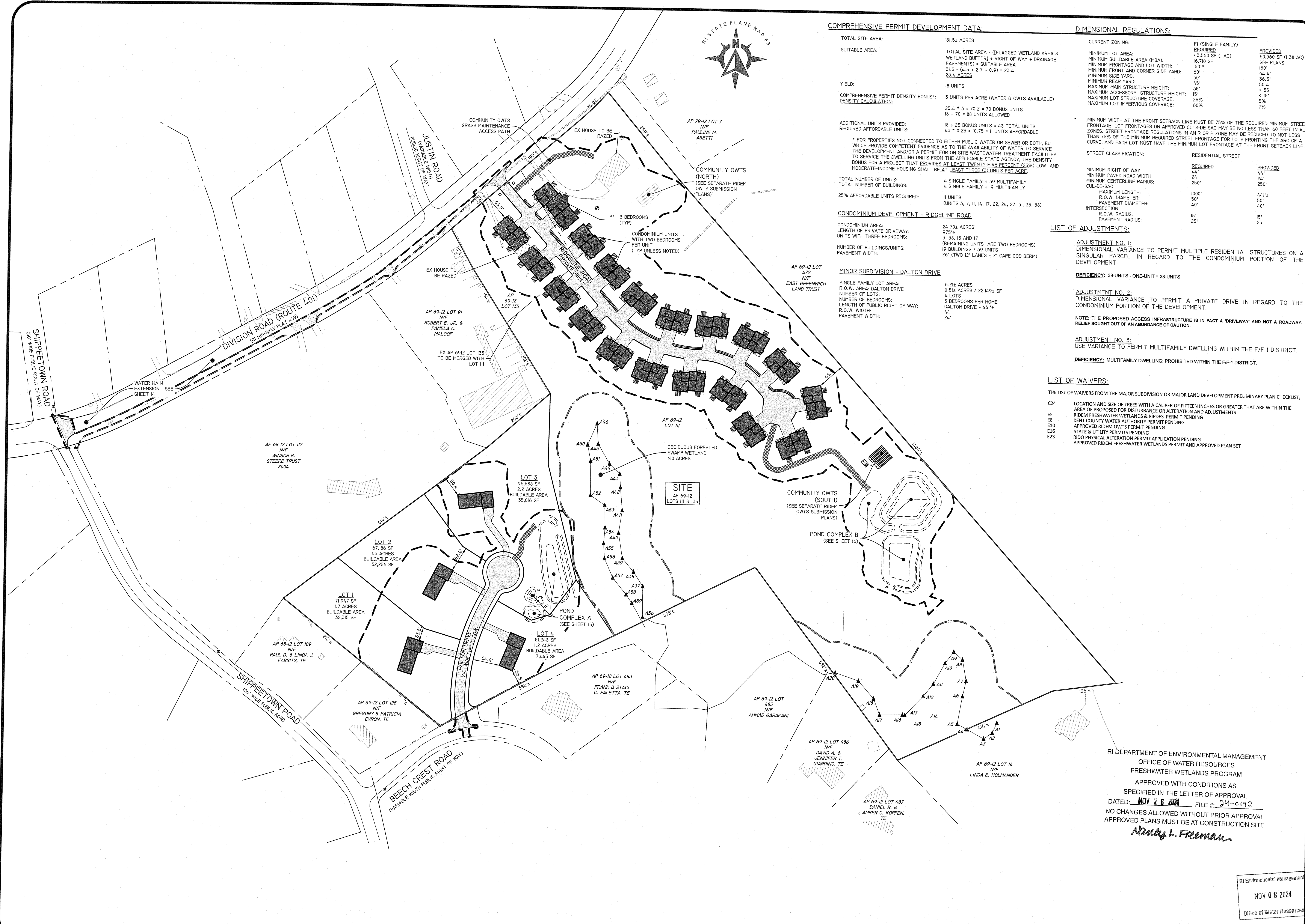
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CHRISTOPHER A. DUHAMEL
Chris Duhamel
REGISTERED PROFESSIONAL ENGINEER
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NO.	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
1	10/24/2024	GENERAL RESPONSE TO COMMENTS	J.W.S.	J.W.S.	
2	11/20/2024	PERMITTING PLANS	J.W.S.	J.W.S.	

OVERALL SESC PLAN
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02816
PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880
SHEET **5** OF 21

Z:\DEMAN\PROJECTS\24-0192 DIVISION STREET 2024\AUTOCAD DRAWINGS\3240-00-PLAN.DWG PLOTTER: 10/26/2024



COMPREHENSIVE PERMIT DEVELOPMENT DATA:

TOTAL SITE AREA: 31.5± ACRES
 SUITABLE AREA: TOTAL SITE AREA - ((FLAGGED WETLAND AREA & WETLAND BUFFER) + RIGHT OF WAY + DRAINAGE EASEMENTS) = SUITABLE AREA
 $31.5 - (4.5 + 2.7 + 0.9) = 23.4$
 23.4 ACRES

YIELD: 18 UNITS
 COMPREHENSIVE PERMIT DENSITY BONUS*: 3 UNITS PER ACRE (WATER & OWTS AVAILABLE)
 DENSITY CALCULATION: $23.4 * 3 = 70.2 = 70$ BONUS UNITS
 $18 + 70 = 88$ UNITS ALLOWED

ADDITIONAL UNITS PROVIDED: 18 + 25 BONUS UNITS = 43 TOTAL UNITS
 REQUIRED AFFORDABLE UNITS: 43 * 0.25 = 10.75 = 11 UNITS AFFORDABLE

* FOR PROPERTIES NOT CONNECTED TO EITHER PUBLIC WATER OR SEWER OR BOTH, BUT WHICH PROVIDE COMPETENT EVIDENCE AS TO THE AVAILABILITY OF WATER TO SERVICE THE DEVELOPMENT AND/OR A PERMIT FOR ON-SITE WASTEWATER TREATMENT FACILITIES TO SERVICE THE DWELLING UNITS FROM THE APPLICABLE STATE AGENCY, THE DENSITY BONUS FOR A PROJECT THAT PROVIDES AT LEAST TWENTY-FIVE PERCENT (25%) LOW- AND MODERATE-INCOME HOUSING SHALL BE AT LEAST THREE (3) UNITS PER ACRE.

TOTAL NUMBER OF UNITS: 4 SINGLE FAMILY + 39 MULTIFAMILY
 TOTAL NUMBER OF BUILDINGS: 4 SINGLE FAMILY + 19 MULTIFAMILY
 25% AFFORDABLE UNITS REQUIRED: 11 UNITS (UNITS 3, 7, 11, 14, 17, 22, 24, 27, 31, 35, 38)

CONDOMINIUM DEVELOPMENT - RIDGELINE ROAD
 CONDOMINIUM AREA: 24.70± ACRES
 LENGTH OF PRIVATE DRIVEWAY: 675'±
 UNITS WITH THREE BEDROOMS: 3, 38, 13 AND 17 (REMAINING UNITS ARE TWO BEDROOMS)
 19 BUILDINGS / 39 UNITS
 NUMBER OF BUILDINGS/UNITS: 26' (TWO 12' LANES + 2' CAPE COD BERM)
 PAVEMENT WIDTH: 26'

MINOR SUBDIVISION - DALTON DRIVE
 SINGLE FAMILY LOT AREA: 6.21± ACRES
 R.O.W. AREA: DALTON DRIVE 0.51± ACRES / 22,149± SF
 NUMBER OF LOTS: 4 LOTS
 NUMBER OF BEDROOMS: 5 BEDROOMS PER HOME
 LENGTH OF PUBLIC RIGHT OF WAY: DALTON DRIVE - 441'±
 R.O.W. WIDTH: 441'
 PAVEMENT WIDTH: 26'

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	F1 (SINGLE FAMILY) REQUIRED:	PROVIDED:
MINIMUM LOT AREA:	43,560 SF (1 AC)	60,360 SF (1.38 AC) SEE PLANS
MINIMUM BUILDABLE AREA (MBA):	16,710 SF	64.4'
MINIMUM FRONTAGE AND LOT WIDTH:	150'±	150'
MINIMUM FRONT AND CORNER SIDE YARD:	60'	36.5'
MINIMUM SIDE YARD:	30'	64.4'
MINIMUM REAR YARD:	45'	50.4'
MAXIMUM MAIN STRUCTURE HEIGHT:	35'	< 35'
MAXIMUM ACCESSORY STRUCTURE HEIGHT:	15'	< 15'
MAXIMUM LOT STRUCTURE COVERAGE:	25%	8%
MAXIMUM LOT IMPERVIOUS COVERAGE:	60%	7%

MINIMUM WIDTH AT THE FRONT SETBACK LINE MUST BE 75% OF THE REQUIRED MINIMUM STREET FRONTAGE. LOT FRONTAGES ON APPROVED CUL-DE-SAC MAY BE NO LESS THAN 60 FEET IN ALL ZONES. STREET FRONTAGE REGULATIONS IN AN R OR F ZONE MAY BE REDUCED TO NOT LESS THAN 75% OF THE MINIMUM REQUIRED STREET FRONTAGE FOR LOTS FRONTING THE ARC OF A CURVE, AND EACH LOT MUST HAVE THE MINIMUM LOT FRONTAGE AT THE FRONT SETBACK LINE.

STREET CLASSIFICATION: RESIDENTIAL STREET

	REQUIRED:	PROVIDED:
MINIMUM RIGHT OF WAY:	44'	44'
MINIMUM PAVED ROAD WIDTH:	24'	24'
MINIMUM CENTERLINE RADIUS:	250'	250'
CUL-DE-SAC:		
MAXIMUM LENGTH:	1000'	441'±
R.O.W. DIAMETER:	50'	50'
PAVEMENT DIAMETER:	40'	40'
INTERSECTION:		
R.O.W. RADIUS:	15'	15'
PAVEMENT RADIUS:	25'	25'

LIST OF ADJUSTMENTS:

- ADJUSTMENT NO. 1: DIMENSIONAL VARIANCE TO PERMIT MULTIPLE RESIDENTIAL STRUCTURES ON A SINGULAR PARCEL IN REGARD TO THE CONDOMINIUM PORTION OF THE DEVELOPMENT
 DEFICIENCY: 39-UNITS - ONE-UNIT = 38-UNITS
- ADJUSTMENT NO. 2: DIMENSIONAL VARIANCE TO PERMIT A PRIVATE DRIVE IN REGARD TO THE CONDOMINIUM PORTION OF THE DEVELOPMENT.
- NOTE: THE PROPOSED ACCESS INFRASTRUCTURE IS IN FACT A 'DRIVEWAY' AND NOT A ROADWAY. RELIEF SOUGHT OUT OF AN ABUNDANCE OF CAUTION.
- ADJUSTMENT NO. 3: USE VARIANCE TO PERMIT MULTIFAMILY DWELLING WITHIN THE F1-F1 DISTRICT.
 DEFICIENCY: MULTIFAMILY DWELLING: PROHIBITED WITHIN THE F1-F1 DISTRICT.

LIST OF WAIVERS:

- THE LIST OF WAIVERS FROM THE MAJOR SUBDIVISION OR MAJOR LAND DEVELOPMENT PRELIMINARY PLAN CHECKLIST:
- C24 LOCATION AND SIZE OF TREES WITH A CALIPER OF FIFTEEN INCHES OR GREATER THAT ARE WITHIN THE AREA OF PROPOSED FOR DISTURBANCE OR ALTERATION AND ADJUSTMENTS
 - E5 RIDEM FRESHWATER WETLANDS & RIPES PERMIT PENDING
 - E8 KENT COUNTY WATER AUTHORITY PERMIT PENDING
 - E10 APPROVED RIDEM OWTS PERMIT PENDING
 - E16 STATE & UTILITY PERMITS PENDING
 - E23 RIDO PHYSICAL ALTERATION PERMIT APPLICATION PENDING
 - APPROVED RIDEM FRESHWATER WETLANDS PERMIT AND APPROVED PLAN SET

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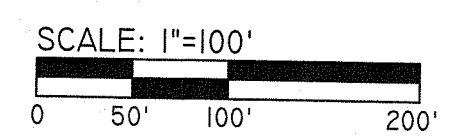
THIS IS AN AS-BUILT PLAN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

NO.	DATE	DESCRIPTION	BY:
1	10/24/2024	RODER RESPONSE TO COMMENTS	J.W.S.
2	10/24/2024	PERMITTING PLANS	J.W.S.

DESIGN BY: J.W.S.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 DATED: **NOV 26 2024** FILE #: **24-C192**
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Nancy L. Freeman



OVERALL SITE PLAN
 RIDGELINE ESTATES & CONDOMINIUMS
 MAP 69 PLAT 12 LOTS III & 135
 EAST GREENWICH, RHODE ISLAND 02818

PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
 P.O. BOX 385
 WAKEFIELD, RI 02880

Office of Water Resources
 NOV 08 2024

SHEET **6** OF 21

Z:\CERMAN\PROJECTS\3240-001 DIVISION STREET 2620\AUTOCAD DRAWINGS\3240-001-PLANNING PLOTTED: 10/29/2024



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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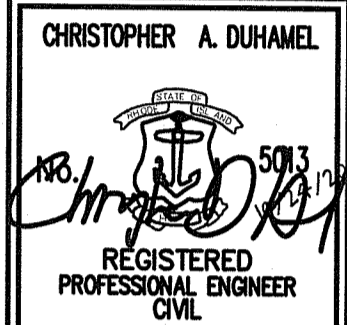
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RI Environmental Management
 NOV 08 2024
 Office of Water Resources

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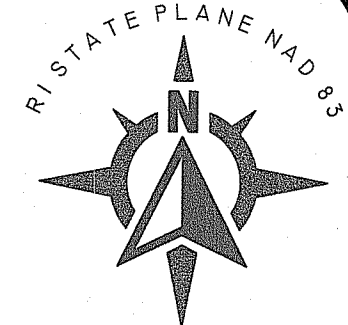


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 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTES ON SHEET 2.

NO.	DATE	DESCRIPTION	DESIGN BY: J.W.S.
1	10/29/2024	PRELIMINARY RESPONSE TO COMMENTS	J.W.S.
2	10/29/2024	FINAL RESPONSE TO COMMENTS	J.W.S.
3	10/29/2024	FINAL RESPONSE TO COMMENTS	J.W.S.

SITE PLAN - 1
 RIDGELINE ESTATES & CONDOMINIUMS
 MAP 69 PLAT 12 LOTS III & 135
 EAST GREENWICH, RHODE ISLAND 02818

PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
 P.O. BOX 3485
 WAKEFIELD, RI 02880



