

LOCUS MAP
NOT TO SCALE

BEING A.P. 4B, LOT 57
TOTAL AREA OF LOT = 9.01 AC

LEGEND	
	EXISTING PROPERTY LINE
	ABUTTING PROPERTY LINE
	WATER GATE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING INTERMEDIATE CONTOUR
	EXISTING 5 FT INDEX CONTOUR
	SOIL CLASS BOUNDARY
	OVERHEAD UTILITIES
	EXISTING TREELINE

NOTES:

1. CONTOURS WERE PROVIDED BY SARDELLI SURVEY, LLC.
2. THERE ARE NO AREAS OF AGRICULTURAL USE ON SITE.
3. TREELINE LOCATION AND ABUTTING STRUCTURES TAKEN FROM ARIAL PHOTOGRAPHY, 2023.
4. NO HISTORIC CEMETERIES HAVE BEEN FOUND ON SITE.
5. NO NOTEWORTHY NATURAL, CULTURAL, HISTORIC, OR SCENIC FEATURES WERE FOUND ON OR ADJACENT TO THE SITE.
6. NO GEOLOGIC FORMATIONS WERE OBSERVED ON SITE.

REFERENCES:

1. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "PLAT OF LAND IN RICHMOND, R.I. LAND TO BE RETAINED BY LEO & LAURETTE POITRAS STILSON RD. WYOMING, R.I. SCALE 1" = 50' DATED 5/17/73 BY F. A. MURRAY ENGINEERS". SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND IN PLAN BOOK 2, PAGE 7.
2. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "PARCEL OF LAND IN THE TOWN OF RICHMOND, RHODE ISLAND OWNED BY I. L. ASSOCIATES TO BE ACQUIRED BY VIBCO, INC. OCTOBER, 1973 SCALE: 1" = 40' BY JOS. W. FRISSELLA, CIVIL ENGINEER". SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND IN PLAN BOOK 2, PAGE 20.
3. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "PROPOSED ADDITION PLAN A.P. 4B, LOT 45 75 STILSON ROAD RICHMOND, RHODE ISLAND PREPARED FOR: KARLIN CORPORATION SCALE: 1" = 40' DATE: 08-04-17 BY MICHAEL A. FONTAINE, PLS". SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND IN SLIDE 490A.
4. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "RICHMOND SAND & GRAVEL INC. STILSON ROAD AND BUTTONWOODS ROAD RICHMOND, RHODE ISLAND ISSUED FOR ADMINISTRATIVE SUBDIVISION APPLICATION SCALE 1" = 100' DATE MARCH, 2004 BY RICHARD H. NUDENBERG, PLS" SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND IN SLIDES 278B-281A.
5. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION RICHMOND SAND AND GRAVEL TOWN OF RICHMOND, RHODE ISLAND ASSESSOR'S PLAT 4B LOT 61, ASSESSOR'S PLAT 5C LOT 1 (PORTION OF) ASSESSOR'S PLAT 5C LOT 2 ASSESSOR'S PLAT 5C LOT 5 TO BE MERGED WITH ASSESSOR'S PLAT 5B LOT 57-1 ADMINISTRATIVE SUBDIVISION RICHMOND REALTY ASSOCIATES TOWN OF RICHMOND, RHODE ISLAND ASSESSOR'S PLAT 5C LOT 1, ASSESSOR'S PLAT 5C LOT 6 (PORTION OF) TO BE MERGED WITH ASSESSOR'S PLAT 5C LOT 5 DATE: DECEMBER 30, 1999 SCALE: 1" = 400' BY A.R.M. ENGINEERING, INC.". SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND IN SLIDE 200B.
6. REFERENCE IS HEREBY MADE TO THAT PLAN ENTITLED "STILSON TRADE CENTER CONDOMINIUMS LOCATED AT A.P. 4B, LOT 57, 67 STILSON ROAD RICHMOND, RHODE ISLAND SCALE 1" = 50' DATE 05/08/2023 BY AMERICAN ENGINEERING, INC." SAID PLAN BEING RECORDED IN THE TOWN OF RICHMOND AS MAP 719.
7. REFERENCE IS HEREBY MADE TO THAT DECLARATION OF CONDOMINIUM OF STILSON TRADE CENTER CONDOMINIUMS RECORDED IN THE TOWN OF RICHMOND LAND EVIDENCE BOOK 365, PAGE 136.

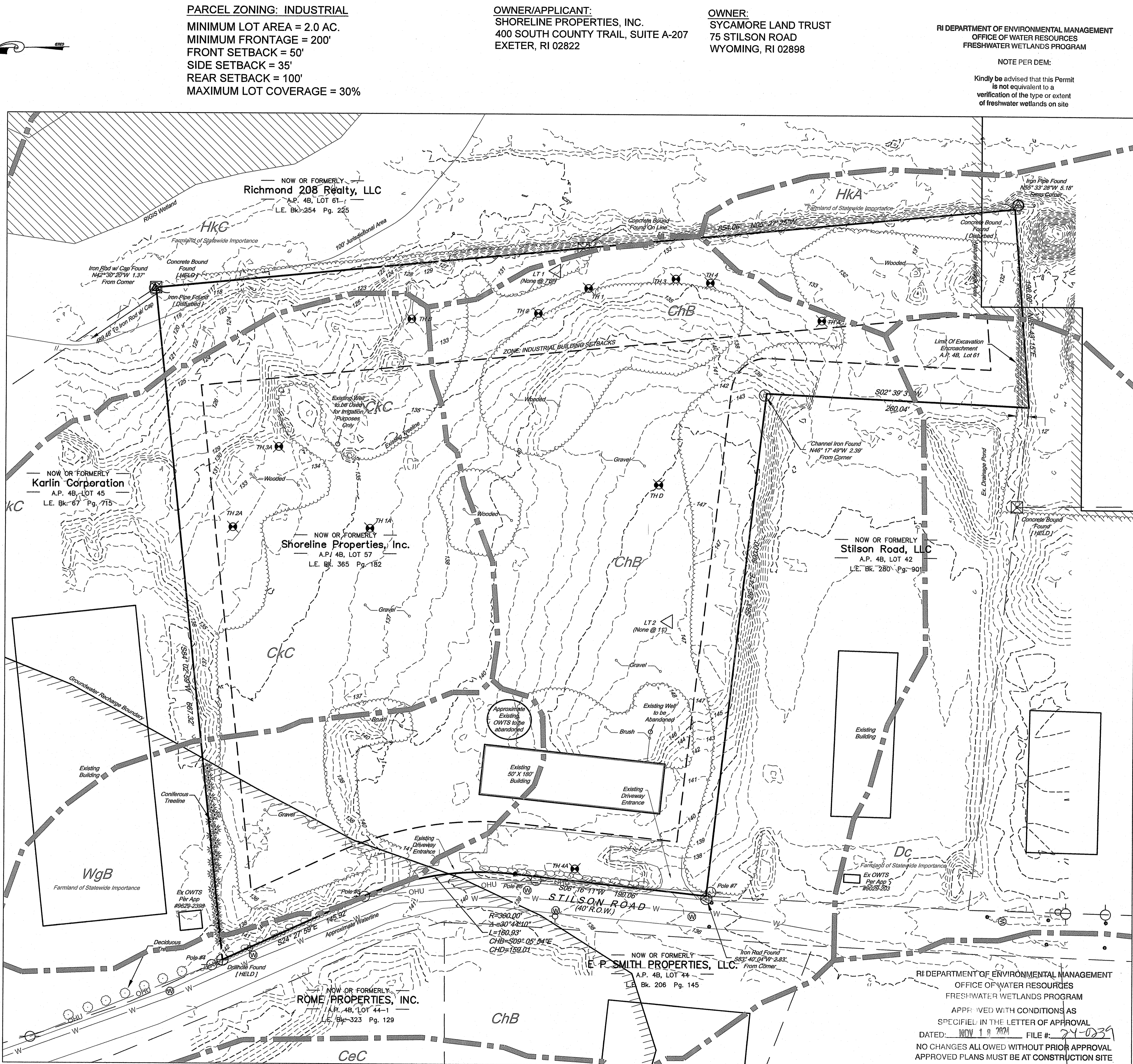
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:	MEASUREMENT SPECIFICATION:
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
TOPOGRAPHIC SURVEY	T-4

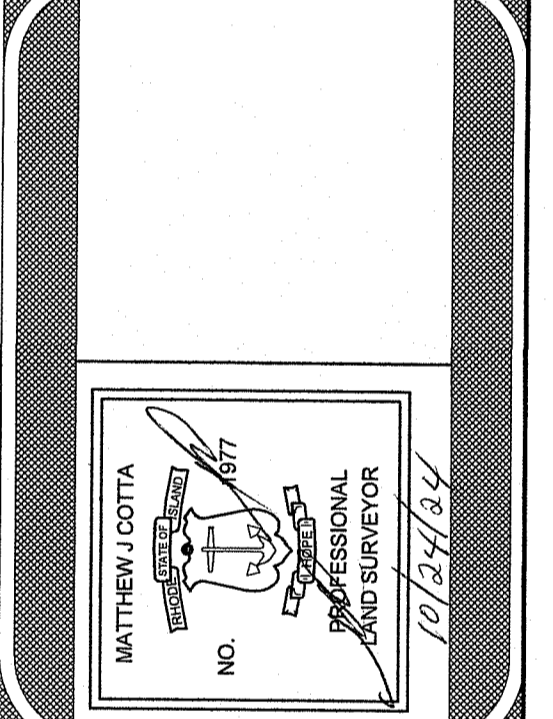
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO SHOW THE EXISTING CONDITIONS OF ASSESSOR'S PLAT 4B, LOT 57, ALONG WITH ALL EXISTING STRUCTURES AND MONUMENTATION. ALSO DEPICTED ARE EXISTING 1-FOOT CONTOURS PROVIDED BY SARDELLI SURVEY, LLC.

BY: MATTHEW J. COTTA PLS-1977
LS 000A453 COA
11/24/24



EXISTING CONDITIONS PLAN
FOR
STILSON TRADE CENTER
LOCATED AT
A.P. 4B, LOT 57
67 STILSON ROAD
RICHMOND, RHODE ISLAND

Drawn By: ADM	Checked By: MJC
Scale: 1" = 50'	Date: 08/19/2024
REVISIONS	
NO.	REVISION
1.	PER RIDEM COMMENTS
	BY DATE
	PJF 10/24/24



AMERICAN ENGINEERING, INC.
Professional Engineering & Land Surveying
400 South County Trail - Suite A 201
Exeter, Rhode Island 02822
DCoffa@AmericanEngineeringRI.com
Phone (401) 294-0990 / Fax (401) 294-3625

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

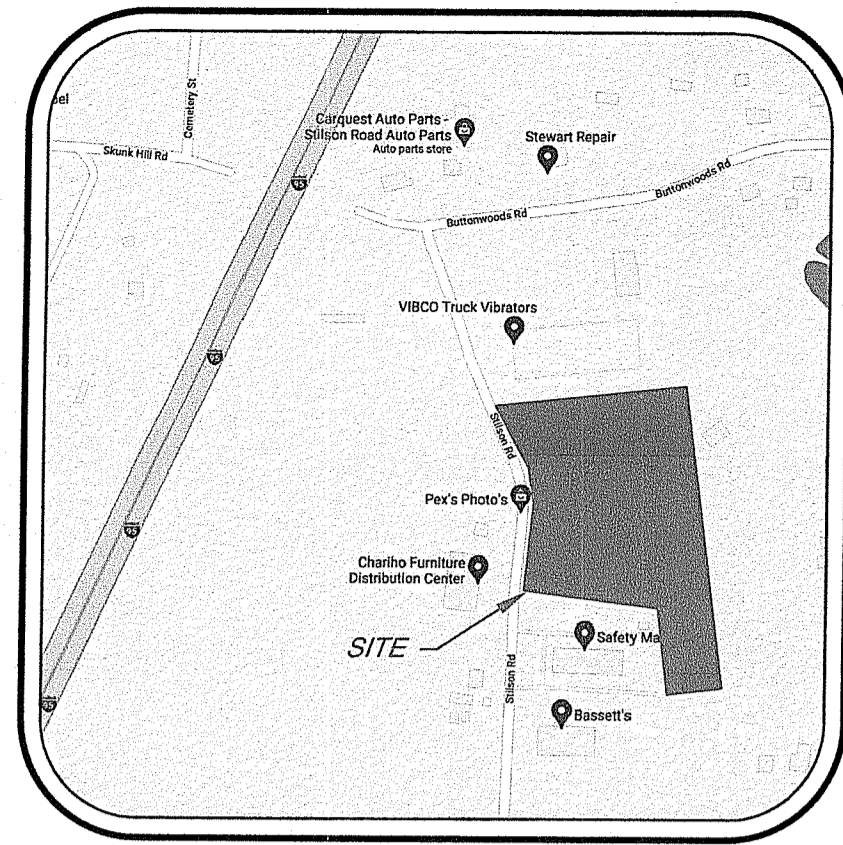
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL

DATE: NOV 19 2024 FILE #: 24-0239

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

THIS PLAN IS TO BE INDEXED UNDER THE FOLLOWING ROAD:
1. STILSON ROAD

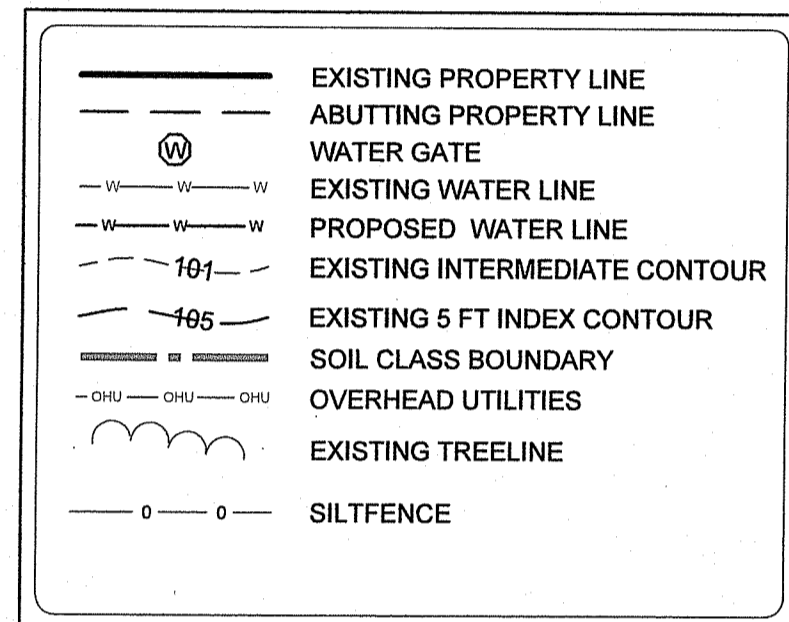
Sheet
OCT 28 2024
of 5 sheets
Drawing No. 121149



LOCUS MAP
NOT TO SCALE

BEING A.P. 4B, LOT 57
TOTAL AREA OF LOT = 9.01 AC

LEGEND



NOTES:

1. CONTOURS WERE PROVIDED BY SARDELLI SURVEY, LLC.
2. THERE ARE NO AREAS OF AGRICULTURAL USE ON SITE.
3. TREELINE LOCATION AND ABUTTING STRUCTURES TAKEN FROM ARIAL PHOTOGRAPHY, 2023.
4. NO HISTORIC CEMETERIES HAVE BEEN FOUND ON SITE.
5. NO NOTEWORTHY NATURAL, CULTURAL, HISTORIC, OR SCENIC FEATURES WERE FOUND ON OR ADJACENT TO THE SITE.
6. ONE 50' X 180' BUILDING EXISTS, FOUR ADDITIONAL 50' X 150' COMMERCIAL BUILDINGS ARE PROPOSED.
7. THE NUMBER OF PARKING SPACES REQUIRED IS 1 SPACE PER 500 SF OF FLOOR AREA.
FLOOR AREA PROPOSED = 39,000 SF
REQUIRED # OF SPACES = 39,000/500 = 78 SPACES
OF SPACES PROVIDED = 98 SPACES
FOR PROPOSED STRUCTURES
HANDICAP SPACES REQUIRED = 4
HANDICAP SPACES PROVIDED = 5
8. PROPOSED LIGHTING IS TO BE MOUNTED TO THE EXISTING AND PROPOSED BUILDINGS AND SHALL BE DARK SKY COMPLIANT. LIGHT SHALL NOT BE PERMITTED TO ILLUMINATE ADJACENT PROPERTIES.
9. PROPOSED UNDERGROUND UTILITY LINE DELINEATES THE LOCATION OF PROPOSED ELECTRIC, TELEPHONE, CABLE, FIRE ALARM, AND COMMUNICATION LINES.

SLEEVED BUILDING SEWER NOTE:

The sleeve shall be seamless, and it shall have a watertight seal that is fastened to the pipes with a stainless steel retractable clamp. The Building Sewer shall be sleeved within 25' of any drainage pipe & 10' of any water line.

TESTHOLE DATA (2229-1125)

TH ID	EG	SHWT	LEDGE
1	132.80	5'-4"	3" - 5'-11"
2	133.40	5'-2"	30" - 5'-2"
3	134.40	5'-9"	5'-6"
4	134.30	6'-9"	6'-6"
A	133.90	6'-9"	6'-6"
B	132.25	8'-0"	NONE*
D	148.75	8'-0"	5'-0"
1A	135.50	7'-6"	NONE*
2A	132.50	7'-6"	NONE*
3A	132.50	8'-6"	NONE*
4A	141.50	8'-0"	NONE*

*LEDGE NOT ENCOUNTERED
**SEE SOIL EVALUATION FORM FOR DETAILS

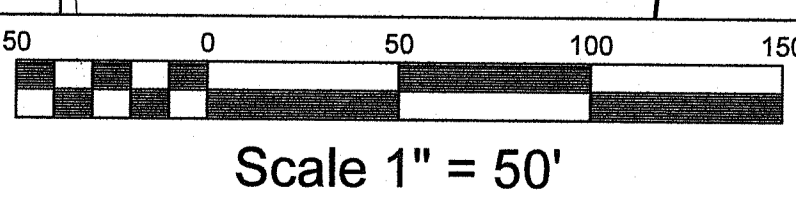
LEDGE TEST DATA

TH ID	EG	LEDGE
LT-1	132.00	NONE@ 7'-6"
LT-2	145.25	NONE@ 11'