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Two Stafford Court, Cranston, RI 02920
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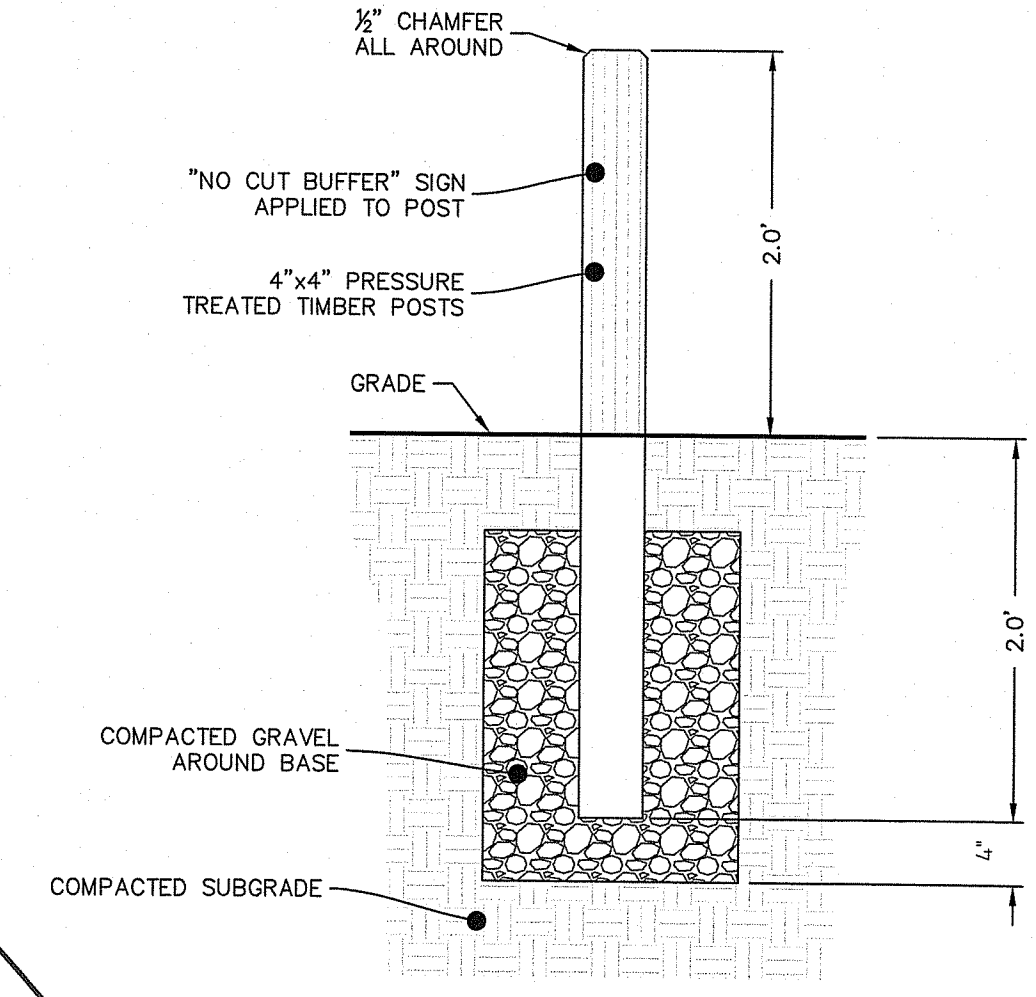
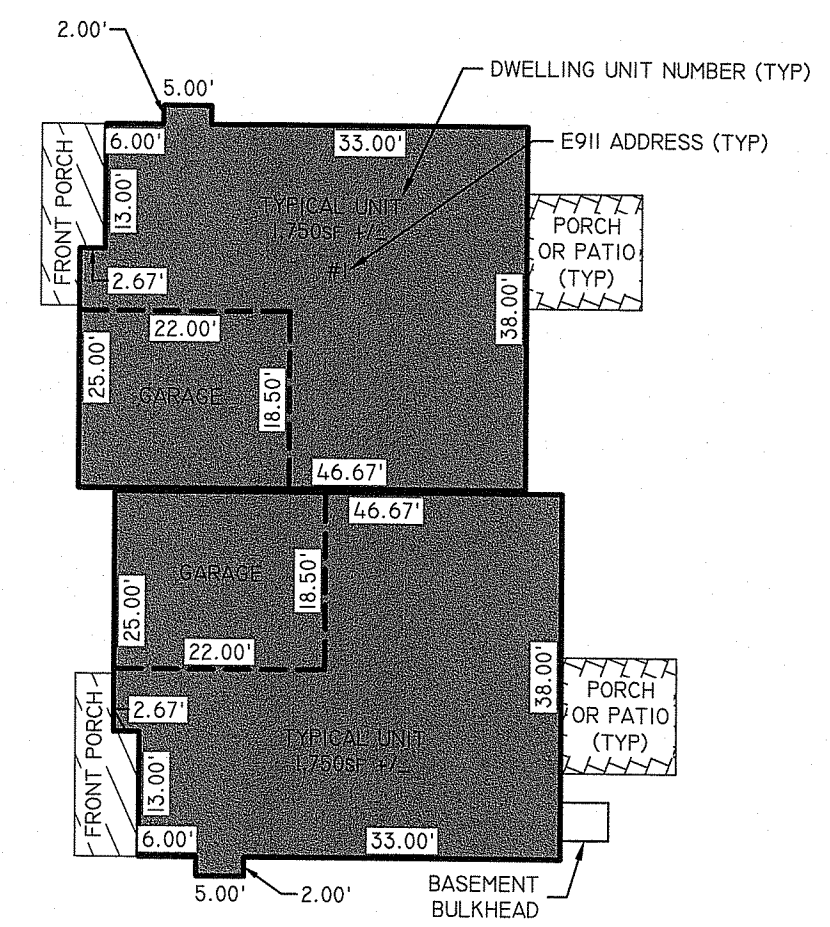
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REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION AND FOR PURPOSES UNLESS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF THE STATE OF RHODE ISLAND. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES, SEE SHEET 16 OF SHEET 2.

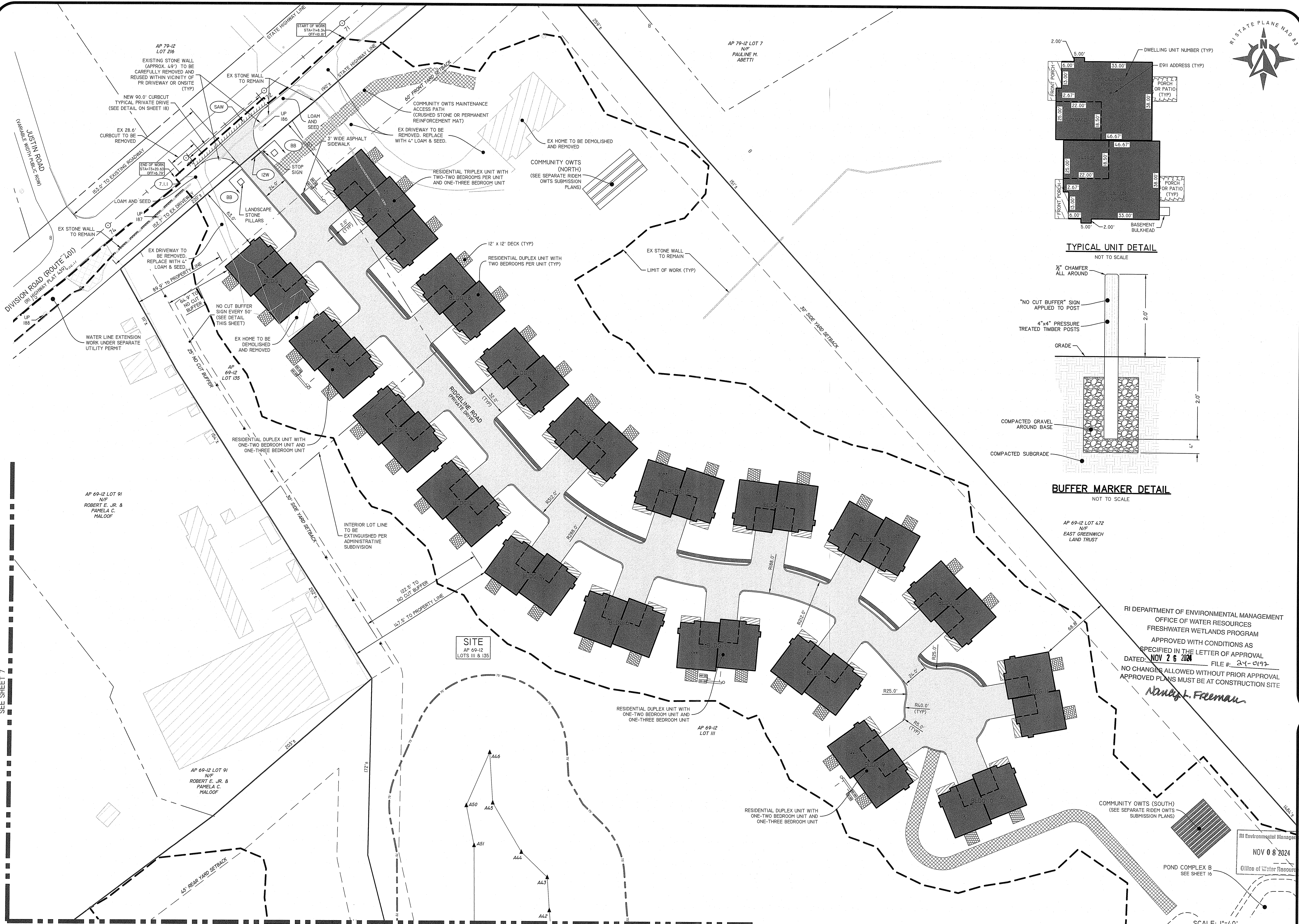
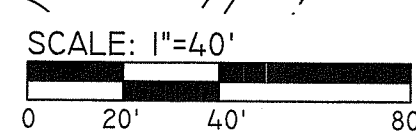
NO.	DATE	DESCRIPTION	BY:
0	03-01-2024	PERMITTING PLANS	J.W.S.
1	03-26-2024	DESIGN RESPONSE TO COMMENTS	J.W.S.

SITE PLAN - 2
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 1/2 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818
PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880



AP 69-12 LOT 472
N/F
EAST GREENWICH
LAND TRUST

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Anna J. Freeman



Z:\BEN\PROJECTS\2404-001 DIVISION STREET 2020\AUTOCAD DRAWINGS\2404-001 PLANS\DWG PLOTTER: 10/29/2024

Z:\MECHANICAL\PROJECTS\1234-01 DIVISION STREET 2020\AUTOCAD DRAWINGS\324-01-001-PLAN.DWG PLOTTER: 10/29/2024

SEE SHEET 10



LIMIT OF DISTURBANCE:
NO TREE CLEARING OF ANY
LAND MUST NOT OCCUR UNTIL
LIMITS OF DISTURBANCE ARE
FLAGGED



POND COMPLEX B
(SEE SHEET 16)
SWALE
DEPTH=2.0'
TOP WIDTH=6.0'
BOTTOM WIDTH=2.0'
3:1 SIDE SLOPES

COMMUNITY OWTS (SOUTH)
(SEE SEPARATE RIDEM OWTS
SUBMISSION PLANS)

AP 69-12 LOT III
N/F

AP 69-12 LOT
285
N/F
AHMAD GARAKANI

AP 69-12 LOT 486
N/F
DAVID A. &
JENNIFER T.
GIARDINO, TE

AP 69-12 LOT 14
N/F
LINDA E. HOLMANDER

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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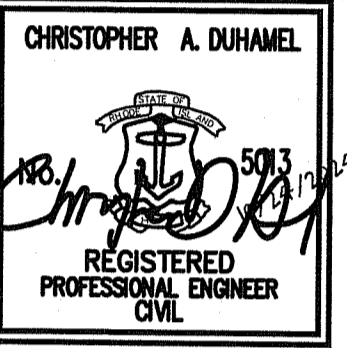
RI Environmental Management
Office of Water Resources
NOV 26 2024

SCALE: 1"=40'
0 20' 40' 80'

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THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED FOR CONSTRUCTION AND THE PROFESSIONAL ENGINEER OF RECORD IS REGISTERED IN THE STATE OF RHODE ISLAND. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY EXISTING UTILITIES SHOWN ON THIS PLAN AND APPROPRIATE FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN. SEE UTILITY NOTES ON SHEET 2.

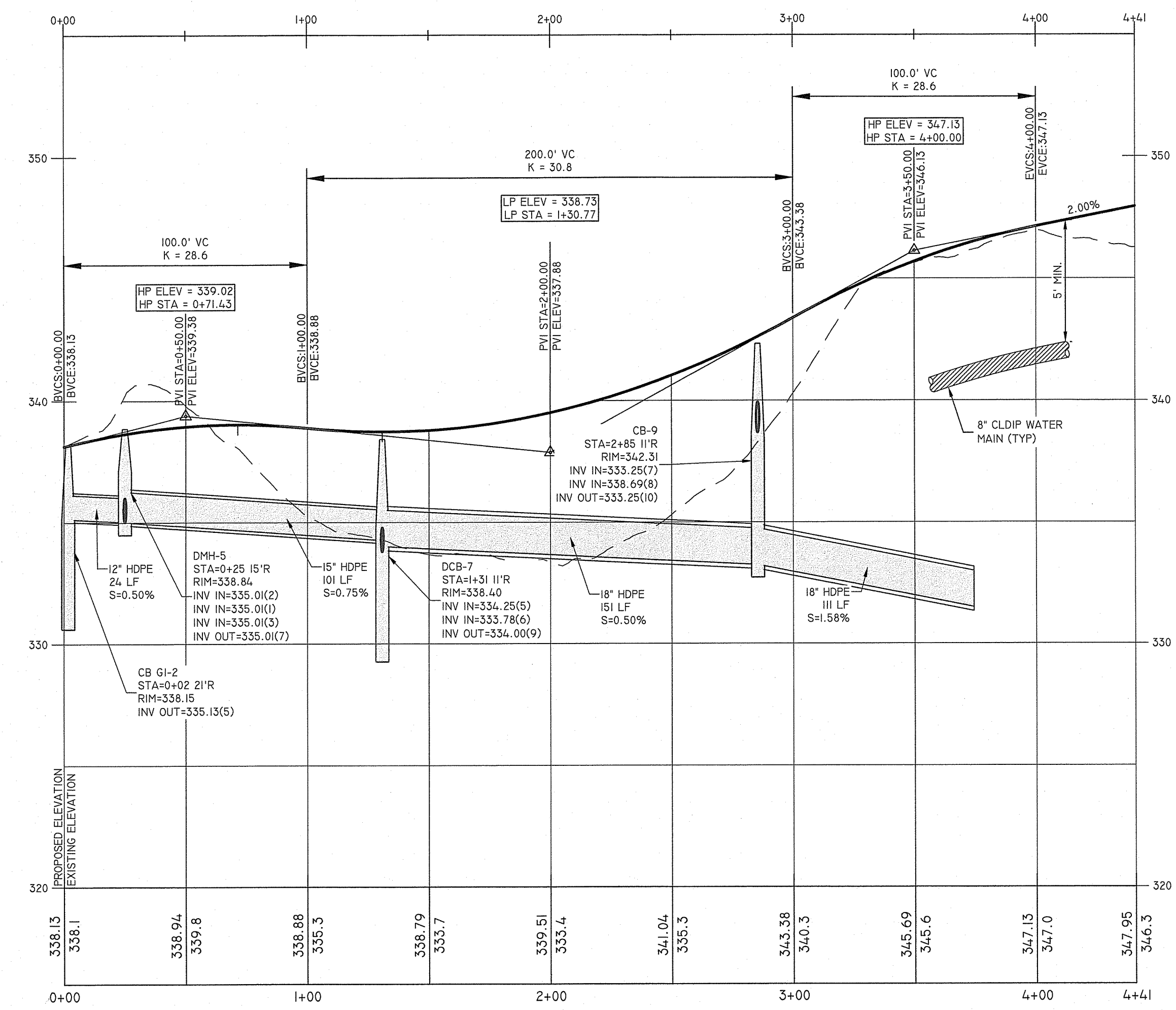
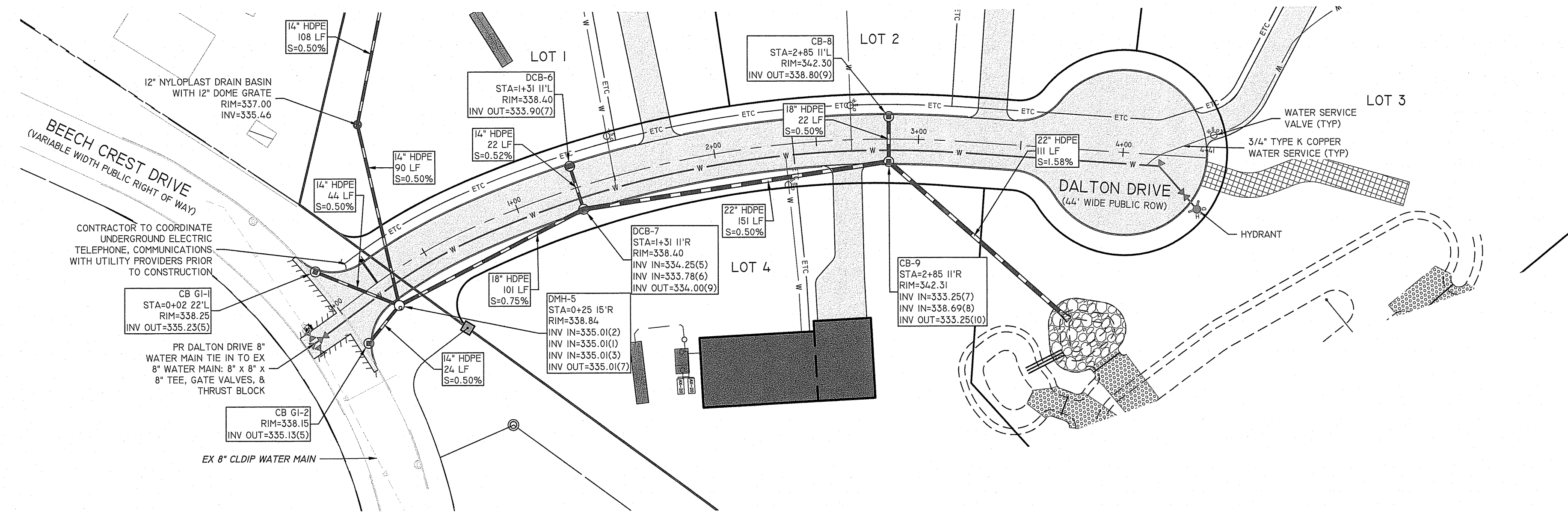
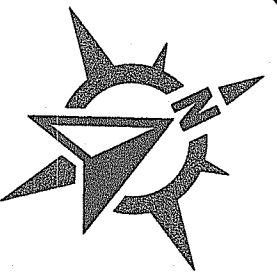
NO.	DATE	DESCRIPTION	BY:
1	10-24-2024	DESIGN RESPONSE TO COMMENTS	J.W.S.
2	10-30-2024	PERMITTING PLANS	J.W.S.
3			BY:

GRADING PLAN - 3

RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS II & 135
EAST GREENWICH, RHODE ISLAND 02818

PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880

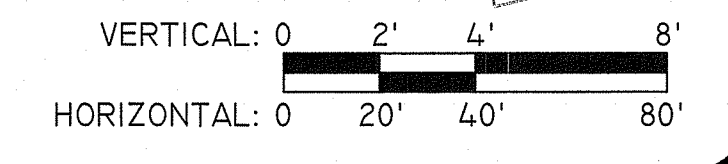
DE: JWS: 24-0192-03E COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 25 2024 FILE # 24-0192
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Andy L. Freeman