PARCEL ZONING: INDUSTRIAL

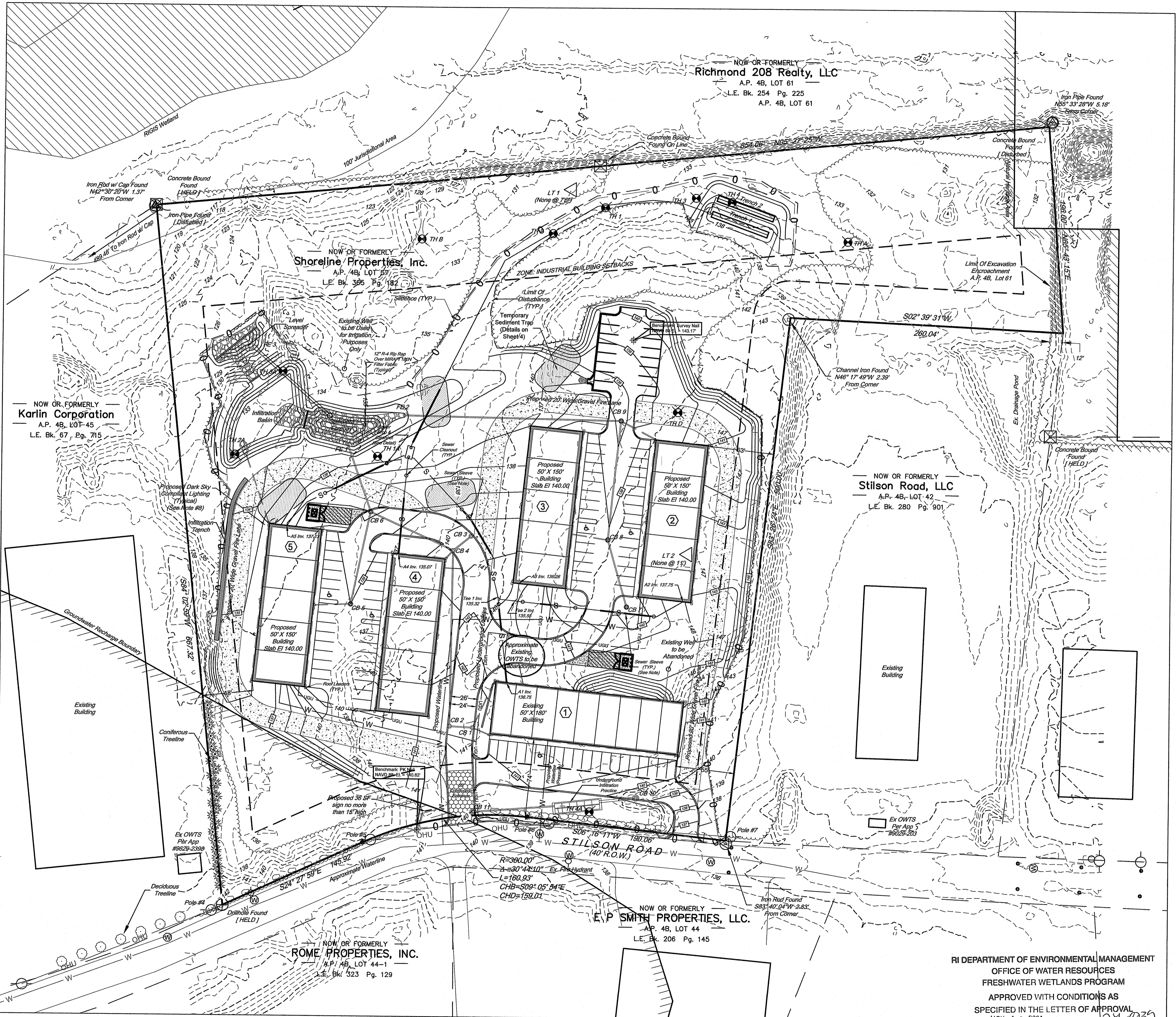
MINIMUM LOT AREA = 2.0 AC.
MINIMUM FRONTAGE = 200'
FRONT SETBACK = 50'
SIDE SETBACK = 35'
REAR SETBACK = 100'
MAXIMUM LOT COVERAGE = 30%

FEMA DETERMINATION
ZONE "X-UNSHADED" - AREA OF MINIMAL FLOODING
PANEL NO. - 44009C0068 J
REVISED - APRIL 3, 2020



OWNER/APPLICANT:
SHORELINE PROPERTIES, INC.
400 SOUTH COUNTY TRAIL, SUITE A-207
EXETER, RI 02822

OWNER:
SYCAMORE LAND TRUST
75 STILSON ROAD
WYOMING, RI 02898



PROPOSED DEVELOPMENT PLAN
FOR
STILSON TRADE CENTER
LOCATED AT
A.P. 4B, LOT 57
67 STILSON ROAD
RICHMOND, RHODE ISLAND

Checked By: PUF
Date: 08/19/2024

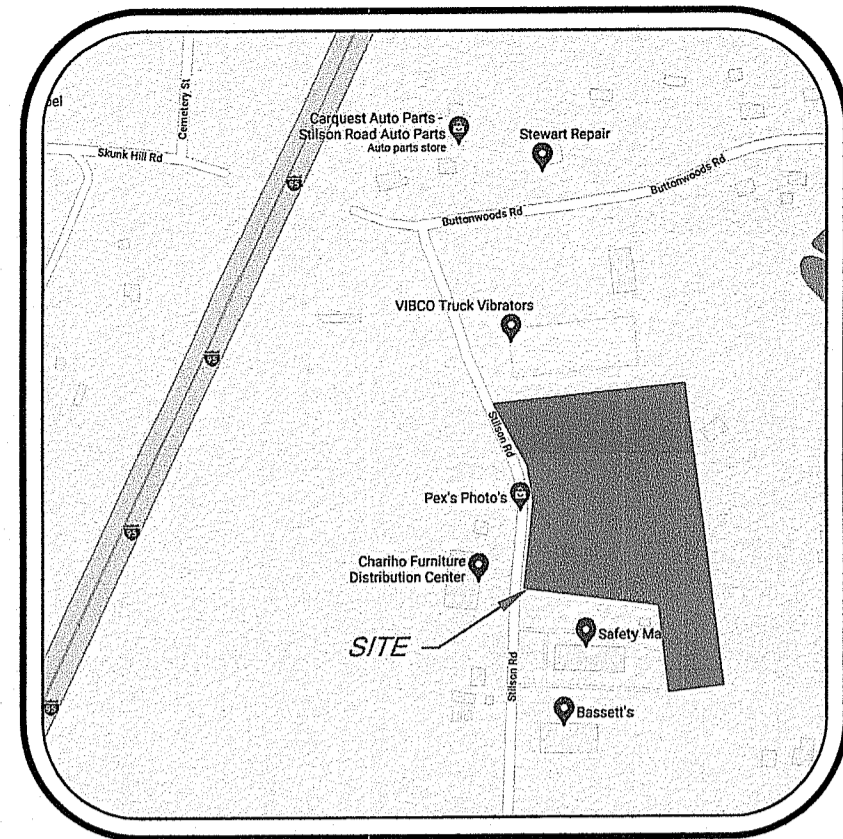
Drawn By: ADM
Scale: 1" = 50'

NO.	REVISION	DATE
1.	PER REVISION COMMENTS	08/19/2024

PATRICK J. FREEMAN
1925
REGISTERED PROFESSIONAL ENGINEER
10/24/24

AMERICAN ENGINEERING, INC.
Professional Engineering & Land Surveying
400 South County Trail - Suite A 201
Exeter, Rhode Island 02822
DCoffa@AmericanEngineeringRI.com
Phone (401) 294-4090 / Fax (401) 294-3625

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 18 2024 FILE # 2-1-0037
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



LOCUS MAP

NOT TO SCALE

BEING A.P. 4B, LOT 57
TOTAL AREA OF LOT = 9.01 AC

LEGEND

	EXISTING PROPERTY LINE
	ABUTTING PROPERTY LINE
	WATER GATE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING INTERMEDIATE CONTOUR
	EXISTING 5 FT INDEX CONTOUR
	SOIL CLASS BOUNDARY
	OVERHEAD UTILITIES
	EXISTING TREELINE
	SILTFENCE

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SLEEVED BUILDING SEWER NOTE:

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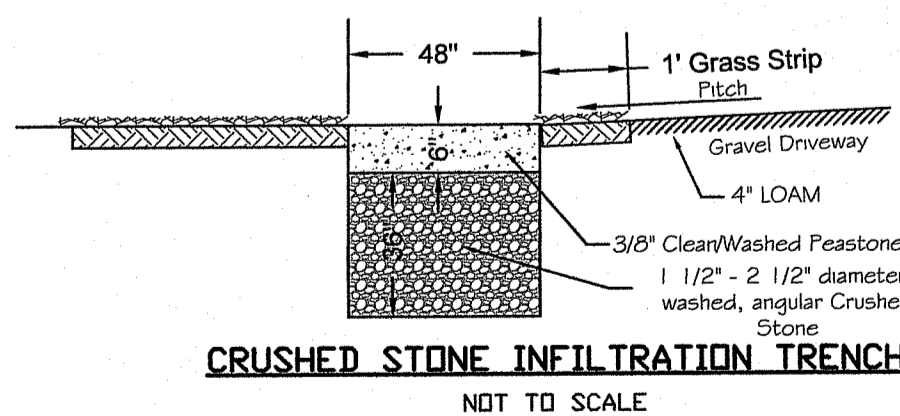
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3A	132.50	8'-8"	NONE*
4A	141.50	8'-0"	NONE*

*LEDGE NOT ENCOUNTERED
**SEE SOIL EVALUATION FORM FOR DETAILS

LEDGE TEST DATA

TH ID	EG	LEDGE
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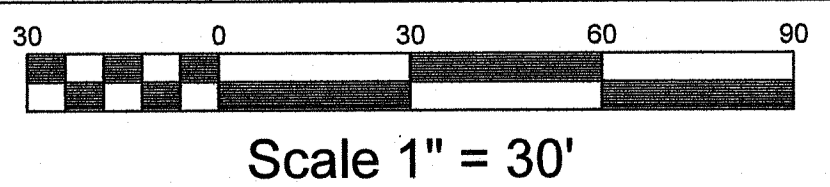
CRUSHED STONE INFILTRATION TRENCH
NOT TO SCALE

INFILTRATION TRENCH MAINTENANCE NOTES:
1. THE PEASTONE DIAPHRAGM SHALL BE MAINTAINED ON A CONTINUAL BASIS, AS NEEDED, ANY OBSERVED CLOGGING OF THE SURFACE SHALL BE REIFIED IN A TIMELY MANNER.
2. THE PROPOSED INFILTRATION TRENCH SHALL BE INSPECTED ANNUALLY TO ENSURE THAT DESIGN INFILTRATION RATES ARE BEING MET.
3. IF THE TRENCH FAILS TO INFILTRATE STORMWATER RUNOFF WITHIN 2-3 DAYS FOLLOWING A STORM EVENT, THE STONE WILL NEED TO BE REMOVED, ANY SILT OR DEBRIS REMOVED TO NATIVE SOIL, AND THE STONE REPLACED TO THE ORIGINAL DESIGN SPECIFICATIONS.

STONE TRENCH WATER QUALITY CALCULATIONS:
PROPOSED GRAVEL DRIVEWAY AREA TO BE TREATED = 8,101 s.f.
8,101 s.f. X 1" = 8101 C.F. REQUIRED
158' Long Trench X 4' Wide X 3.5' Deep X 33% Voids = 730 C.F. PROVIDED

FEMA DETERMINATION
ZONE "X-UNSHADED" - AREA OF MINIMAL FLOODING
PANEL NO. - 44009C0068 J
REVISED - APRIL 3, 2020

DESIGN CALCULATIONS:
78-Employee Office Park @ 15/Employee = 1170 gal/day
Using Testhole #3 - Soil Category 6 - Loading Rate Factor = 0.61
Required: 1170/0.61 = 1918 s.f.
Provided: 112' of GST 6212 @ 17.5 s.f./l.f. = 1,960 s.f.

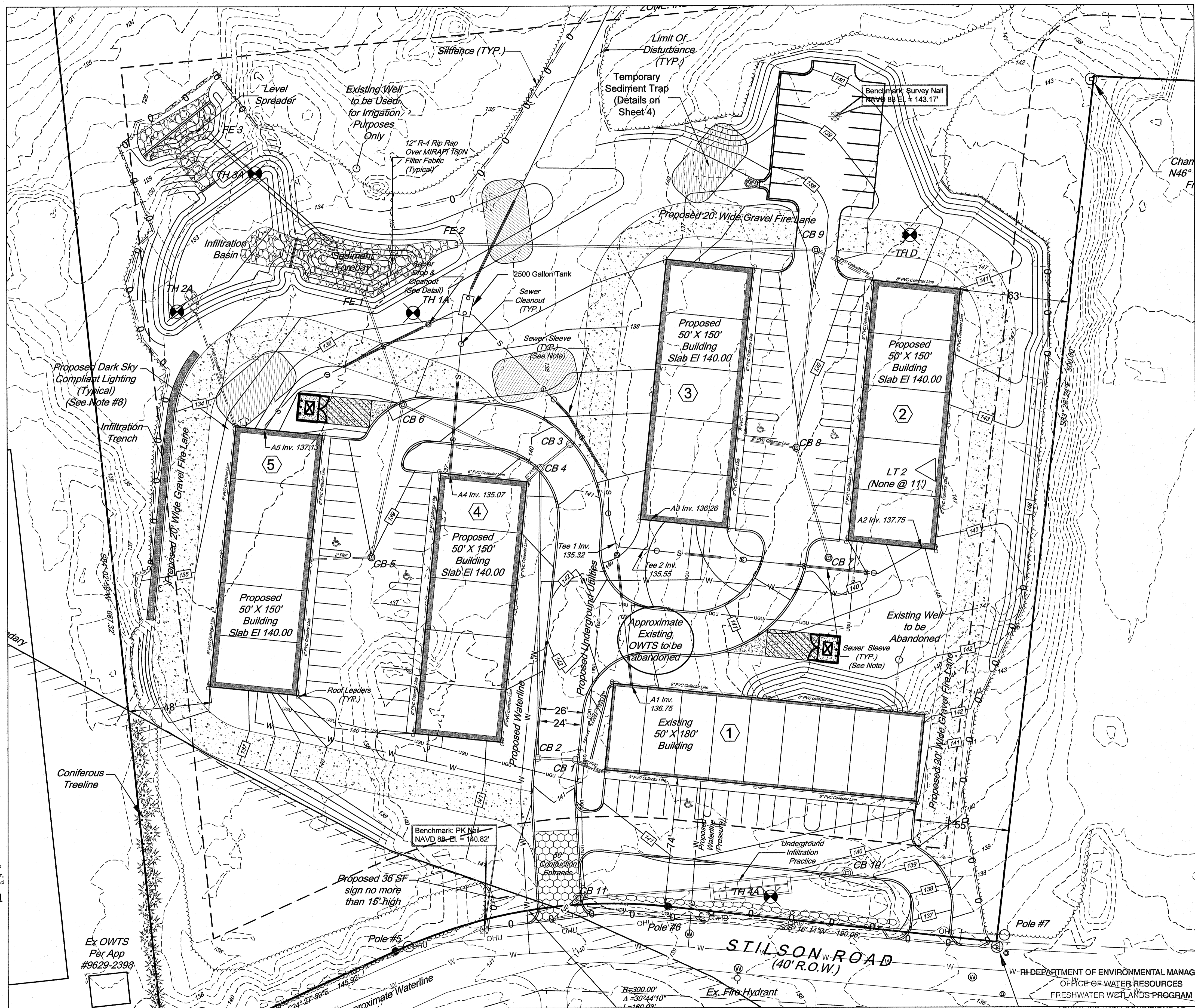


Collector Line Note:
All roof leader collector lines underneath paved and gravel areas to be schedule 40 PVC.

PARCEL ZONING: INDUSTRIAL
MINIMUM LOT AREA = 2.0 AC.
MINIMUM FRONTAGE = 200'
FRONT SETBACK = 50'
SIDE SETBACK = 35'
REAR SETBACK = 100'
MAXIMUM LOT COVERAGE = 30%