RI Environmental Management
Office of Water Resources
NOV 08 2024

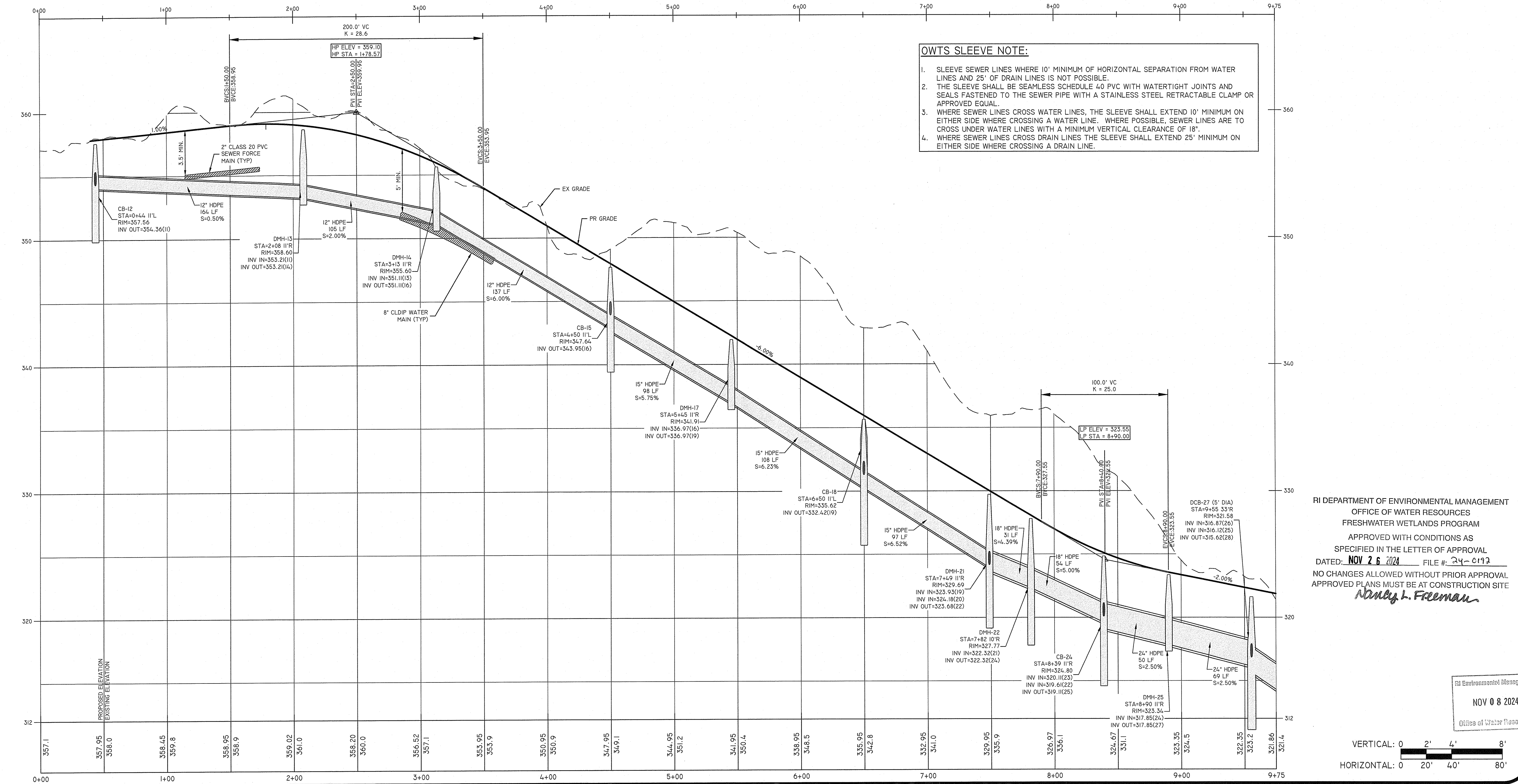
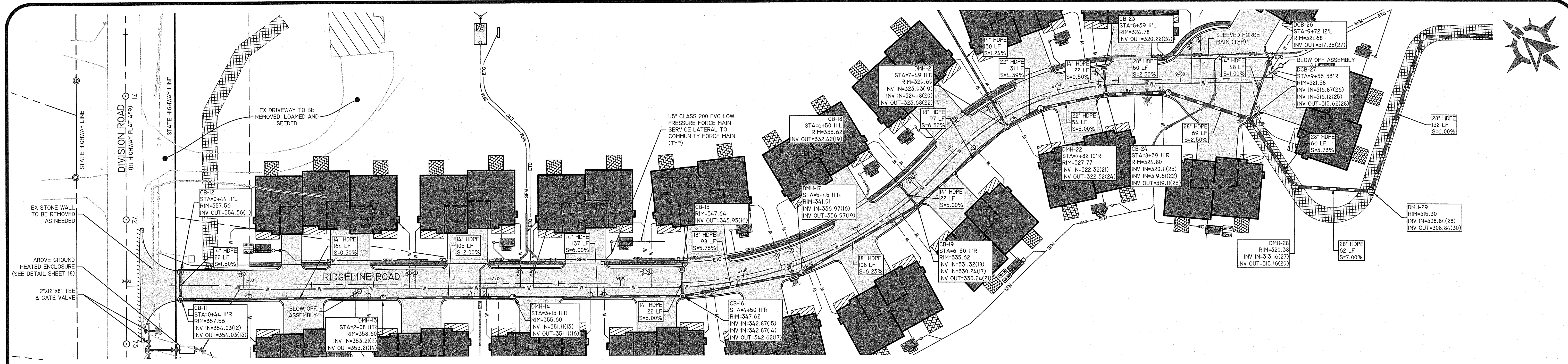


CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

NO.	DATE	DESCRIPTION	BY
1	10-24-2024	PREPARED FOR PERMITS TO COMMENTS	J.W.S.
2	11-01-2024	PERMITS TO COMMENTS	J.W.S.
3	11-01-2024	PERMITS TO COMMENTS	J.W.S.
4	11-01-2024	PERMITS TO COMMENTS	J.W.S.

DESIGN BY: J.W.S.

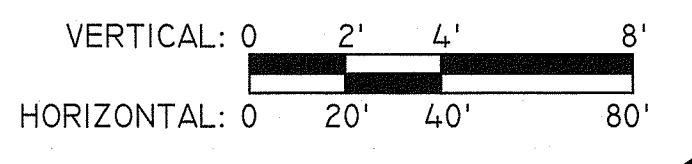
PLAN & PROFILE - DALTON DRIVE
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818
PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 585
WAKEFIELD, RI 02880



OWTS SLEEVE NOTE:

1. SLEEVE SEWER LINES WHERE 10' MINIMUM OF HORIZONTAL SEPARATION FROM WATER LINES AND 25' OF DRAIN LINES IS NOT POSSIBLE.
2. THE SLEEVE SHALL BE SEAMLESS SCHEDULE 40 PVC WITH WATERTIGHT JOINTS AND SEALS FASTENED TO THE SEWER PIPE WITH A STAINLESS STEEL RETRACTABLE CLAMP OR APPROVED EQUAL.
3. WHERE SEWER LINES CROSS WATER LINES, THE SLEEVE SHALL EXTEND 10' MINIMUM ON EITHER SIDE WHERE CROSSING A WATER LINE. WHERE POSSIBLE, SEWER LINES ARE TO CROSS UNDER WATER LINES WITH A MINIMUM VERTICAL CLEARANCE OF 18".
4. WHERE SEWER LINES CROSS DRAIN LINES THE SLEEVE SHALL EXTEND 25' MINIMUM ON EITHER SIDE WHERE CROSSING A DRAIN LINE.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: **NOV 26 2024** FILE # **24-0192**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Nancy L. Freeman



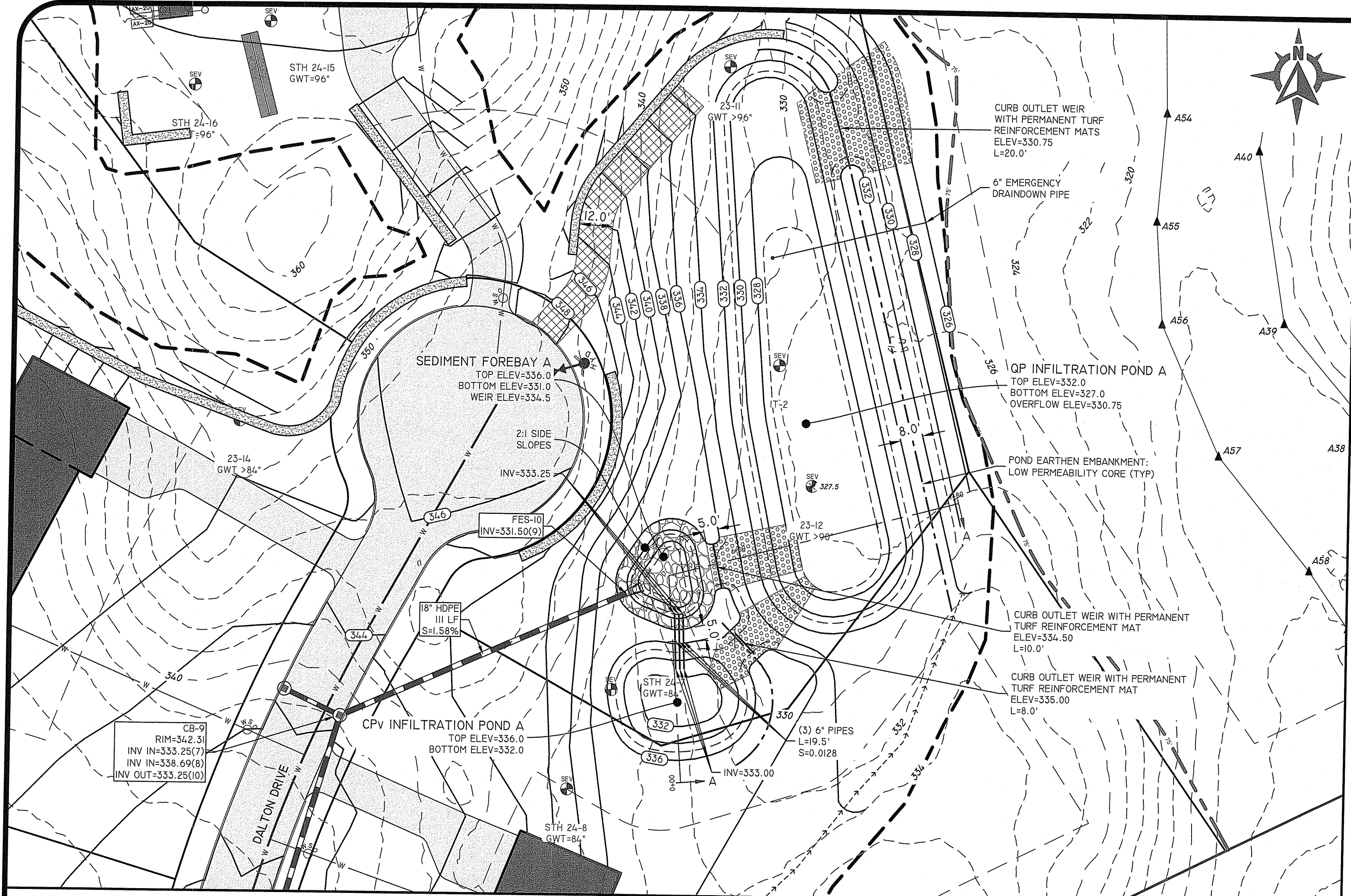
Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-7000 fax: 401-404-6006 www.diprete-eng.com
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CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

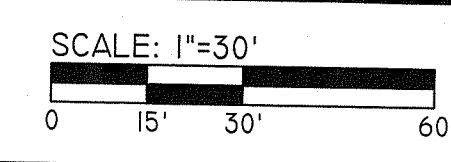
THIS PLAN SET WAS PREPARED BY THE CONSULTING ENGINEER AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, INC. ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED BY REGISTERED PROFESSIONAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES ARE NOT THE RESPONSIBILITY OF THE CONSULTING ENGINEER. SEE UTILITY NOTE ON SHEET 13.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY:
1	08/26/2024	PRELIMINARY DESIGN	J.W.S.	J.W.S.
2	10/24/2024	REVISED DESIGN	J.W.S.	J.W.S.
3	11/08/2024	FINAL DESIGN	J.W.S.	J.W.S.

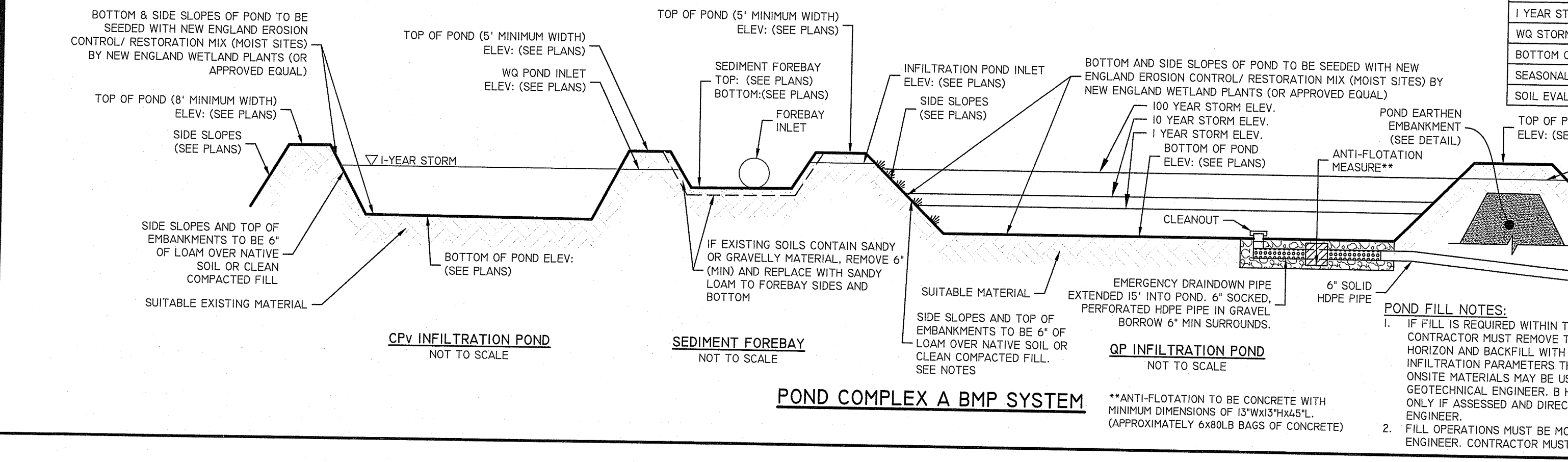
PLAN & PROFILE - RIDGELINE ROAD
RIDGELINE ESTATES & CONDOMINIUMS
 MAP 69 PLAT 12 LOTS III & 135
 EAST GREENWICH, RHODE ISLAND 02818
 PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
 P.O. BOX 385
 WAKEFIELD, RI 02880



POND COMPLEX A



- NOTES:**
- LIMITS OF INFILTRATION POND MUST BE STAKED OUT AND MUST NOT BE USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN POND LIMITS).
 - INFILTRATION PONDS MUST NOT BE USED FOR STOCKPILING, VEHICLE PARKING OR ANY OTHER ANCILLARY STORING OF OBJECTS OR MATERIALS, TEMPORARY OR PERMANENT, AT ANY TIME.
 - INFILTRATION PONDS MUST BE ADEQUATELY PROTECTED FROM SEDIMENT LADEN RUNOFF DURING CONSTRUCTION.
 - FOLLOWING CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SEDIMENT FROM INFILTRATION PONDS. IF SEDIMENT REMOVAL IS REQUIRED THE CONTRACTOR MUST ALSO ROTOTILL THE ENTIRE POND BOTTOM TO A MINIMUM DEPTH OF 24" AND RE-ESTABLISH TO FINAL DESIGN GRADES AND COVER TYPES.
 - SOILS MUST BE TRACKED INTO PLACE. NO COMPACTION EQUIPMENT ALLOWED.

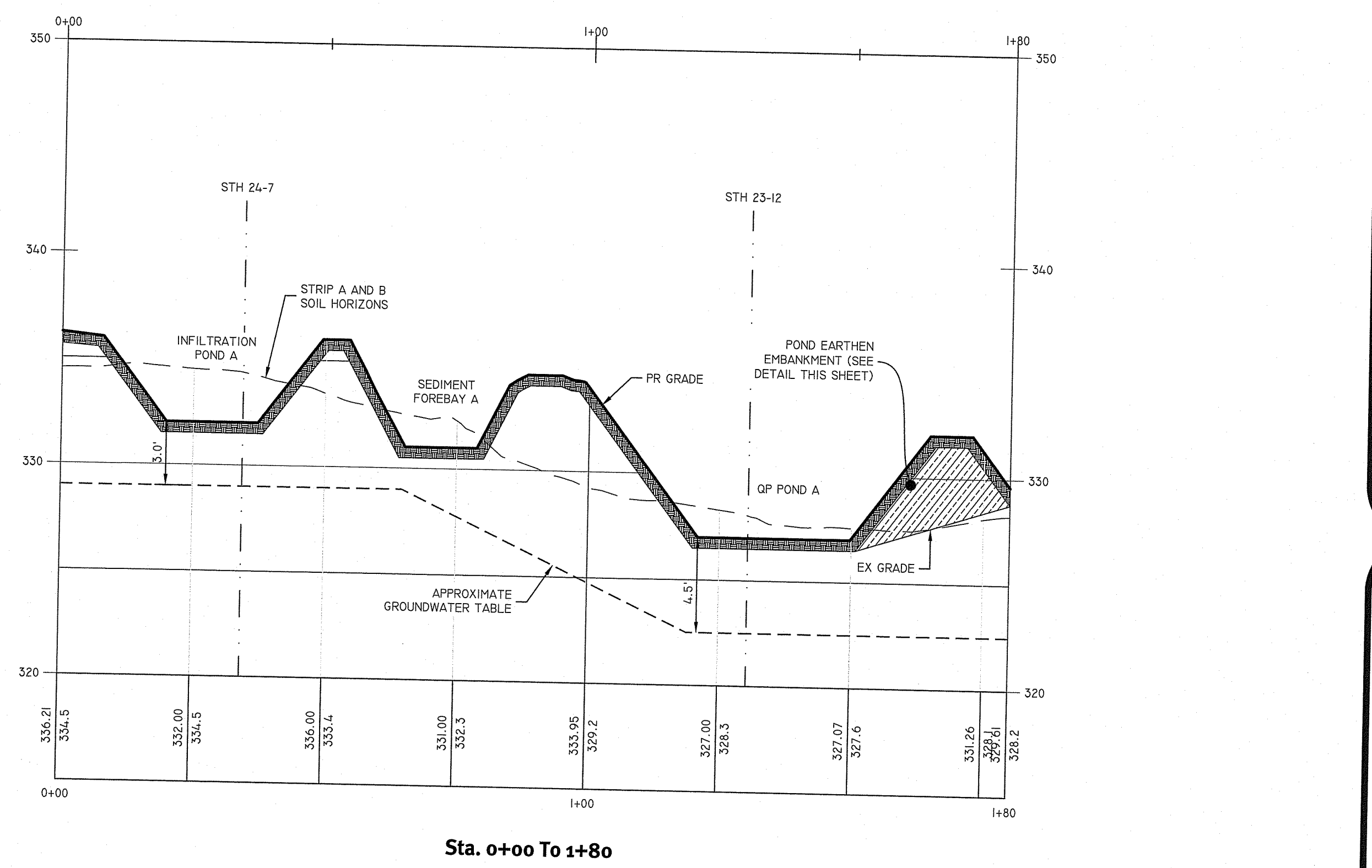


POND COMPLEX A BMP SYSTEM

BOTTOM OF POND EXCAVATION MUST BE MONITORED/ INSPECTED BY SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

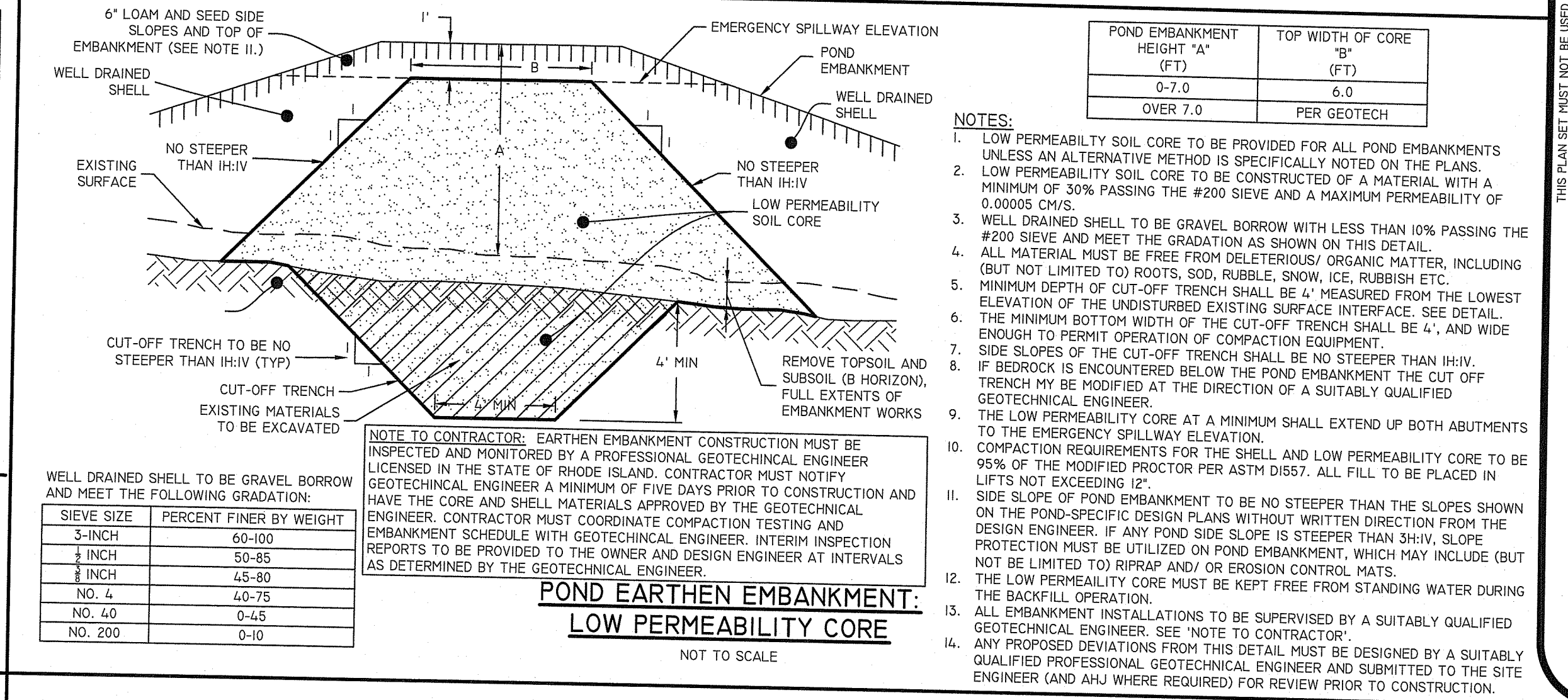
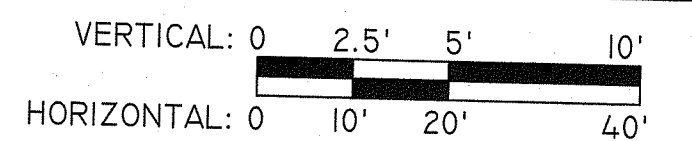
DESCRIPTION	CPV-A	QP-A
TOP OF POND ELEVATION	336.00	332.00
100 YEAR STORM ELEVATION	335.11	331.00
10 YEAR STORM ELEVATION	334.78	328.91
1 YEAR STORM ELEVATION	334.16	327.01
WG STORM ELEVATION	333.26	---
BOTTOM OF POND ELEVATION	332.00	327.00
SEASONAL HIGH GWT ELEVATION	329.00	322.50
SOIL EVALUATION	STH 24-7	TH 23-12

- POND FILL NOTES:**
- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION POND, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING C SOIL HORIZONS BENEATH. ONSITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. B HORIZON OR PART THEREOF MAY BE LEFT IN PLACE ONLY IF ASSESSED AND DIRECTED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER.
 - FILL OPERATIONS MUST BE MONITORED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE PRIOR TO FILLING.



Sta. 0+00 To 1+80

SECTION A-A

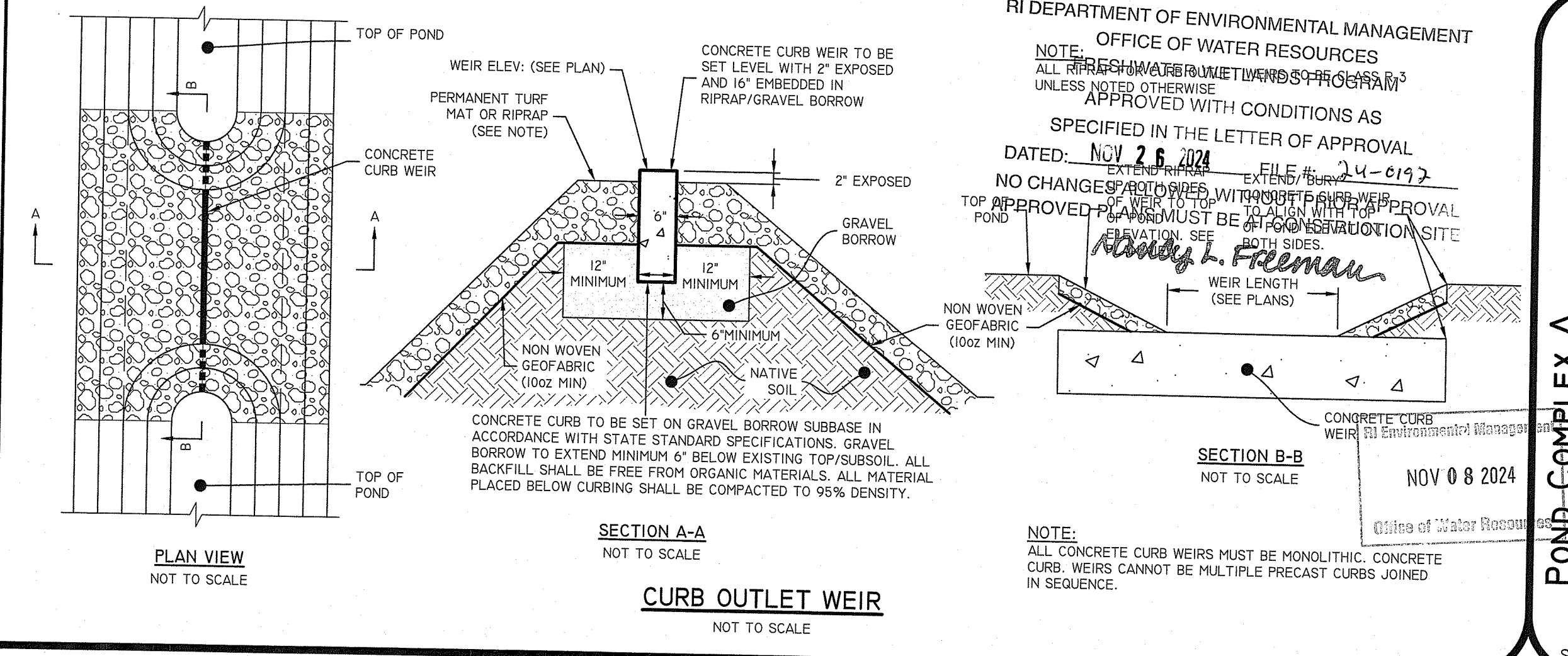


WELL DRAINED SHELL TO BE GRAVEL BORROW AND MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT FINER BY WEIGHT
3-INCH	60-100
1/2 INCH	50-85
3/8 INCH	45-80
NO. 4	40-75
NO. 40	0-45
NO. 200	0-10

POND EARTHEN EMBANKMENT: LOW PERMEABILITY CORE

- NOTES:**
- LOW PERMEABILITY SOIL CORE TO BE PROVIDED FOR ALL POND EMBANKMENTS UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY NOTED ON THE PLANS.
 - LOW PERMEABILITY SOIL CORE TO BE CONSTRUCTED OF A MATERIAL WITH A MINIMUM OF 30% PASSING THE #200 SIEVE AND A MAXIMUM PERMEABILITY OF 0.00005 CM/S.
 - WELL DRAINED SHELL TO BE GRAVEL BORROW WITH LESS THAN 10% PASSING THE #200 SIEVE AND MEET THE GRADATION AS SHOWN ON THIS DETAIL.
 - ALL MATERIAL MUST BE FREE FROM DELETERIOUS/ ORGANIC MATTER, INCLUDING (BUT NOT LIMITED TO) ROOTS, SOD, RUBBLE, SNOW, ICE, RUBBISH ETC.
 - MINIMUM DEPTH OF CUT-OFF TRENCH SHALL BE 4' MEASURED FROM THE LOWEST ELEVATION OF THE UNDISTURBED EXISTING SURFACE INTERFACE. SEE DETAIL.
 - THE MINIMUM BOTTOM WIDTH OF THE CUT-OFF TRENCH SHALL BE 4', AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 - SIDE SLOPES OF THE CUT-OFF TRENCH SHALL BE NO STEEPER THAN 1H:1V.
 - IF BEDROCK IS ENCOUNTERED BELOW THE POND EMBANKMENT THE CUT OFF TRENCH MAY BE MODIFIED AT THE DIRECTION OF A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER.
 - THE LOW PERMEABILITY CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 - COMPACTION REQUIREMENTS FOR THE SHELL AND LOW PERMEABILITY CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 - SIDE SLOPE OF POND EMBANKMENT TO BE NO STEEPER THAN THE SLOPES SHOWN ON THE POND-SPECIFIC DESIGN PLANS WITHOUT WRITTEN DIRECTION FROM THE DESIGN ENGINEER. IF AN ONPOND SIDE SLOPE IS STEEPER THAN 3H:1V, SLOPE (BUT NOT LIMITED TO) RIPRAP AND/ OR EROSION CONTROL MATS.
 - THE LOW PERMEABILITY CORE MUST BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 - ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. SEE "NOTE TO CONTRACTOR".
 - ANY PROPOSED DEVIATIONS FROM THIS DETAIL MUST BE DESIGNED BY A SUITABLY QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER AND SUBMITTED TO THE SITE ENGINEER (AND AHJ WHERE REQUIRED) FOR REVIEW PRIOR TO CONSTRUCTION.



PLAN VIEW NOT TO SCALE

SECTION A-A NOT TO SCALE

CURB OUTLET WEIR NOT TO SCALE

SECTION B-B NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 26 2024
NO CHANGES/ADDITIONS WITHOUT FRESHWATER WETLANDS PROGRAM APPROVAL
APPROVED PLANS MUST BE ALIGNED WITH THE CONSTRUCTION SITE ELEVATION. SEE BOTH SIDES.
Morgan J. Freeman
NOV 08 2024
Office of Water Resources
RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

NOTE:
ALL CONCRETE CURB WEIRS MUST BE MONOLITHIC. CONCRETE CURB WEIRS CANNOT BE MULTIPLE PRECAST CURBS JOINED IN SEQUENCE.