OWNER/APPLICANT:
SHORELINE PROPERTIES, INC.
400 SOUTH COUNTY TRAIL, SUITE A-207
EXETER, RI 02822

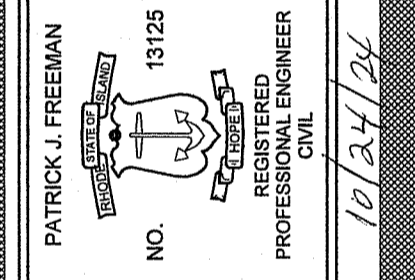
OWNER:
SYCAMORE LAND TRUST
75 STILSON ROAD
WYOMING, RI 02898



PROPOSED DEVELOPMENT PLAN
FOR
STILSON TRADE CENTER
LOCATED AT
A.P. 4B, LOT 57
67 STILSON ROAD
RICHMOND, RHODE ISLAND

Drawn By: **ADM** Checked By: **PJF** Date: **08/19/2024**
Scale: **1" = 30'**

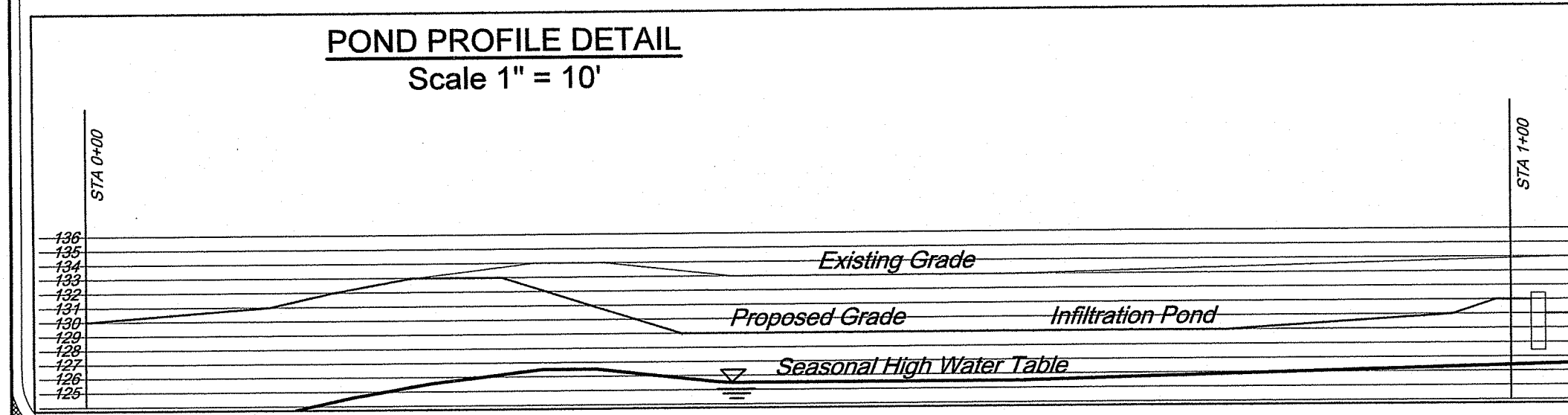
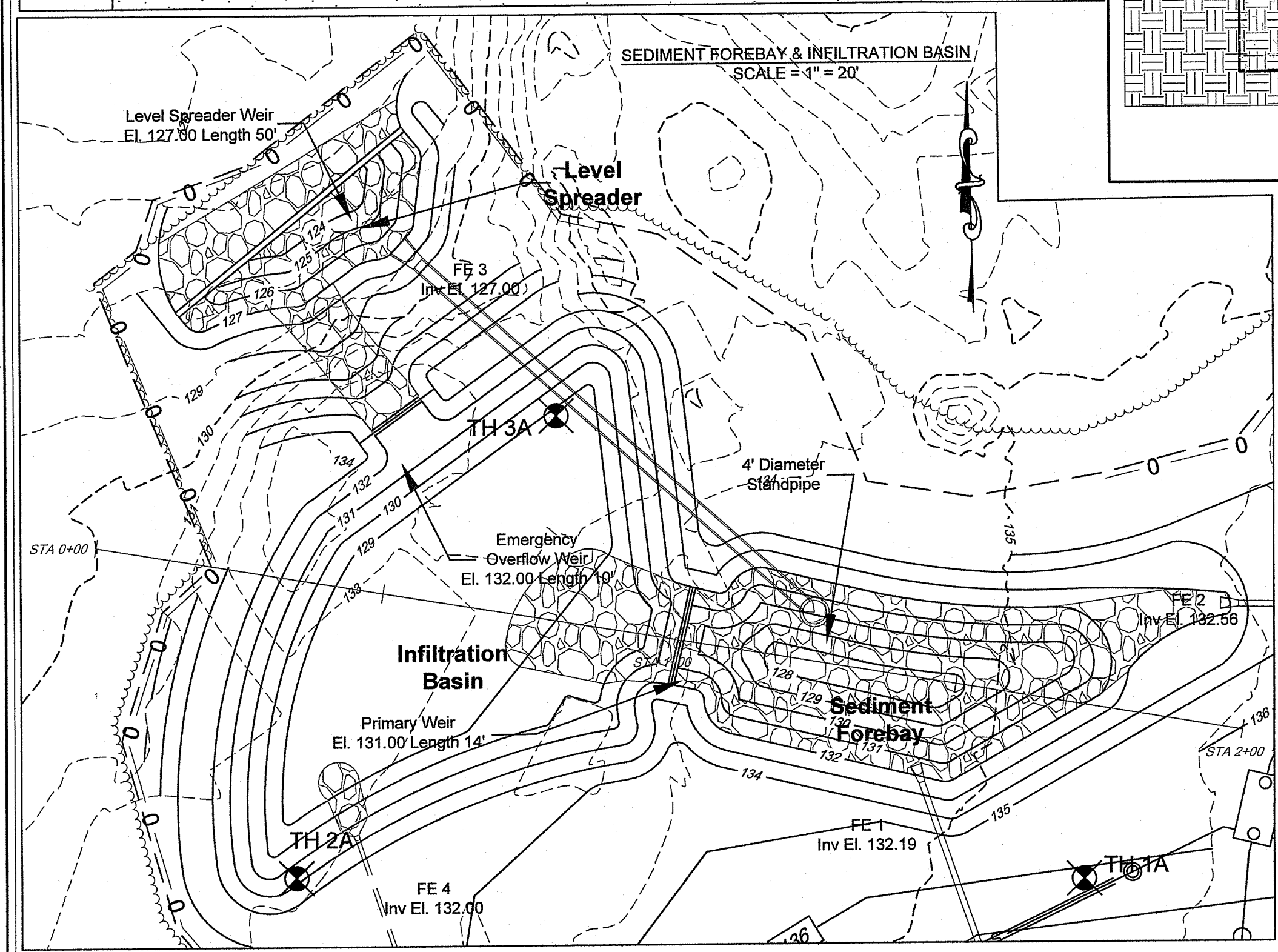
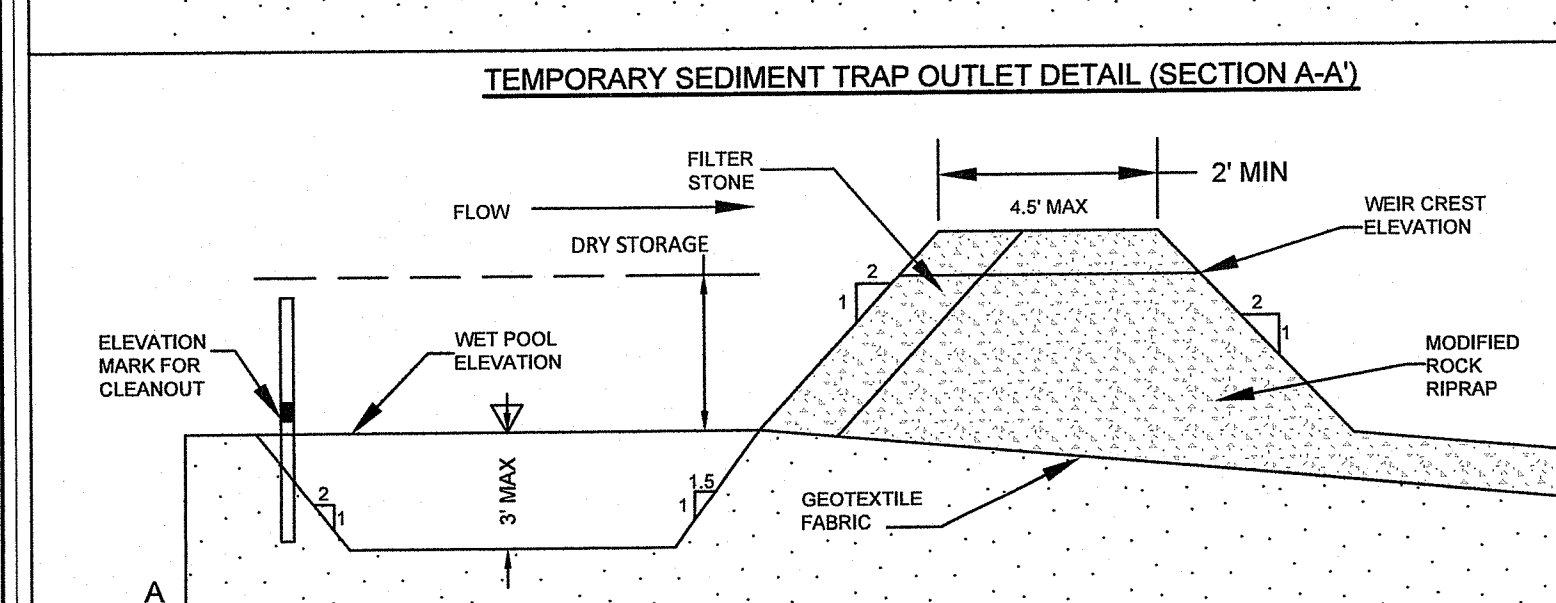
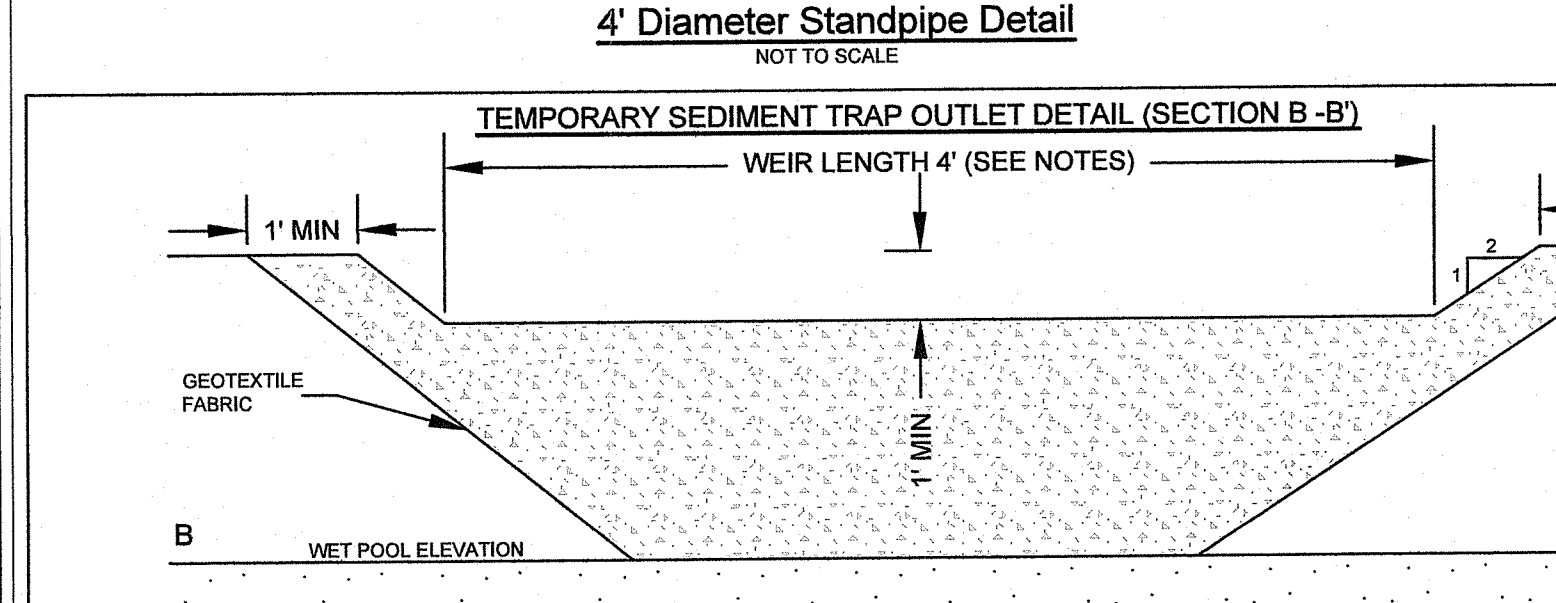
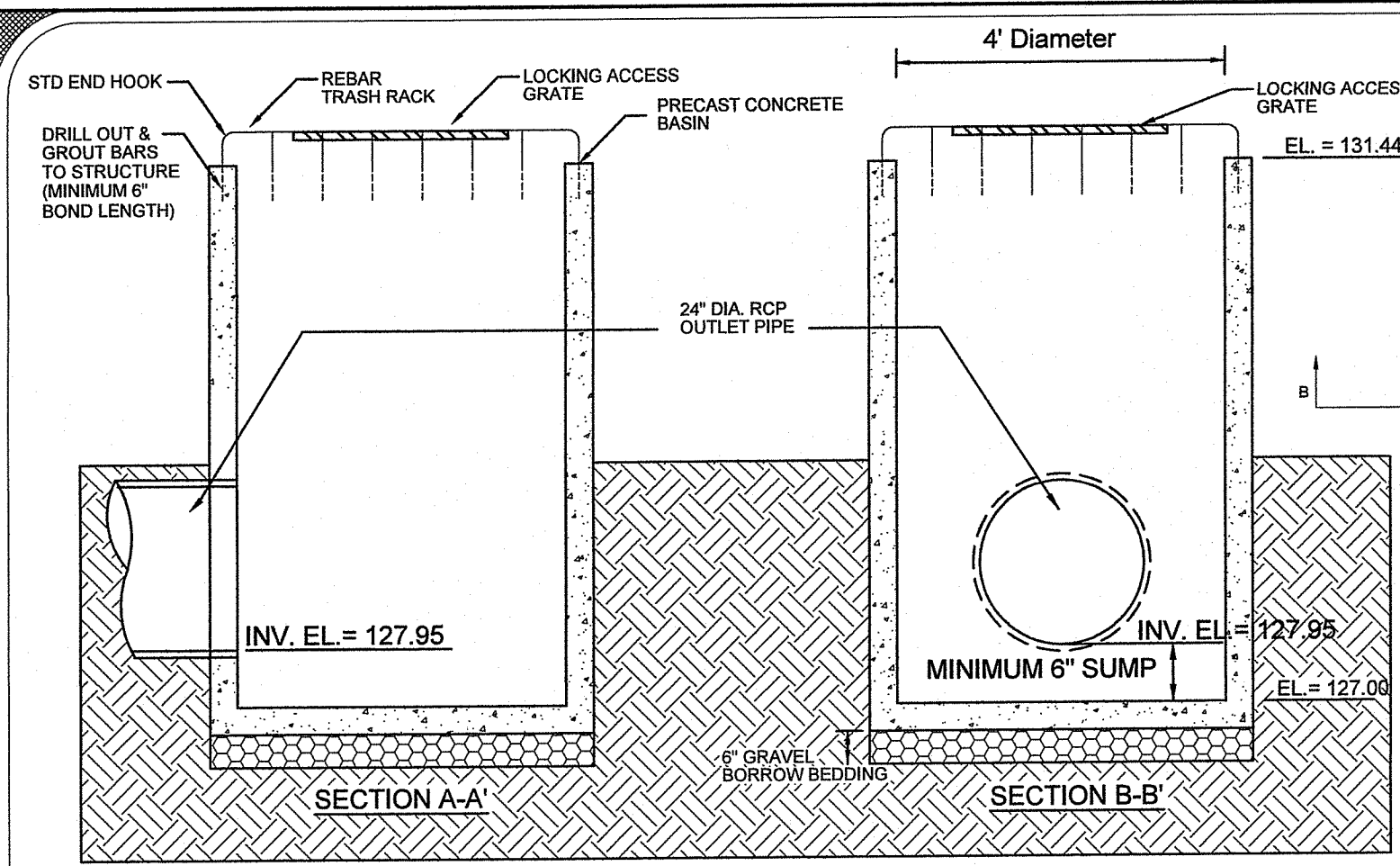
NO.	REVISION	DATE
1.	PER RIDER COMMENTS	10/24/24



AMERICAN ENGINEERING, INC.
Professional Engineering & Land Surveying
400 South County Trail - Suite A 201
Exeter, Rhode Island 02822
DCoffa@AmericanEngineeringRI.com
Phone (401) 294-4090 / Fax (401) 294-3625

Sheet **3** of **5** sheets
Drawing No. **121149**

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: **10/18/2024** FILE #: **21-025**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

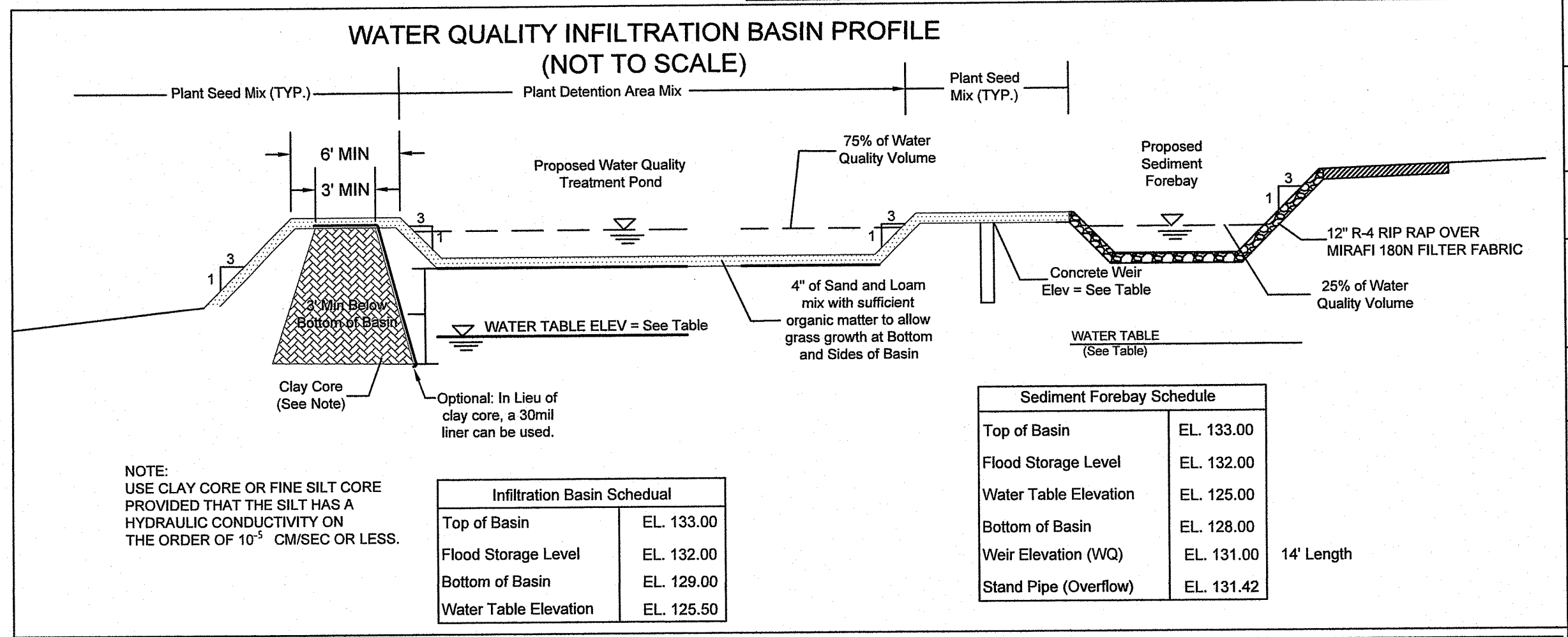
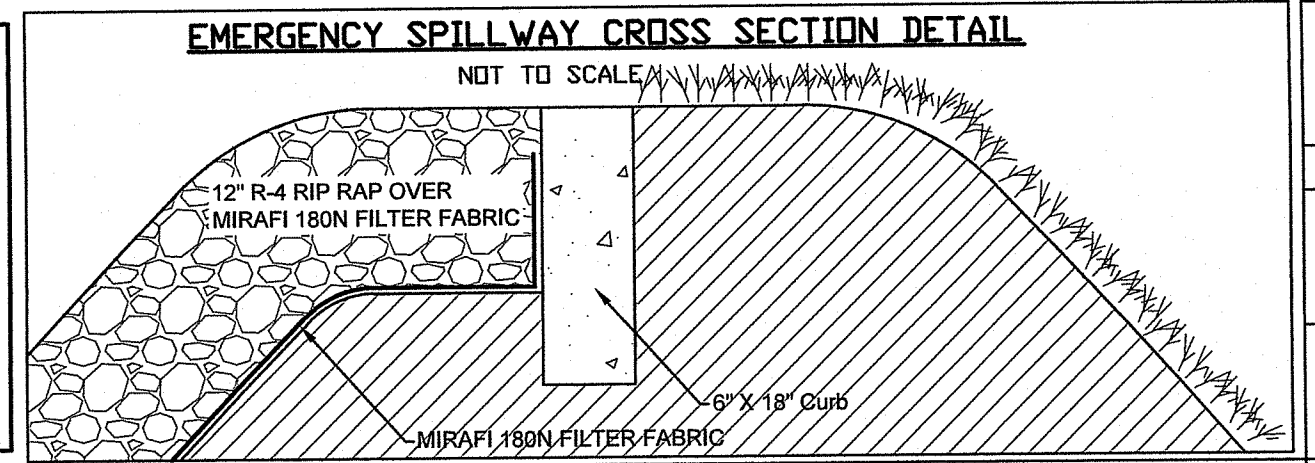
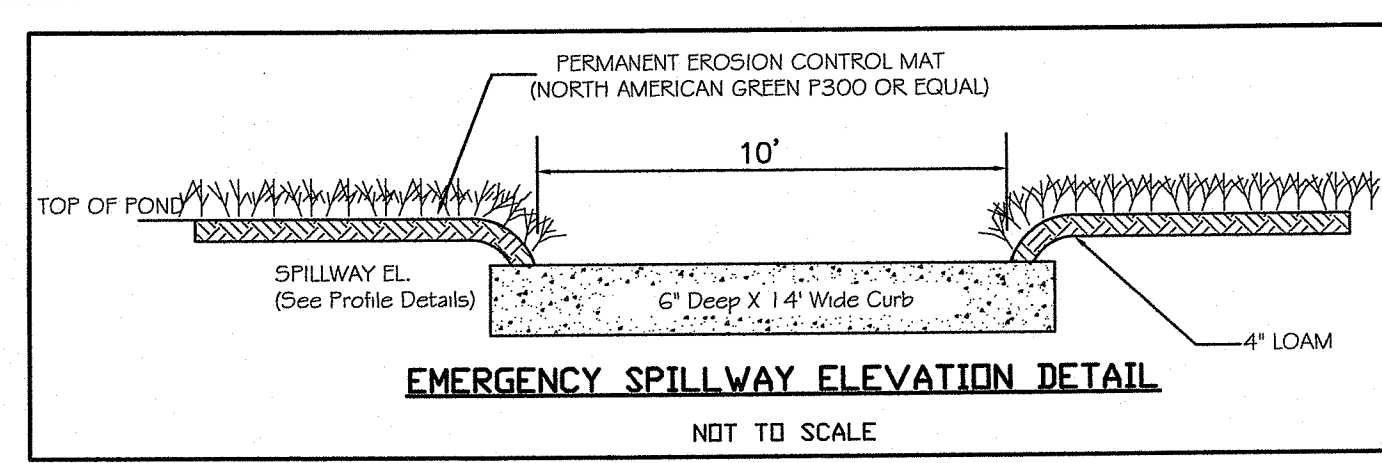


SEDIMENT TRAP SIZING CALCULATION;
Sediment traps have been sized for 1 acre of disturbance.
Volume Required = 1 Acre X 1" X 43,560 sf/acre X 1/12 in/ft = 3,630 cf
Wet Volume required = 3,630cf/2 = 1,815 cf
Dry Volume required = 3,630cf/2 = 1,815 cf

Area of Base of Wet Volume = 728 sf
Area of Top of Wet Volume = 1,254 sf
Wet Volume Provided = (1,254+728)/2 X 2' (Depth) = 1,982 cf

Area of Base of Dry Volume = 1,254 sf
Area of Top of Dry Volume = 1,714 sf
Dry Volume Provided = (1,714 + 1,254)/2 X 1.5' (Depth) = 2,226 cf

Area of Top of Pond (1' above weir elevation) = 2,052 sf
Total Volume Provided = 2,226cf + 1,982cf = 4,208 cf