POND COMPLEX A

RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818

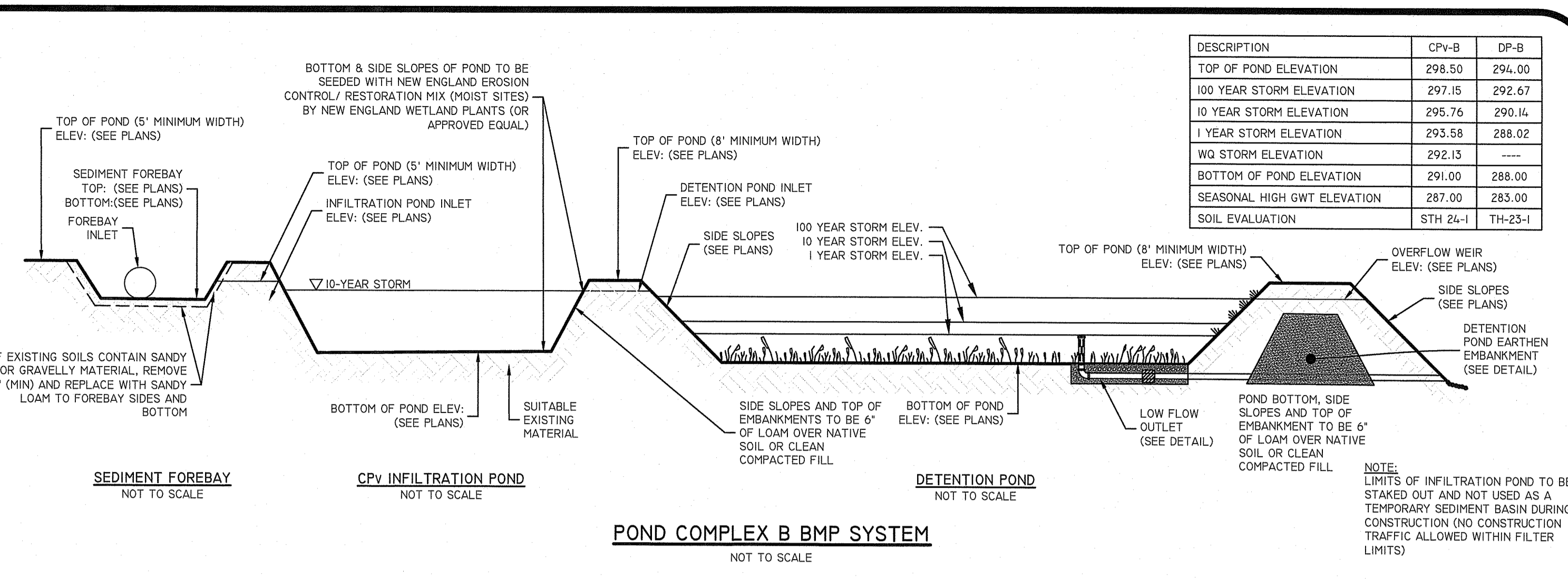
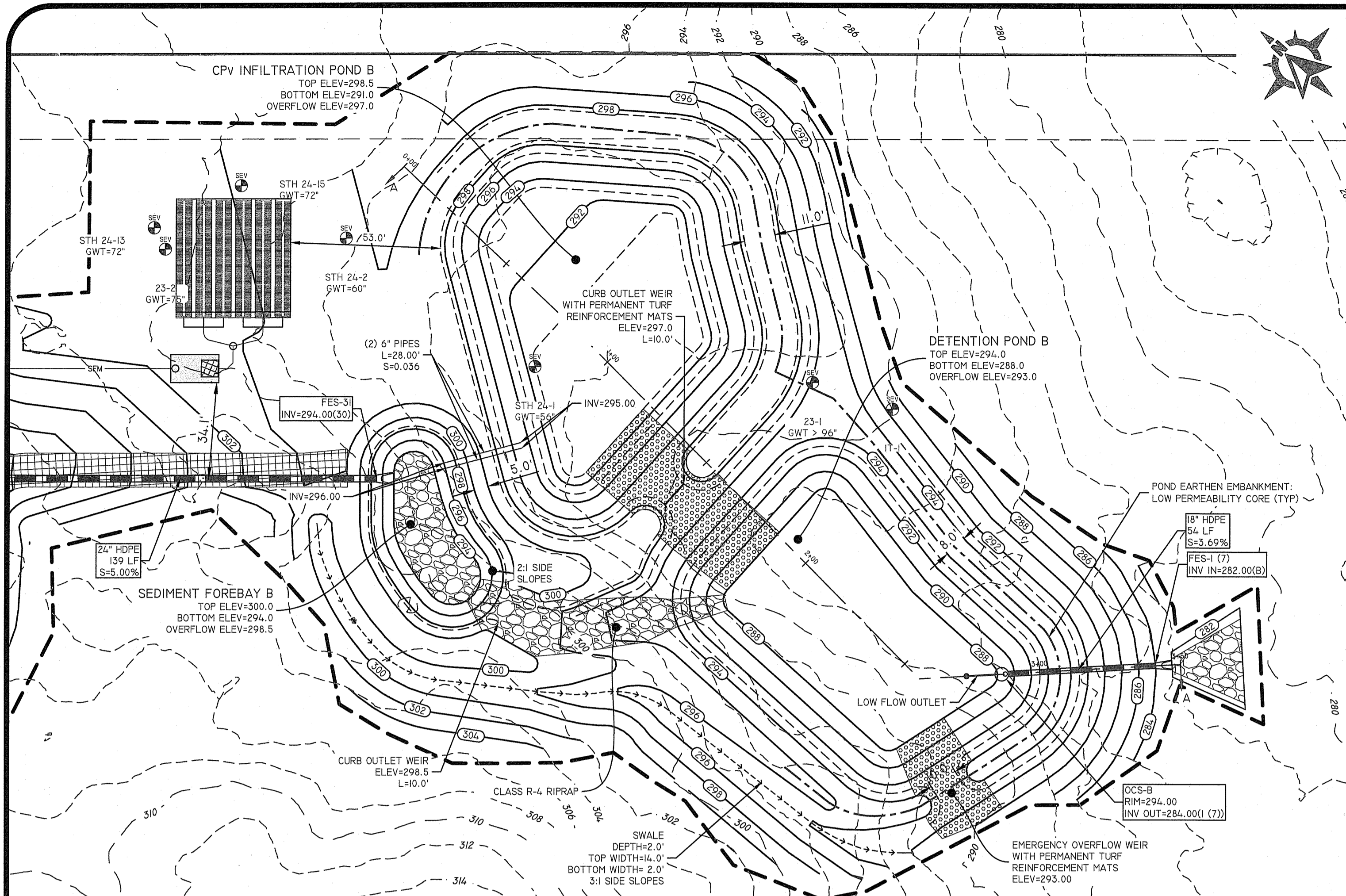
PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 305
WALTONFIELD, RI 02880

Diprete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-7000 Fax: 401-943-6006 www.diprete-eng.com
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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

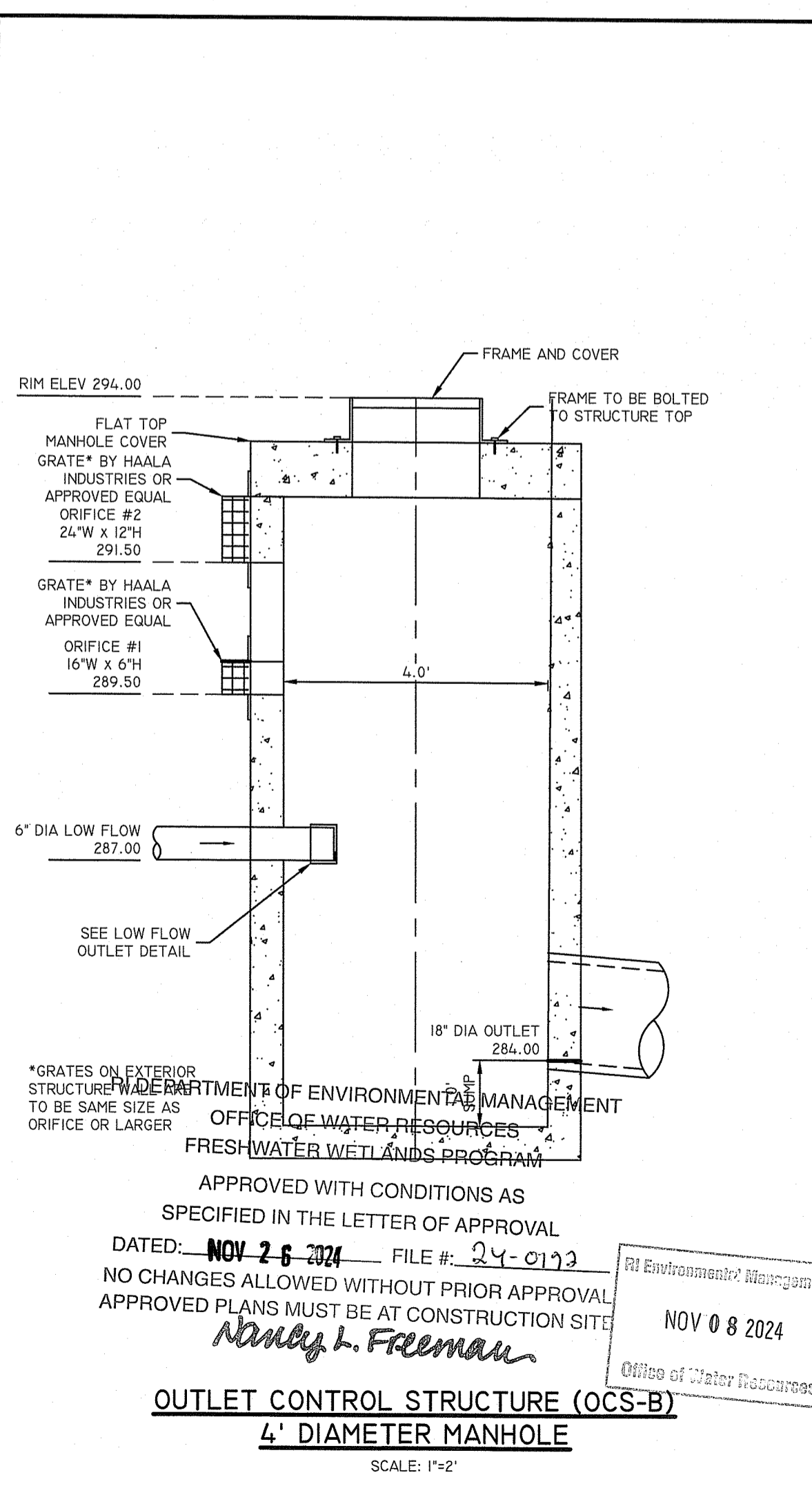
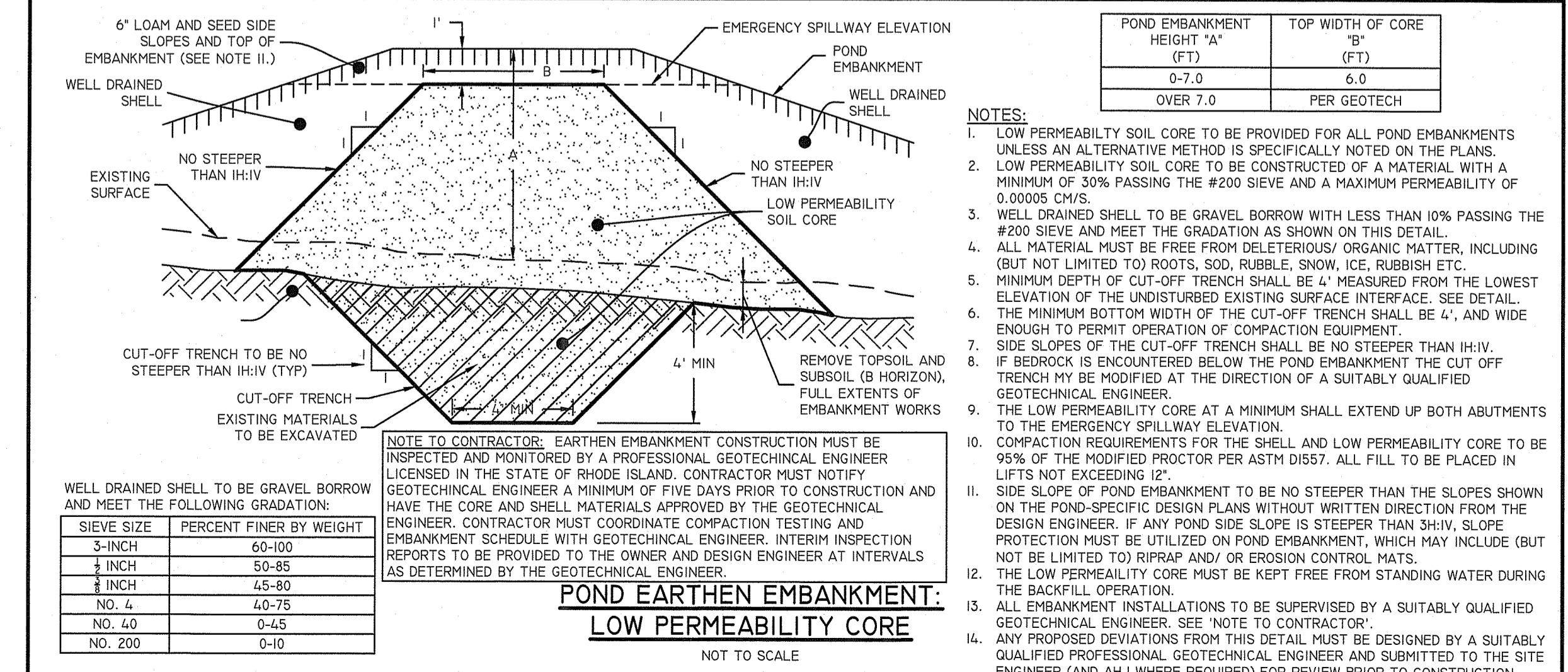
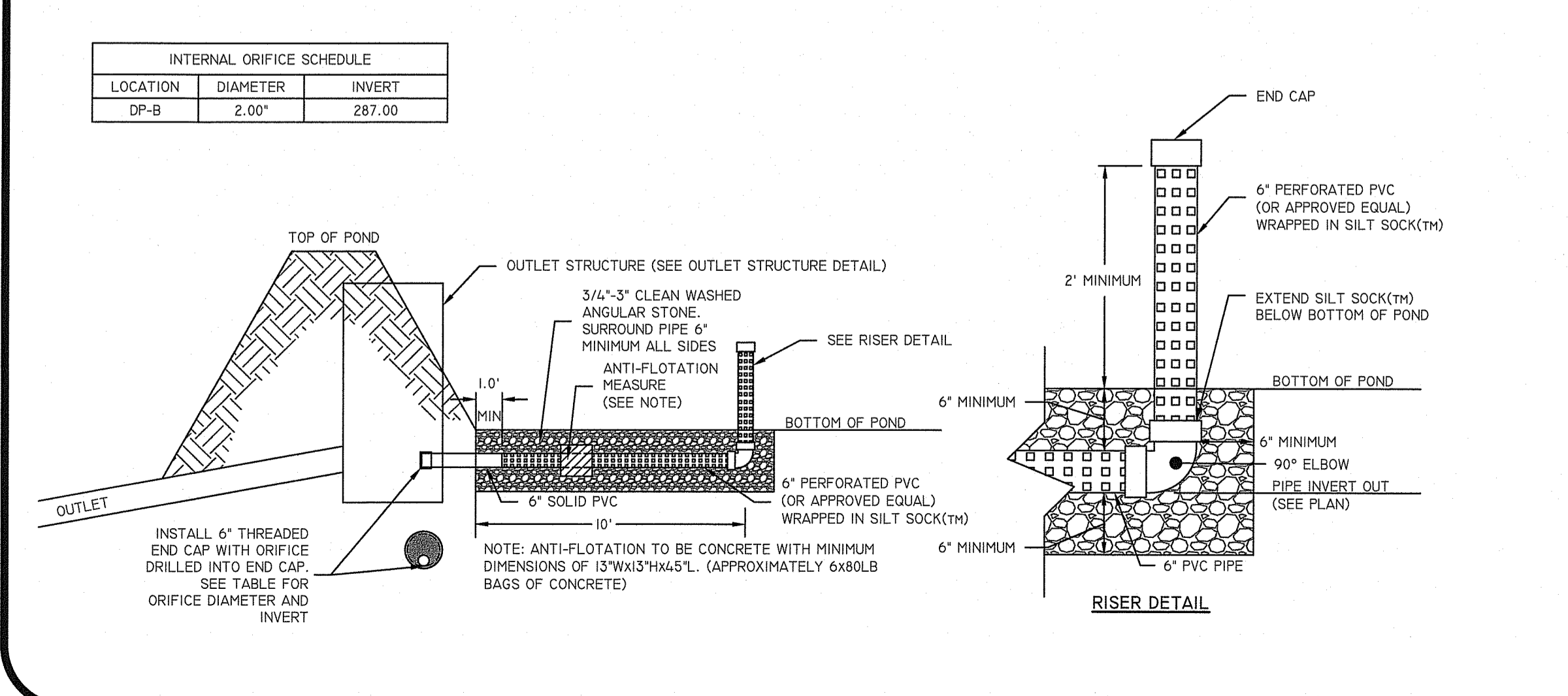
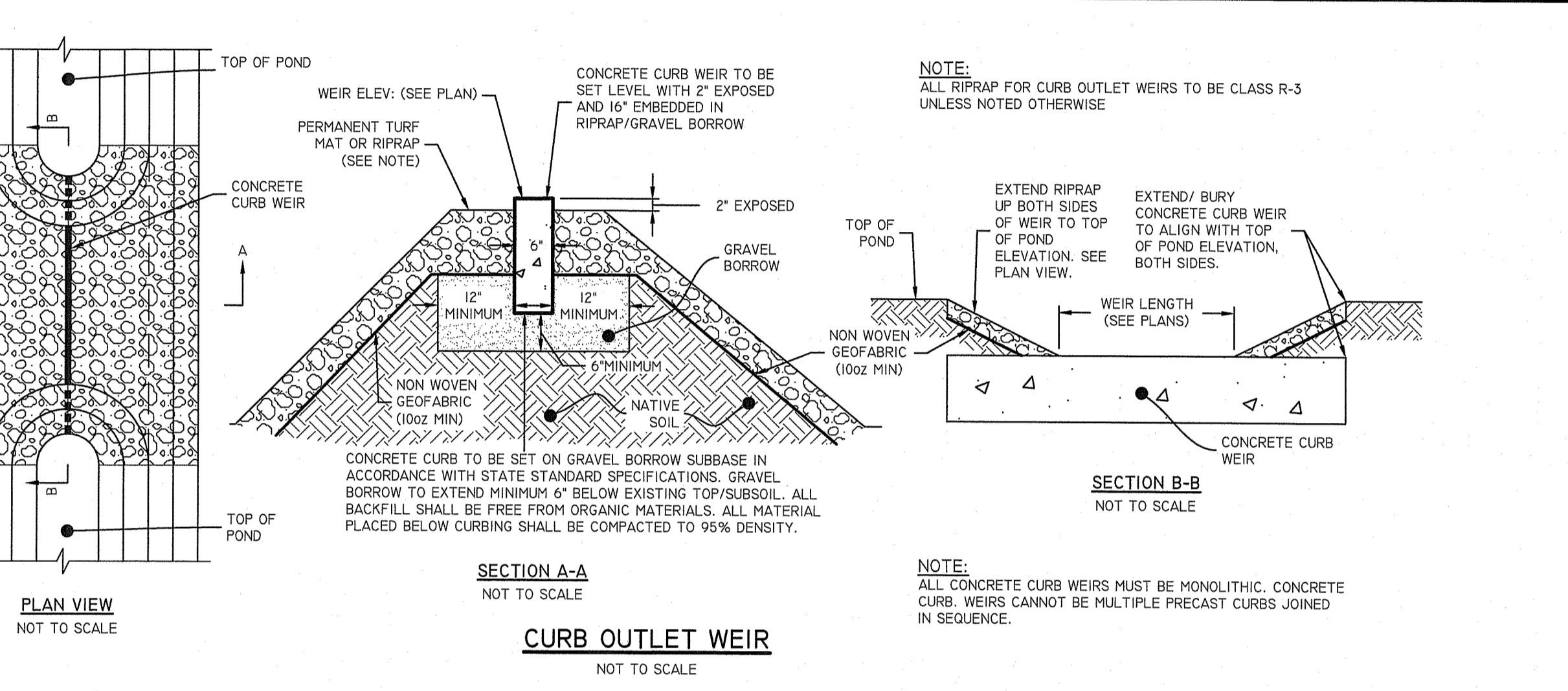
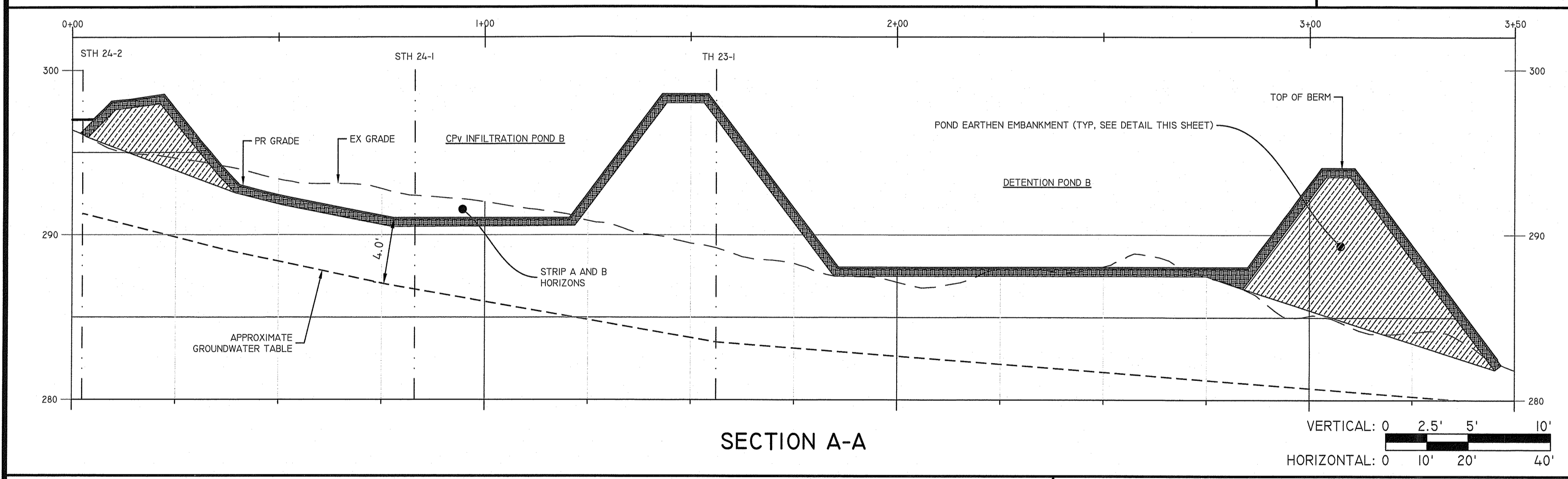
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NO WARRANTIES ARE MADE BY DIPRETE ENGINEERING FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS PLAN SET SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREIN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES ARE THE USER'S RESPONSIBILITY.
SEE UTILITY NOTE ON SHEET 2.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	10-24-2024	PREPARED FOR PERMITS	J.W.S.	J.W.S.
2	09-20-2024	PERMITS RESPONSE TO COMMENTS	J.W.S.	J.W.S.
3	08-20-2024	PERMITS RESPONSE TO COMMENTS	J.W.S.	J.W.S.
4	08-20-2024	PERMITS RESPONSE TO COMMENTS	J.W.S.	J.W.S.
5	08-20-2024	PERMITS RESPONSE TO COMMENTS	J.W.S.	J.W.S.