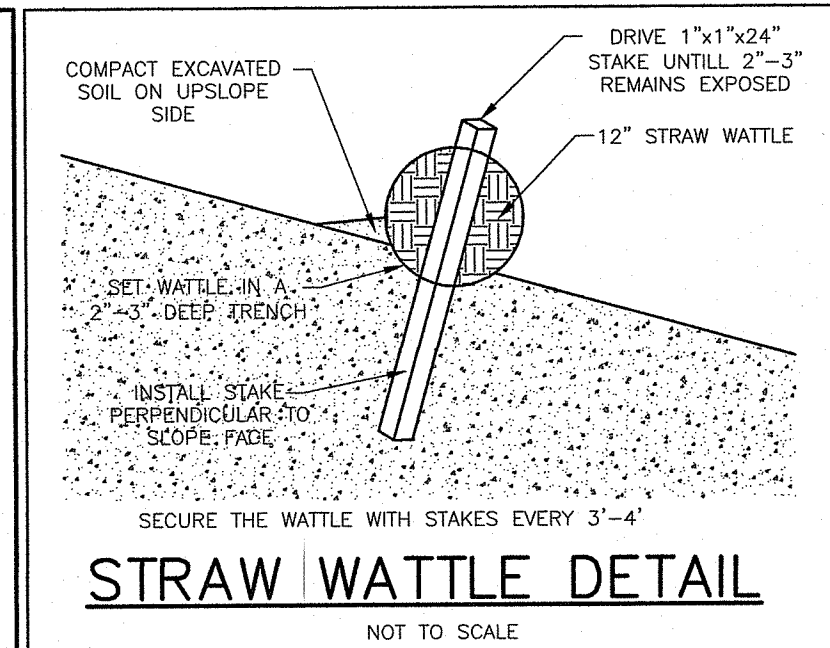
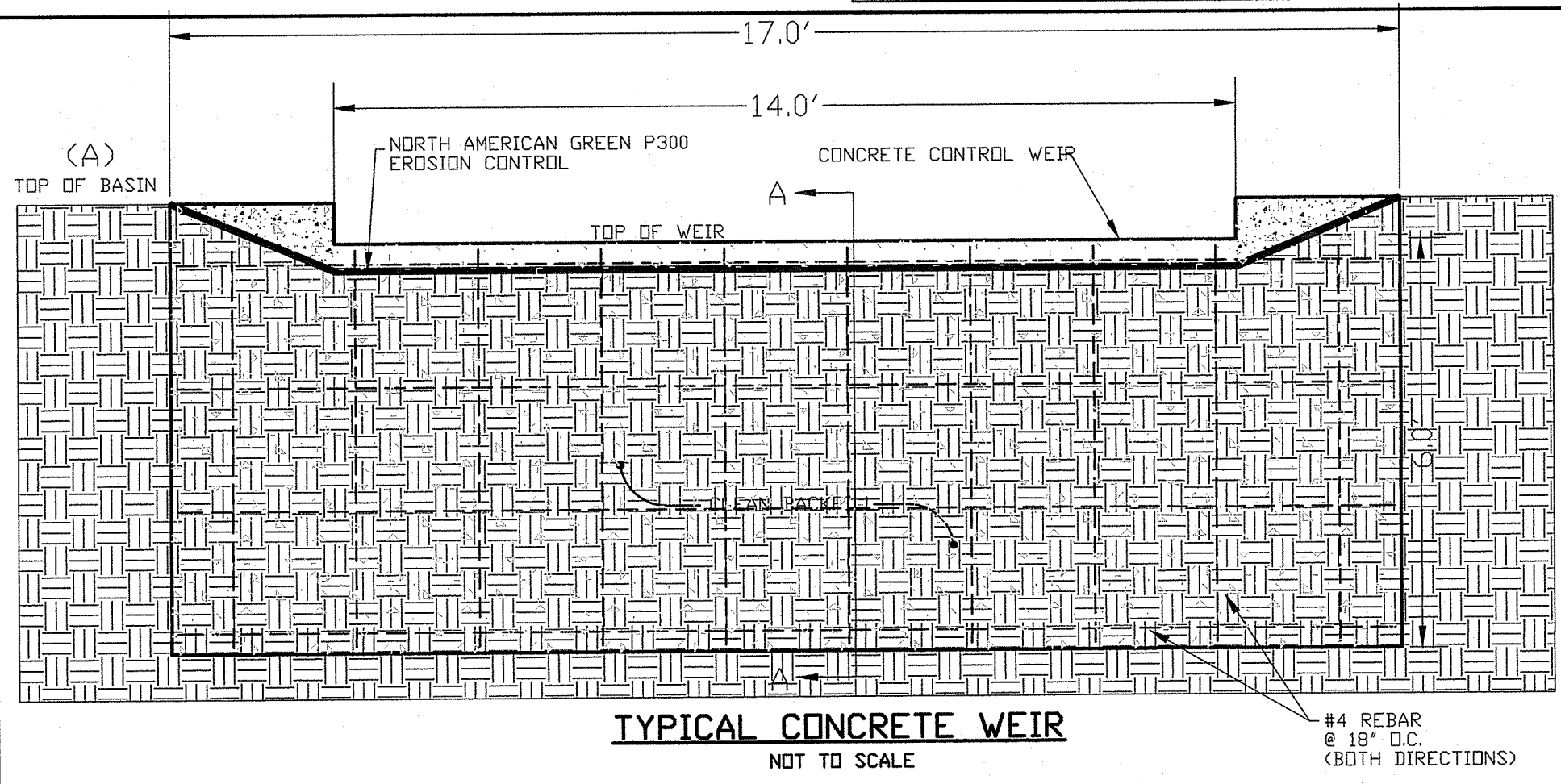


Infiltration Basin Schedule

Top of Basin	EL. 133.00
Flood Storage Level	EL. 132.00
Bottom of Basin	EL. 129.00
Water Table Elevation	EL. 125.50