DESCRIPTION	CPV-B	DP-B
TOP OF POND ELEVATION	298.50	294.00
100 YEAR STORM ELEVATION	297.15	292.67
10 YEAR STORM ELEVATION	295.76	290.14
1 YEAR STORM ELEVATION	293.58	288.02
WD STORM ELEVATION	292.13	---
BOTTOM OF POND ELEVATION	291.00	288.00
SEASONAL HIGH GW ELEVATION	287.00	285.00
SOIL EVALUATION	STH 24-1	TH-23-1

POND COMPLEX B



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN SET MUST BE APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. ONLY VARIATIONS TO THIS PLAN SET APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING WILL BE CONSIDERED. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SAFETY PRECAUTIONS IN THE PERFORMANCE OF THIS WORK AND DESIGN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. APPROXIMATE LOCATIONS OF UTILITIES ARE SHOWN FOR INFORMATION ONLY. APPROXIMATE LOCATIONS OF UTILITIES ARE SHOWN FOR INFORMATION ONLY. APPROXIMATE LOCATIONS OF UTILITIES ARE SHOWN FOR INFORMATION ONLY. APPROXIMATE LOCATIONS OF UTILITIES ARE SHOWN FOR INFORMATION ONLY.

NO. DATE DESCRIPTION
0 08/26/2024 PERMIT PLANS
1 11/26/2024 PERMIT RESPONSE TO COMMENTS
2 11/26/2024 PERMIT RESPONSE TO COMMENTS

DRAWN BY: J.W.S. DESIGN BY: J.W.S.

POND COMPLEX B
RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 195
EAST GREENWICH, RHODE ISLAND 02818

APPROVED FOR: **DOUGLAS ENTERPRISES, LTD.**
WAKEFIELD, RI 02880

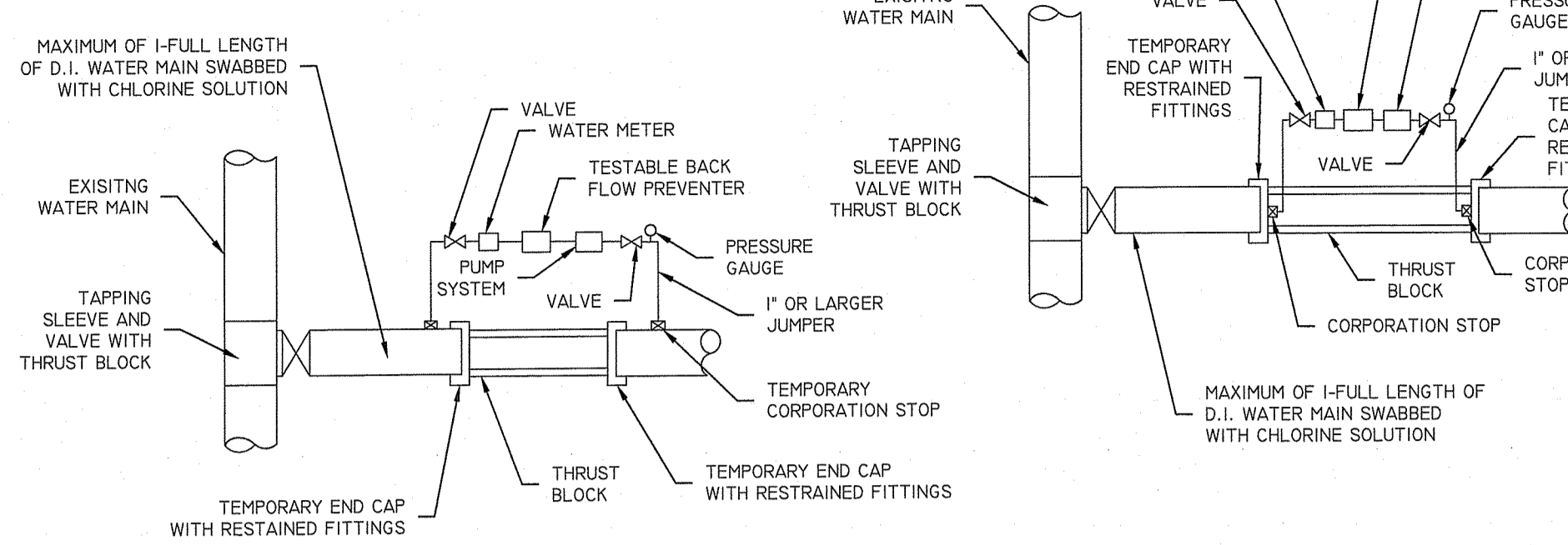
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: **NOV 26 2024** FILE #: **24-0192**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OFFICE OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED BY: **Nancy L. Freeman**
NOV 08 2024

SCALE: 1"=2'

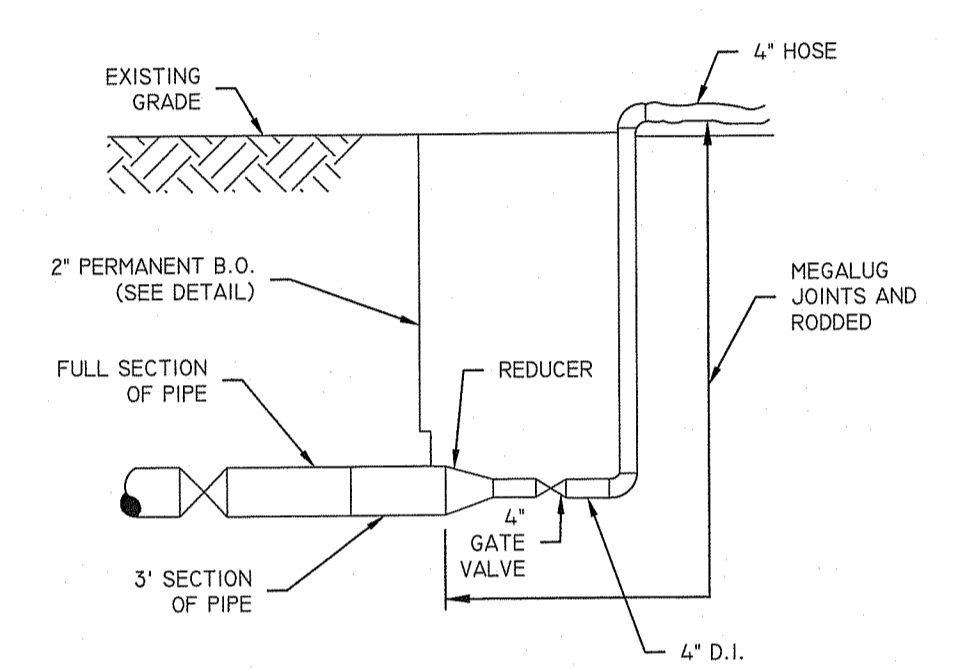
- NOTES:**
- UPON SUCCESSFUL TESTING AND DISINFECTION THE TEMPORARY CORPORATION STOPS SHALL BE REMOVED AND PLUGS INSTALLED
 - SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION
 - FROM KENT COUNTY WATER AUTHORITY DETAILS DATE: 09/2006



KCWA TEMPORARY CONNECTION FOR PRESSURE TESTING & DISINFECTION

NOT TO SCALE

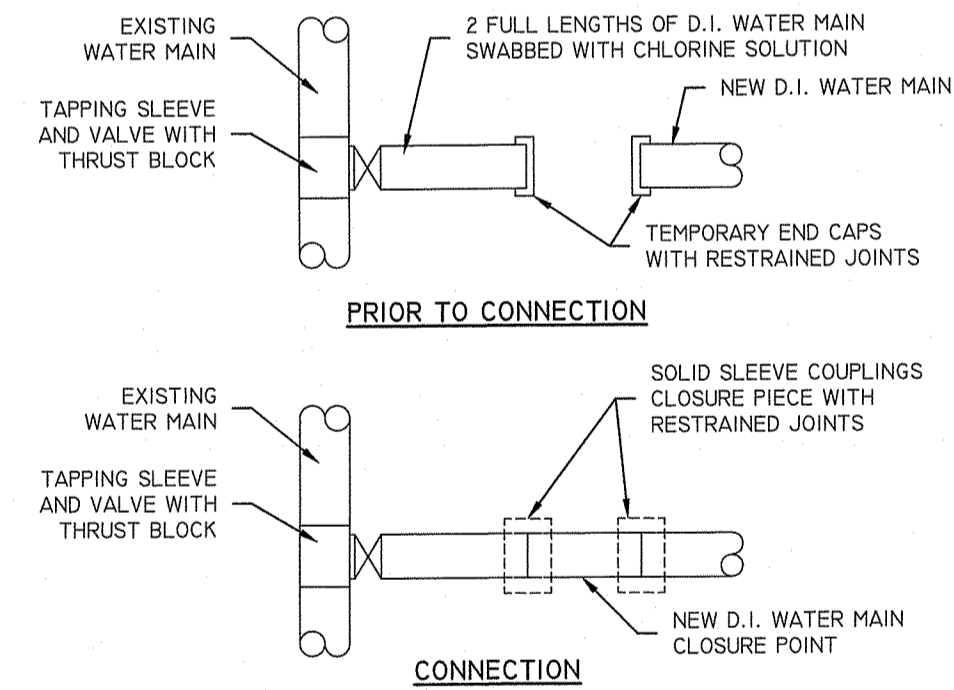
- NOTES:**
- AFTER THE COMPLETION OF THE FINAL FLUSHING THE CONTRACTOR SHALL REMOVE THE TEMPORARY CONNECTION AND INSTALL A CAP WITH MEGALUGS AND A THRUST BLOCK.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



KCWA TEMPORARY FLUSHING CONNECTION ON DEAD END WATER MAIN

NOT TO SCALE

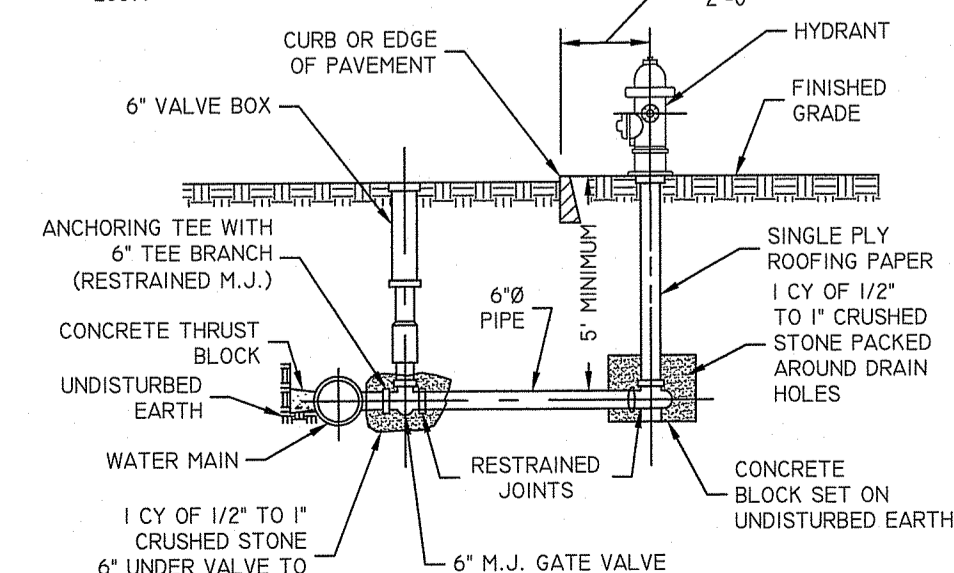
- NOTES:**
- PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM KCWA, CONTRACTOR SHALL PERFORM PRESSURE TESTING.
 - SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



KCWA CONNECTION OF NEW WATER MAIN TO EXISTING WATER MAIN

NOT TO SCALE

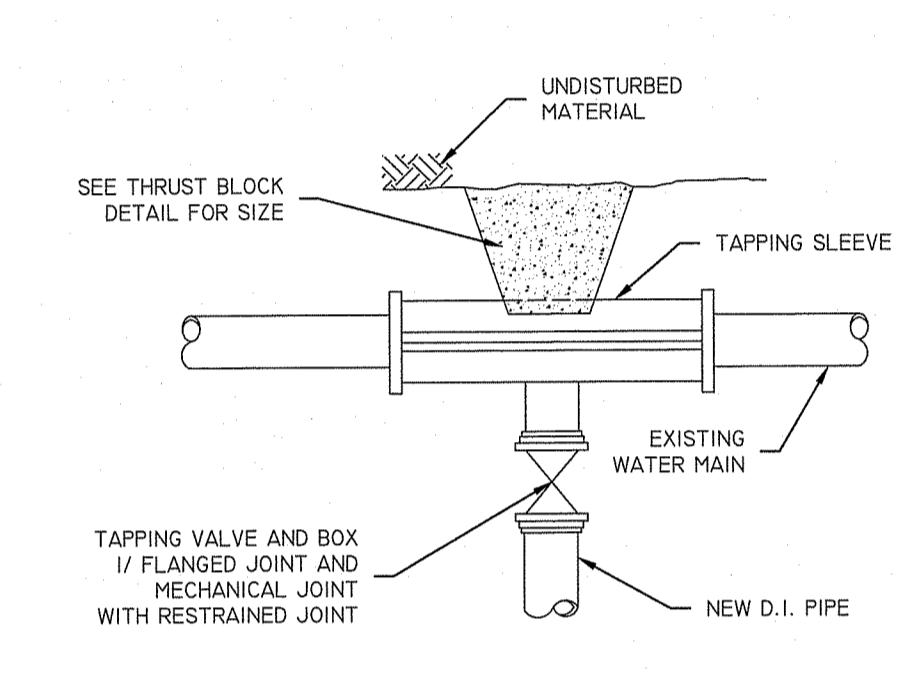
- NOTES:**
- KCWA COLOR SCHEME FOR HYDRANT.
 - INSTALLATION SHALL NOT OBSTRUCT SIDEWALK TO PEDESTRIAN OR PHYSICALLY IMPAIRED.
 - REMOVAL OF EXISTING HYDRANT MAY REQUIRE ADDITIONAL RESTRAINT DESIGNED BY A PROFESSIONAL ENGINEER.
 - MECHANICAL JOINT PIPE WITH RESTRAINED JOINTS FOR BRANCHES OVER ONE LENGTH OF PIPE.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006
 - ALL HYDRANTS TO CONFORM TO 4.10 HYDRANTS IN ERRATUM TO RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY APPROVED FEBRUARY 15, 2007.



KCWA HYDRANT

NOT TO SCALE

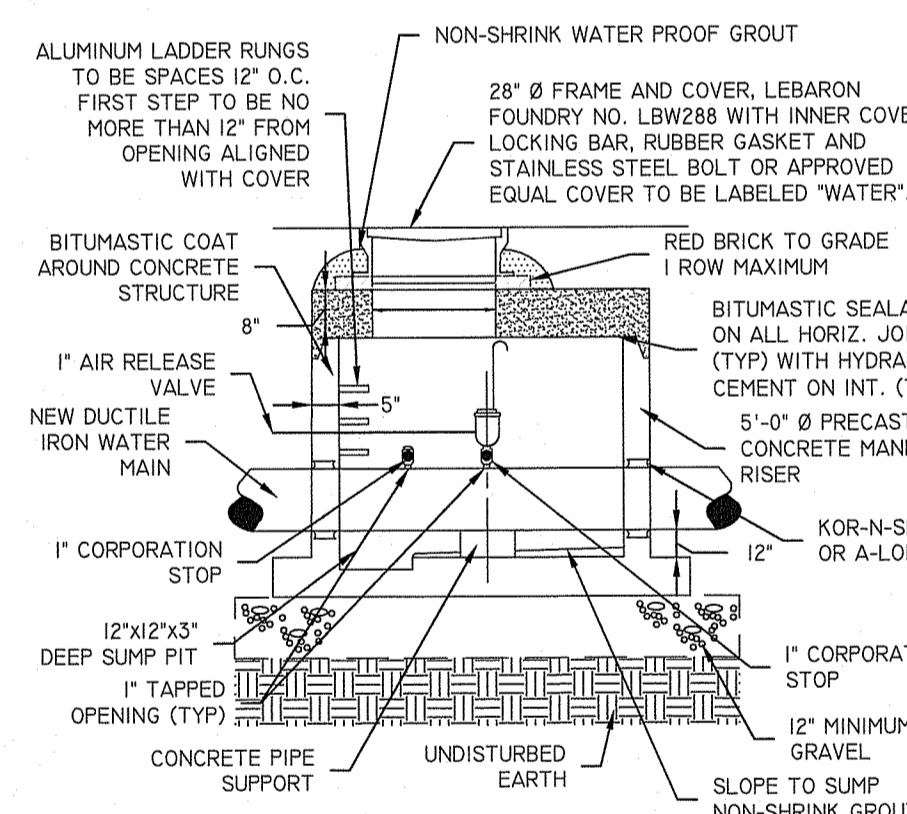
- NOTES:**
- TAPPING SLEEVE AND VALVE TO BE SWABBED WITH CHLORINE SOLUTION.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006
 - SEE ERRATUM TO RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY 4.9.1.3 TAPPING SLEEVE AND VALVE APPROVED FEBRUARY 15, 2007.



KCWA TAPPING SLEEVE & VALVE

NOT TO SCALE

- NOTE:**
- FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



KCWA AUTOMATIC AIR RELEASE MANHOLE

NOT TO SCALE

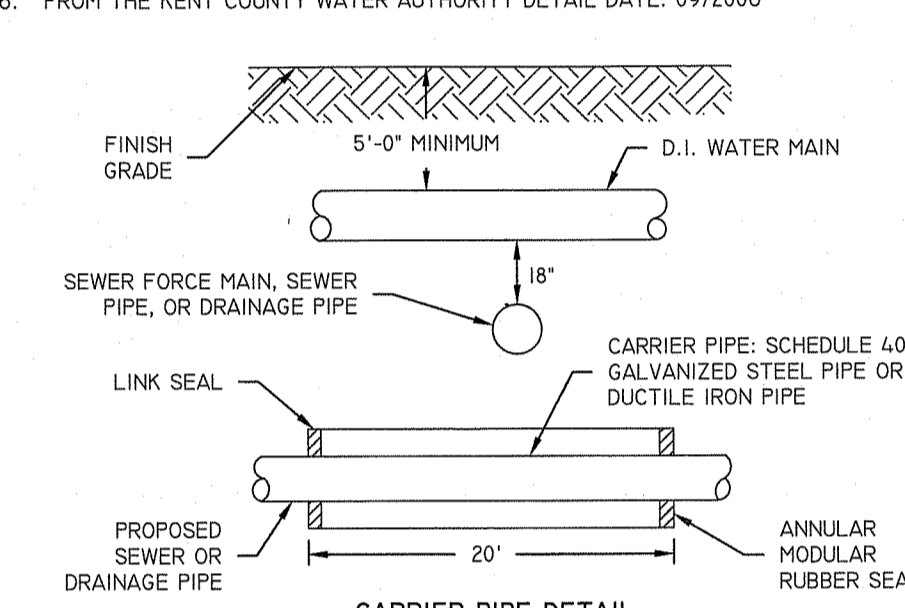
KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.14.6
A MINIMUM OF TEN-FOOT HORIZONTAL AND EIGHTEEN-INCH VERTICAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES OR VICE VERSA. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT, HORIZONTAL SEPARATION OR IN THE CASE OF CROSSING THE EIGHTEEN-INCH, VERTICAL SEPARATION, A DEVIATION FROM THIS RESTRICTION MAY BE ALLOWED ON A CASE BY CASE BASIS WITH PRIOR APPROVAL FROM THE GENERAL MANAGER/CHIEF ENGINEER AS TO THE PROPOSED MATERIALS AND INTERVENTIONS TO BE TAKEN TO PROTECT THE WATER SYSTEM FROM THE POSSIBILITY OF CONTAMINATION.

KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.2.1.12
WATER MAINS SHALL BE LAID WITH A MINIMUM OF TEN-FOOT HORIZONTAL CLEARANCE FROM ANY EXISTING SEWER FACILITIES. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WATER MAINS CROSSING UNDER SEWERS SHALL BE FORBIDDEN. WATER MAINS CROSSING OVER SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF EIGHTEEN-INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. RE-ALIGNMENT OF AN EXISTING WATER MAIN OR RELOCATION OF THE SEWER MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. THE GENERAL MANAGER/CHIEF ENGINEER MUST APPROVE ANY DEVIATION FROM THESE REQUIREMENTS. CONCRETE ENCASUREMENT SHALL NOT BE ALLOWED IN THE DESIGN FOR SEWER AND WATER CROSSINGS.

SEWER LINE/WATER LINE SEPARATION POLICY

NOT TO SCALE

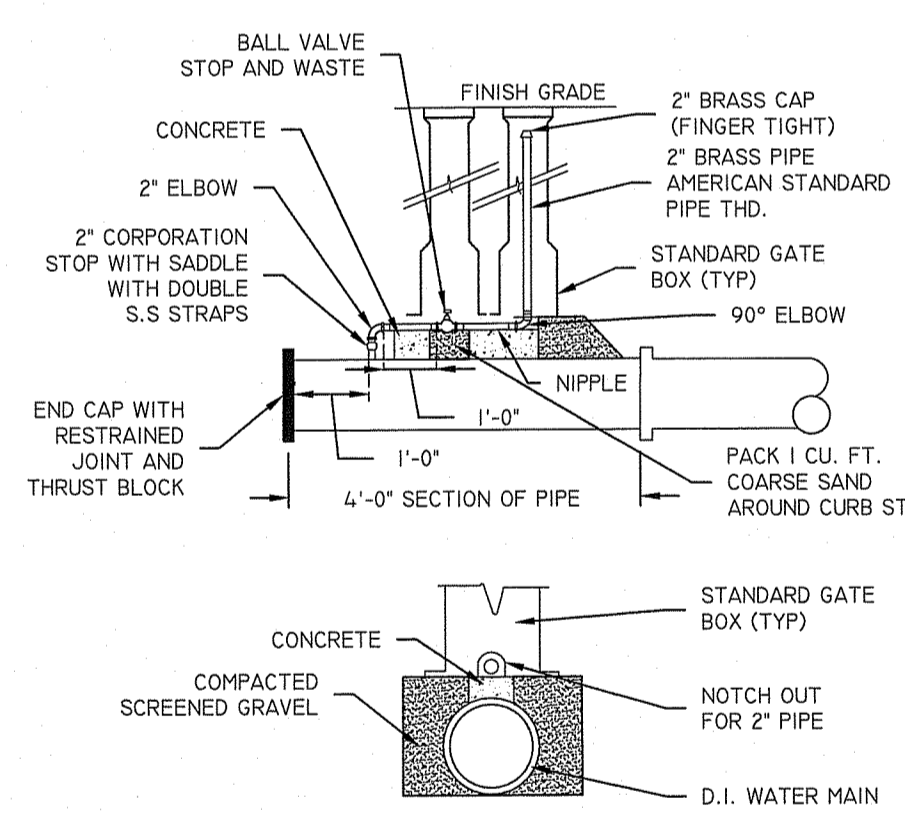
- NOTES:**
- THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHOULD BE A MINIMUM OF 18\"/>



CARRIER PIPE DETAIL KCWA UTILITY SEPARATION

NOT TO SCALE

- NOTE:**
- FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



KCWA PERMANENT BLOWOFF ASSEMBLY

NOT TO SCALE

- ALL NEW OR REPAIRED POTABLE WATER SYSTEM DISTRIBUTION MAINS, SERVICE PIPE AND THE NECESSARY CONNECTING PIPES, FITTINGS, CONTROL VALVES, AND ALL APPURTENANCES IN OR ADJACENT TO ANY RESIDENCE, BUILDING OR PREMISES SHALL BE PURGED OF DELETERIOUS WATER AND SHALL BE DISINFECTED PRIOR TO UTILIZATION OR PERMANENT CONNECTION TO THE KENT COUNTY WATER AUTHORITY (KCWA) SYSTEM. THAT PORTION OF THE CUSTOMER'S SERVICE PIPE AFTER THE CURB STOP SHALL BE DISINFECTED UNDER THE SUPERVISION OF THE LOCAL PLUMBING OFFICIAL. THE OWNER MUST PROVIDE WRITTEN LABORATORY CERTIFIED DOCUMENTATION OF THE DISINFECTION RESULTS TO THE KCWA BEFORE MAKING ANY PERMANENT CONNECTION TO THE KCWA SYSTEM OR BEFORE REACTIVATION OF ANY EXISTING WATER SERVICE CAN BE AUTHORIZED. PLEASE REFER TO APPENDICES FOR PROGRAM REQUIREMENTS OF THE CUSTOMER WATER SERVICE DISINFECTION POLICY.
- THE PROPOSER OR THE CONTRACTOR FOR THE PROPOSER, IN ACCORDANCE WITH CHAPTER 5, DISTRIBUTION SYSTEM CHLORINATION, AMERICAN WATER WORKS ASSOCIATION MANUAL #20, SHALL PERFORM CHLORINATION. TABLET CHLORINATION SHALL NOT BE ALLOWED.
- THE OWNER OR CUSTOMER IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION PROCESS OR PROCEDURE.
- THE DISINFECTION MUST RESULT IN ELIMINATION FROM THE VARIOUS PARTS OF THE NEW PIPE LINE ANY EVIDENCE OF THE EXISTENCE, THEREIN, OF BACTERIA INDICATIVE OF ANY CONTAMINATION, AS DETERMINED BY TEST OF THE BACTERIAL CONTENT OF SAMPLES OF WATER TAKEN FROM THE NEW WATER MAIN. THE DISINFECTION MAY BE ACCOMPLISHED BY INTRODUCING INTO ALL THE VARIOUS PARTS OF THE NEW WATER MAINS, A LIQUID SOLUTION CONTAINING 1% AVAILABLE CHLORINE IN SUCH VOLUME THAT THE RATE OF DOSAGE TO THE WATER MAINS SHALL BE AT LEAST 50 PARTS PER MILLION OF AVAILABLE CHLORINE. TABLET CHLORINATION IS NOT ALLOWED. THE CONTACT PERIOD FOR THIS DISINFECTION SHALL BE AT LEAST 24 HOURS, AND A LONGER PERIOD WILL BE REQUIRED IF TESTS OF RESIDUAL CHLORINE SHOW IT TO BE NECESSARY FOR PROPER DISINFECTION.
- THE NEW WATER SYSTEM SHALL BE FLUSHED OUT AFTER DISINFECTION AND REFILLED WITH FRESH WATER. ALL CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE DE-CHLORINATED PRIOR TO DISCHARGE TO THE SURROUNDING AREA.
- WATER MUST SIT IN THE MAIN FOR AT LEAST 24 HOURS PRIOR TO TAKING A TEST SAMPLE. WATER UTILIZED FOR THIS PURPOSE, FLUSHING OR PRESSURE TESTING, WHICH IS OBTAINED DIRECTLY FROM THE KCWA SYSTEM, MUST FLOW THROUGH AN ISOLATED CONNECTION TO THE KCWA SYSTEM VIA AN APPROVED METER, TESTABLE BACKFLOW PREVENTION DEVICE AND JUMPER LINE. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR SECURING THE WATER FOR TEST PURPOSES AND SHALL BEAR THE EXPENSE OF THESE ARRANGEMENTS. THE INSTALLER SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS, CAPS, PUMPS, PIPE CONNECTIONS AND OTHER APPURTENANCES, AS NECESSARY, TO OBTAIN SAMPLES AT POINTS NO FURTHER THAN 1,000' APART.
- AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES FOR COLIFORM BACTERIA, HETEROTROPHIC PLATE COUNT (HPC), TAKEN 24 HOURS APART, SHALL BE COLLECTED FROM THE TERMINATION OF THE NEW MAIN. AT LEAST ONE SAMPLE SHALL BE COLLECTED EVERY 1,000' OF NEW MAIN, PLUS ONE SET OF TWO SAMPLES FROM THE END OF THE LINE. AT LEAST ONE SET OF TWO SAMPLES SHALL BE TAKEN FROM EACH BRANCH. SAMPLES SHALL BE COLLECTED BY KCWA EMPLOYEES, GIVEN A TWO-DAY NOTICE AND TESTED BY A LABORATORY APPROVED BY KCWA. A FEE SHALL BE IMPOSED FOR THE SAMPLING TESTING FOR EACH TEST. THE FEE SHALL BE AT THE CURRENT RATE SCHEDULE IN EFFECT AT THE TIME OF TESTING. PAYMENT SHALL BE PRIOR TO SAMPLE COLLECTION BY THE KCWA. THE WATER SAMPLE TEST RESULTS MUST INDICATE THAT THE WATER QUALITY IN THE NEW MAIN IS CONSISTENT IN QUALITY WITH KCWA SYSTEM WATER.

CHLORINATION & DISINFECTION POLICY*

NOT TO SCALE

- 1. GENERAL**
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED SEWER FORCE MAIN AND WATER MAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE KENT COUNTY WATER AUTHORITY, AND AS SPECIFIED BELOW.
 - THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING. CONTRACTOR TO NOTIFY KENT COUNTY WATER AUTHORITY 48 HOURS IN ADVANCE OF TEST DATE.

- 2. TESTING PROCEDURES**
- ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER, AND MUST SIT FOR 24 HOURS BEFORE CONDUCTING TEST.
 - THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
 - ALL LEAKS IN THE PIPELINE SHALL BE STOPPED, CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
 - THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
 - WATER MAINS - DISINFECTION STEP
 - SEWER FORCE MAIN - READY FOR USE
 - COMPLIANCE WITH STATE PLUMBING CODE IN REFERENCE TO RESIDENTIAL BACKFLOW PREVENTION. MUST BE VERIFIED BY PLUMBER INSPECTOR, PRIOR TO METER INSTALLATION.

LEAKAGE & PRESSURE TESTING FOR WATER MAINS

NOT TO SCALE

ALL COMPONENTS OF THE WATER SYSTEMS AND ANY CROSSING UTILITIES MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

KCWA AS-BUILT NOTES

NOT TO SCALE

- THE OWNER, PLUMBER AND/OR PLUMBING OFFICIAL SHALL COORDINATE ACTIVITIES BY CONTACTING THE KENT COUNTY WATER AUTHORITY FIVE WORKING DAYS PRIOR TO CONDUCTING THE DISINFECTION PROCESS TO:
 - OBTAIN AUTHORIZATION TO TEMPORARILY CONNECT TO THE PUBLIC WATER SYSTEM IF AN ALTERNATIVE SUPPLY IS NOT USED.
 - ARRANGE TO HAVE A REPRESENTATIVE OF THE AUTHORITY TO EXAMINE THE ISOLATED CONNECTION TO THE PUBLIC WATER SYSTEM.
 - OBTAIN A READING FROM THE TEMPORARY METER (IF USED).
 - COORDINATE ACTIVATION OF THE WATER CONNECTION TO COMPLETE THE DISINFECTION AND SAMPLE RETRIEVAL PROCESS.
- THE SERVICE PIPE SHALL BE FLUSHED WITH CLEAN POTABLE WATER SUPPLIED BY THE CONTRACTOR OR FROM AN ISOLATED CONNECTION TO THE KENT COUNTY WATER AUTHORITY SYSTEM UNTIL ALL DELETERIOUS MATERIAL IS REMOVED. IF THE CONTRACTOR CHOOSES TO USE THE PUBLIC WATER SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUITABLE, ISOLATED CONNECTION TO THE AUTHORITIES SYSTEM FROM THE NEW SERVICE PIPE.
- FILL THE SERVICE PIPING THEREOF WITH A CHLORINE SOLUTION CONTAINING AT LEAST 50 PARTS PER MILLION CHLORINE. ONCE THE CHLORINE CONCENTRATION IN THE EFFLUENT DISCHARGE REVEALS THE PROPER CONCENTRATION, THE SYSTEM SHALL BE VALVED OFF AND ALLOWED TO STAND FOR THE REQUIRED TIME.
- FOLLOWING THE REQUIRED STANDING TIME, THE SERVICE PIPE SHALL BE FLUSHED WITH CLEAN POTABLE WATER UNTIL THE CHLORINE IS PURGED FROM THE SERVICE PIPING. TWO SETS OF SAMPLES OF ACCEPTABLE SAMPLES, TAKEN AT A MINIMUM OF 24 HOURS APART SHALL BE ANALYZED. THE CUSTOMER SHALL ELICIT THE SERVICES OF A LABORATORY CERTIFIED BY THE RHODE ISLAND DEPARTMENT OF HEALTH TO ANALYZE THE WATER SAMPLES USING MEMBRANE FILTER TECHNIQUE (MFT) FOR COMPLIANCE WITH RHODE ISLAND DEPARTMENT OF HEALTH COLIFORM REGULATIONS, AND STANDARD HETEROTROPHIC PLATE COUNT TEST. THIS REQUIRES TWO (2) SAMPLE BOTTLES PER SET OF SAMPLES, ONE FOR THE COLIFORM TEST AND ONE OF THE HETEROTROPHIC PLATE COUNT. THE RI DEPARTMENT OF HEALTH HAS A LISTING OF CERTIFIED LABORATORIES. THE SAMPLE RETRIEVAL SHALL BE CONDUCTED UNDER THE PURVIEW OF THE LOCAL PLUMBING OFFICIAL PER THE REQUIREMENTS CONTAINED IN THE RHODE ISLAND STATE PLUMBING CODE.
- THE DISINFECTION PROCESS SHALL BE REPEATED UNTIL THE RESULTS OF THE BACTERIOLOGICAL TESTING CONFIRM COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF HEALTH DRINKING WATER QUALITY STANDARDS AND HETEROTROPHIC PLATE COUNT CONSISTENT WITH KENT COUNTY WATER AUTHORITY POLICY.
- THE WATER SERVICE APPLICANT MUST PROVIDE THE AUTHORITY WITH COPIES OF THE SATISFACTORY LABORATORY TEST RESULTS AND INSPECTION VERIFICATION LETTER (PER SECTION 107 OF PLUMBING CODE) FROM THE LOCAL PLUMBING OFFICIAL, BEFORE PERMISSION WILL BE GRANTED TO COMPLETE THE PERMANENT CONNECTION TO THE PUBLIC WATER SYSTEM.
- ALL CONNECTION MATERIALS SHALL BE KEPT FREE OF ANY POTENTIAL CONTAMINATION AND BE SWABBED WITH CHLORINE SOLUTION PRIOR TO CONNECTION TO THE NEWLY DISINFECTED SERVICE.

CUSTOMER WATER SERVICE DISINFECTION POLICY

NOT TO SCALE

- INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY SEPTEMBER 20, 2006, OR LATEST EDITION, AND IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION INSTALLATION MANUAL AND ANSI/AWWA C600.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151 A21.51. JOINTS SHALL MEET ANSI/AWWA C114A21.11.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT, CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C151/A21.51. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C114/A21.11 AMERICAN MANUFACTURER ONLY.
- VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
 - MUELLER CORPORATION DOUBLE DISC PARALLEL SEAT.
 - AMERICAN DARLING VALVE RESILIENT SEAT MODEL CRS-80.
- PRESSURE TEST OF THE WATER SYSTEM SHALL BE 1.5 TIMES THE MAXIMUM WORKING PRESSURE OR 150 PSI. NOTIFY KENT COUNTY WATER AUTHORITY 2 DAYS PRIOR TO TEST AS APPLICABLE.
- NOTIFY THE KENT COUNTY AUTHORITY 5 DAYS PRIOR TO CONSTRUCTION COMMENCEMENT.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO SEC. 3.5 OF REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION.
- NOTIFY ENGINEER PRIOR TO COVERING OF WATER SERVICE TO SURVEY AS-BUILT LOCATION AND TO COMPLETE REQUIRED AS-BUILT PLAN. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE CONTRACTOR.
- WATER SERVICE INSTALLATIONS GREATER THAN 200' MUST HAVE A METER PIT.
- TOTAL LENGTH OF WATER MAIN TO THE SHUT-OFF VALVE IS XX'
- TEMPORARY FLUSHING CONNECTIONS AND BLOW-OFFS SHALL BE SIZED TO PROVIDE 3.0- FEET PER SECOND FLOW PER AWWA STANDARD 651
- CONTRACTOR RESPONSIBLE TO COORDINATE WITH PLUMBING OFFICIAL FOR DISINFECTION OF SERVICE PIPE EXTENDING FROM CURB BOX TO HOME PER STATE PLUMBING CODE AND KENT COUNTY WATER AUTHORITY REGULATIONS. WATER SERVICE CANNOT BE ACTIVATED WITHOUT COPY OF LAB RESULTS AND PLUMBING INSPECTOR'S VERIFICATION.
- PRESSURE-REDUCING VALVES ARE REQUIRED AT ALL BUILDINGS PER RI BUILDING CODE.

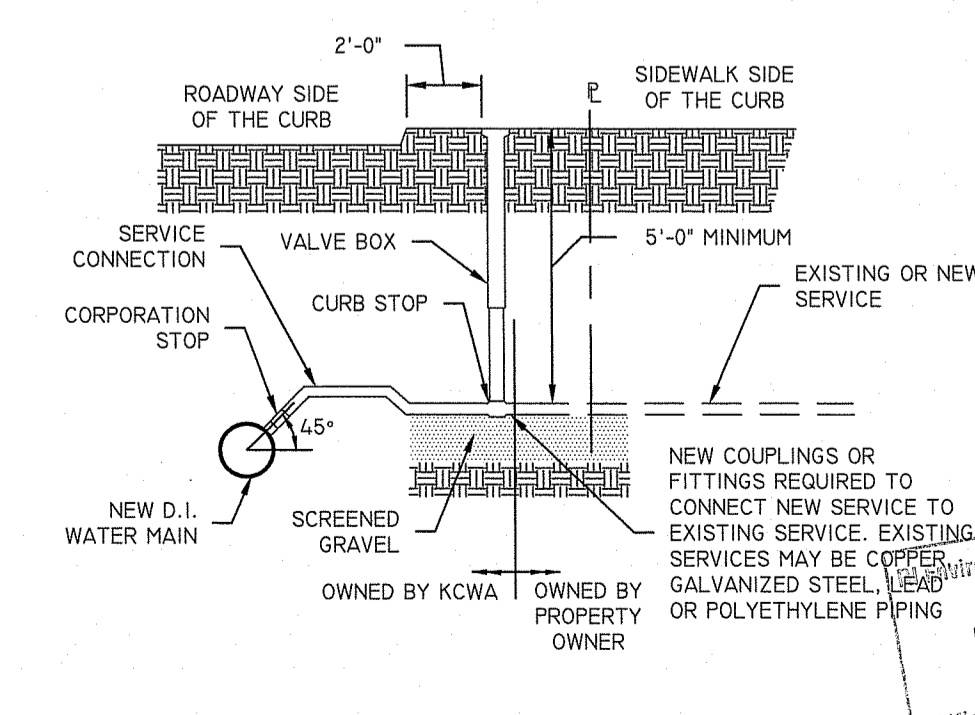
KCWA WATER INSTALLATION NOTES

NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATE: **NOV 26 2021** FILE #: **24-0192**

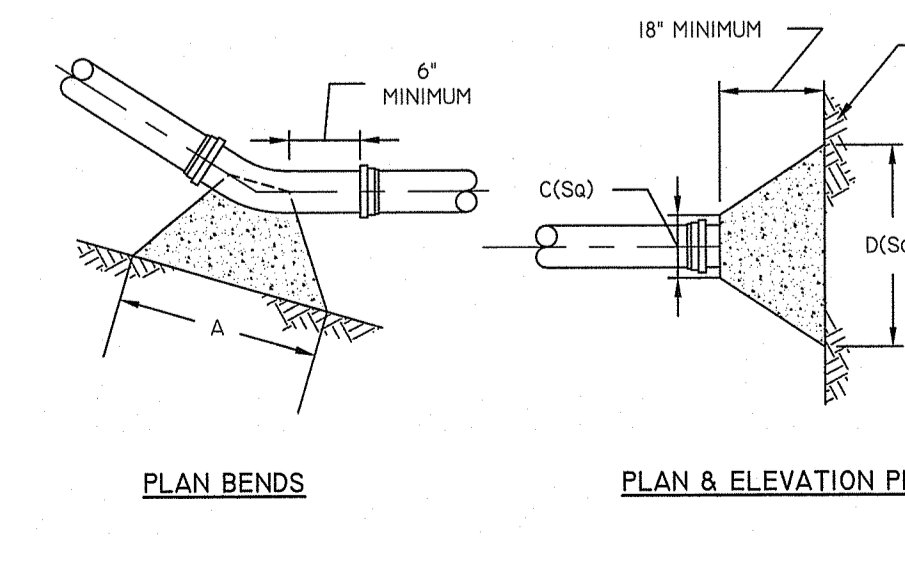
- NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL**
- APPROVED PLANS FOR CONSTRUCTION**
- NOTES:**
- SERVICE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED FOR THIS PROJECT.
 - SERVICE LINE FROM CURB BOX TO HOME SHALL BE DISINFECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING OFFICIAL.
 - FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09-2006



KCWA SERVICE CONNECTION

NOT TO SCALE

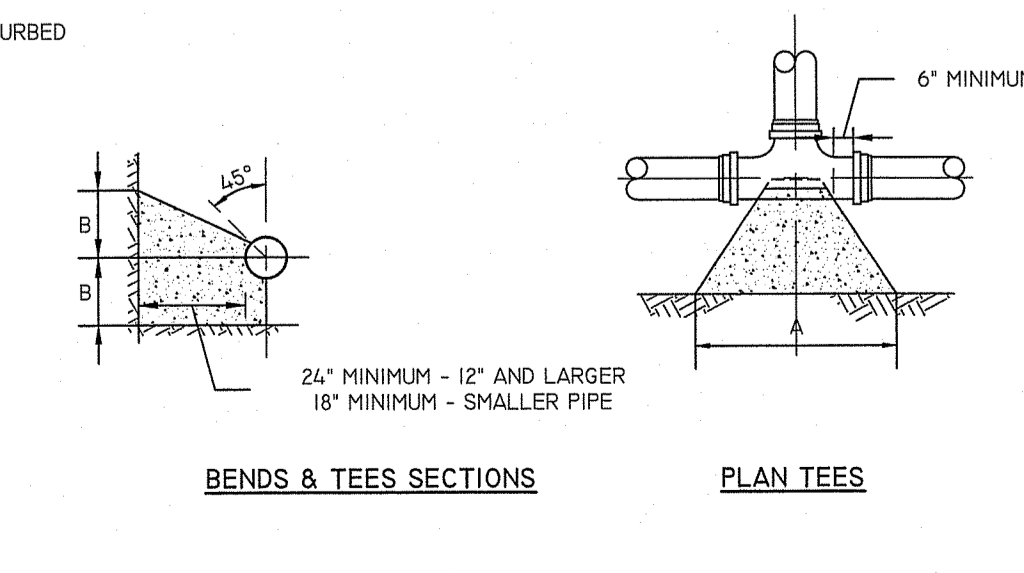
- NOTES:**
- ALL CONCRETE SHALL BE 4,000 P.S.I. @ 28 DAYS
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH FORMS TO BE USED AS NECESSARY
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED
 - REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND SHALL VERIFY CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT AND KCWA REQUIREMENTS
 - FROM THE KENT COUNTY WATER AUTHORITY DETAIL DATE: 09/2006



KCWA THRUST BLOCK

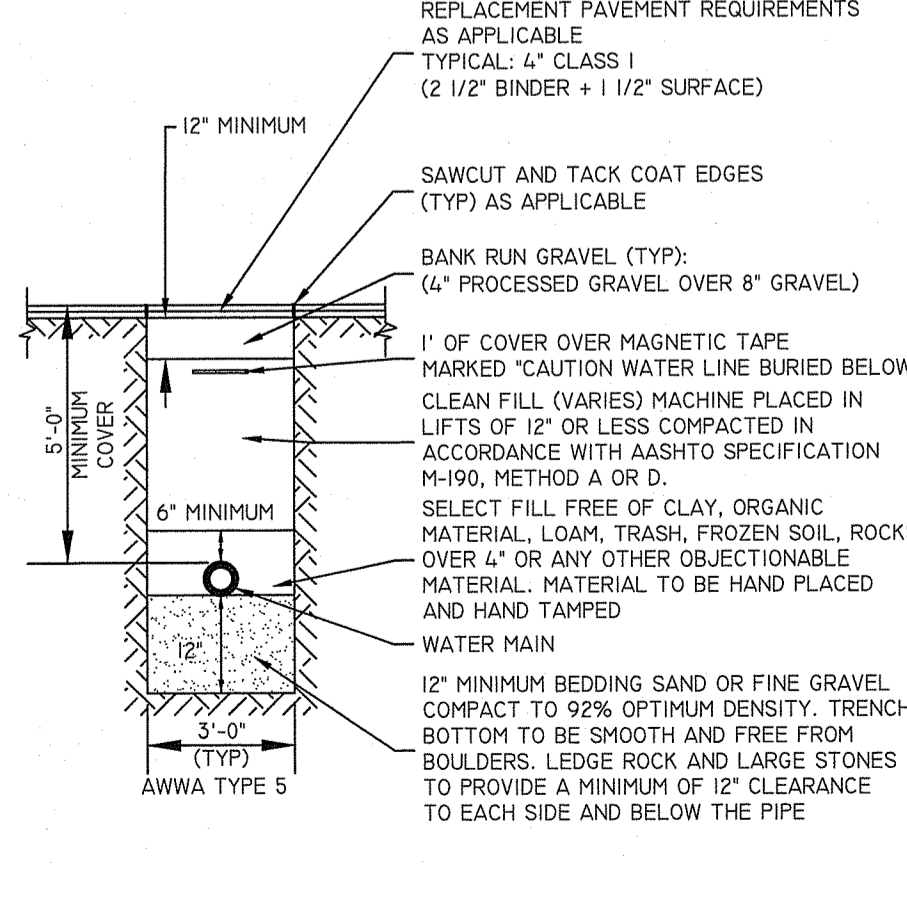
NOT TO SCALE

SIZE	TEES		PLUGS		90° BEND		45° BEND		22.5° BEND		11.25° BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
6"	20"	10"	10"	21"	24"	12"	18"	9"	13"	7"	9"	5"
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"
10"	34"	17"	16"	34"	40"	20"	30"	15"	22"	11"	15"	8"
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"



KCWA THRUST BLOCK

NOT TO SCALE



WATER TRENCH DETAIL

NOT TO SCALE

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

CUSTOMER WATER SERVICE DISINFECTION POLICY

INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY SEPTEMBER 20, 2006, OR LATEST EDITION, AND IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION INSTALLATION MANUAL AND ANSI/AWWA C600.

KCWA WATER INSTALLATION NOTES

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATE: **NOV 26 2021** FILE #: **24-0192**

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL

APPROVED PLANS FOR CONSTRUCTION

NOTES:

- SERVICE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED FOR THIS PROJECT.
- SERVICE LINE FROM CURB BOX TO HOME SHALL BE DISINFECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING OFFICIAL.
- FROM KENT COUNTY WATER AUTHORITY DETAIL DATE: 09-2006

DETAIL SHEET - 1

RIDGELINE ESTATES & CONDOMINIUMS
MAP 69 PLAT 12 LOTS III & 135
EAST GREENWICH, RHODE ISLAND 02818

PREPARED FOR:
DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880

NOV 08 2021

DESIGN BY: J.W.S.
DRAWN BY: J.W.S.