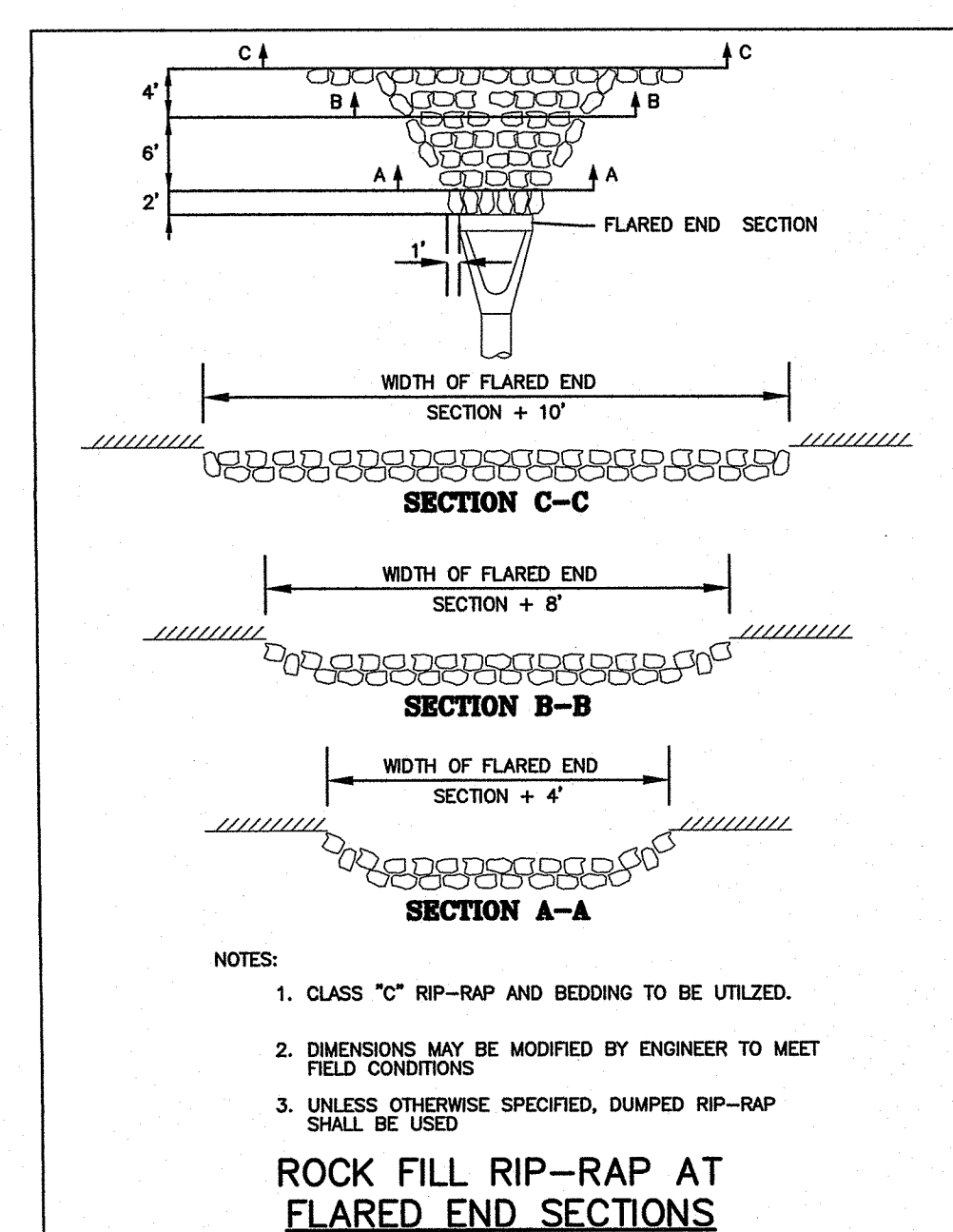
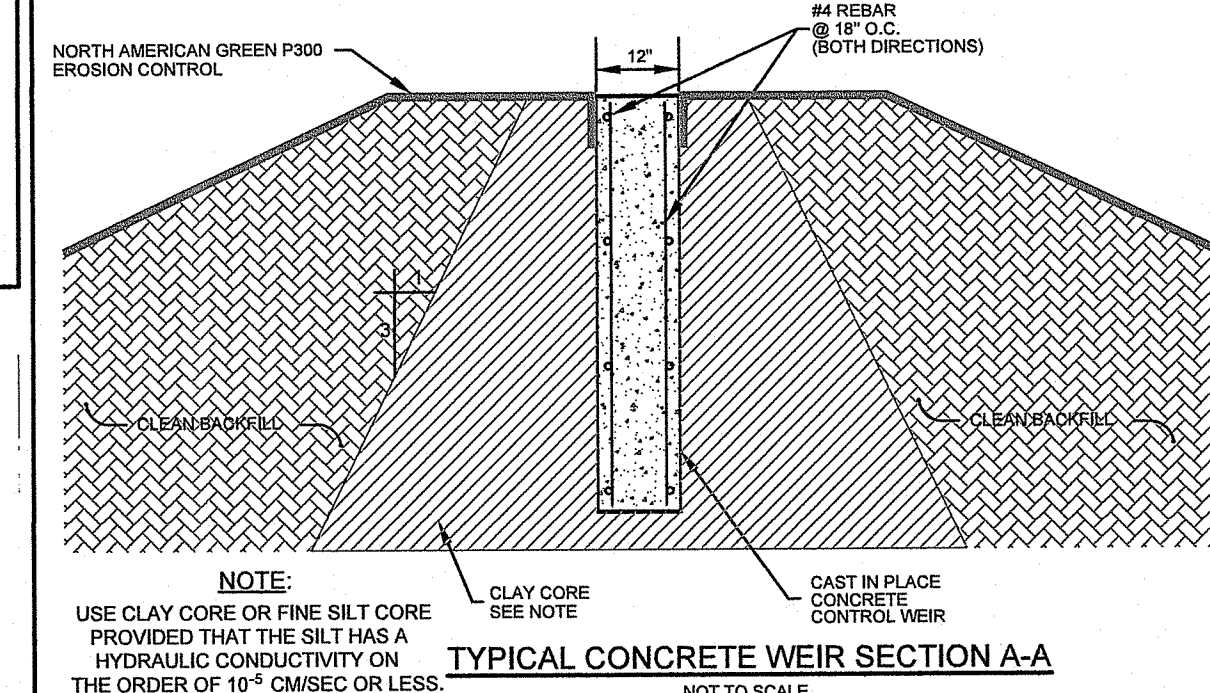
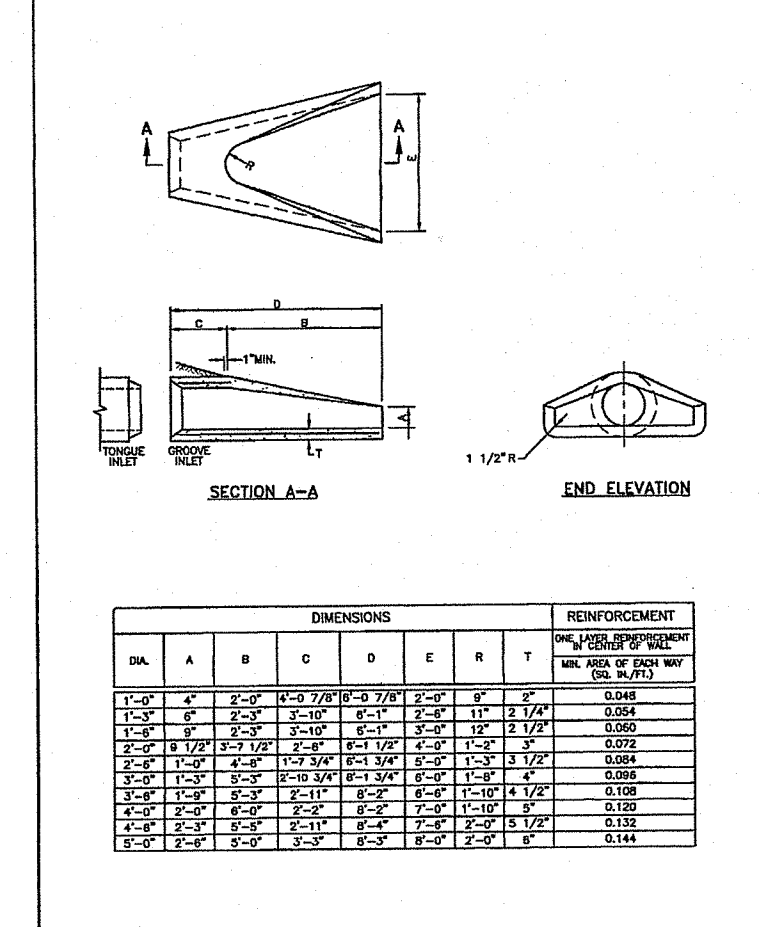
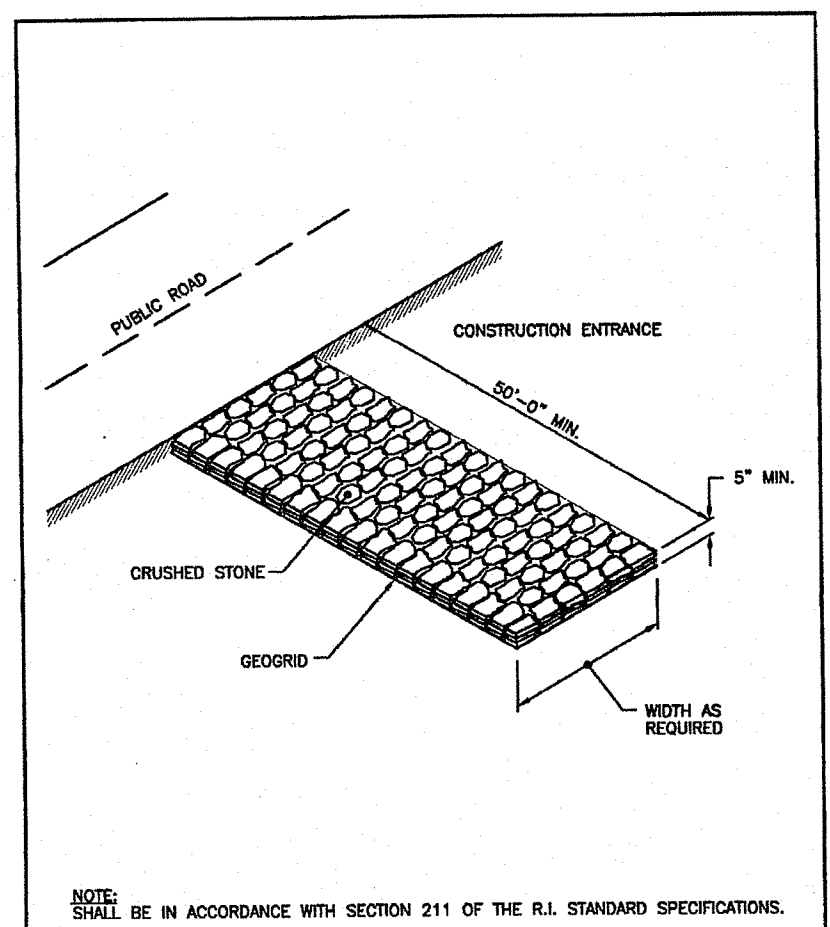
Sediment Forebay Schedule

Top of Basin	EL. 133.00
Flood Storage Level	EL. 132.00
Water Table Elevation	EL. 125.00
Bottom of Basin	EL. 128.00
Weir Elevation (WQ)	EL. 131.00
Stand Pipe (Overflow)	EL. 131.42

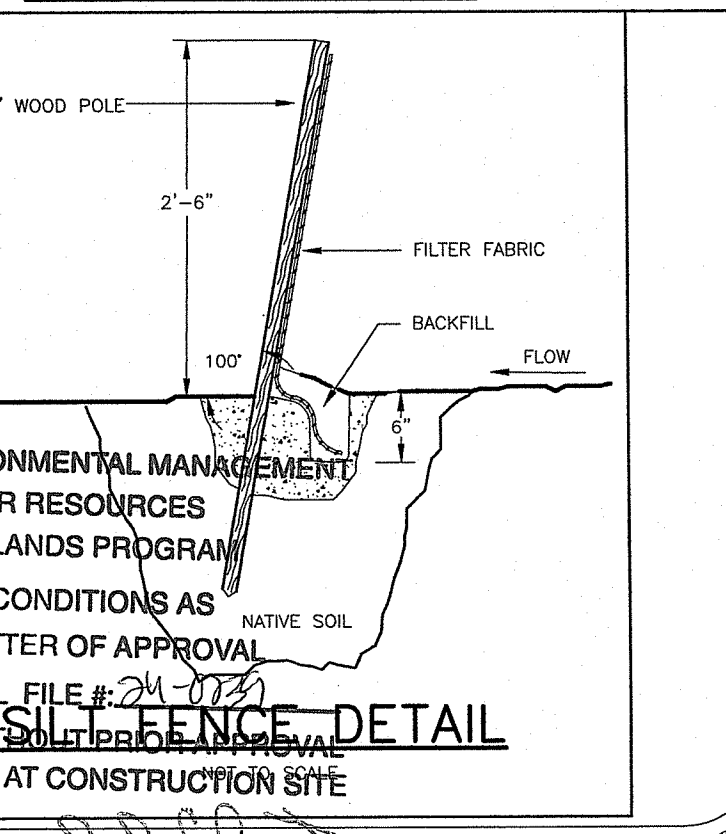


Pipe Table

Pipe Name	Size	Length	Slope	Inv. In	Inv. Out
CB1-CB2	12"	18'	1.0%	138.00	137.82
CB2-CB4	12"	162'	1.0%	137.72	136.10
CB3-CB4	12"	18'	3.0%	136.64	136.10
CB4-CB6	12"	83'	1.5%	136.00	134.75
CB5-CB6	12"	86'	1.2%	135.75	134.75
CB8-FE1	15"	64'	3.6%	134.50	132.19
CB7-CB8	12"	62'	1.0%	136.65	136.03
CB8-CB9	12"	110'	1.0%	135.93	134.83
CB9-FE2	15"	202'	1.0%	134.58	132.56
CB10-U.I.P	24"	32'	1.0%	135.33	135.01
CB11-U.I.P	12"	75'	1.0%	137.08	136.33
4' DS-FE3	24"	95'	1.0%	127.95	127.00



- NOTES:**
- CLASS "C" RIP-RAP AND BEDDING TO BE UTILIZED.
 - DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
 - UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.



REFER TO THE "SOIL EROSION AND SEDIMENT CONTROL PLAN" FOR GUIDANCE ON SEQUENCING OF CONSTRUCTION ACTIVITY AND EROSION CONTROL MEASURES

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: NOV 18 2024
NO CHANGES ALLOWED WITHOUT THE WRITTEN APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

FILE # 24-0724

NO. 13125

DATE 10/24/24

BY P.J.F.

PER RIDEM COMMENTS

NO. 1

DATE 08/19/2024

CHECKED BY: P.J.F.

DATE 08/19/2024

SCALE: AS SHOWN

NO. 1

DATE 08/19/2024

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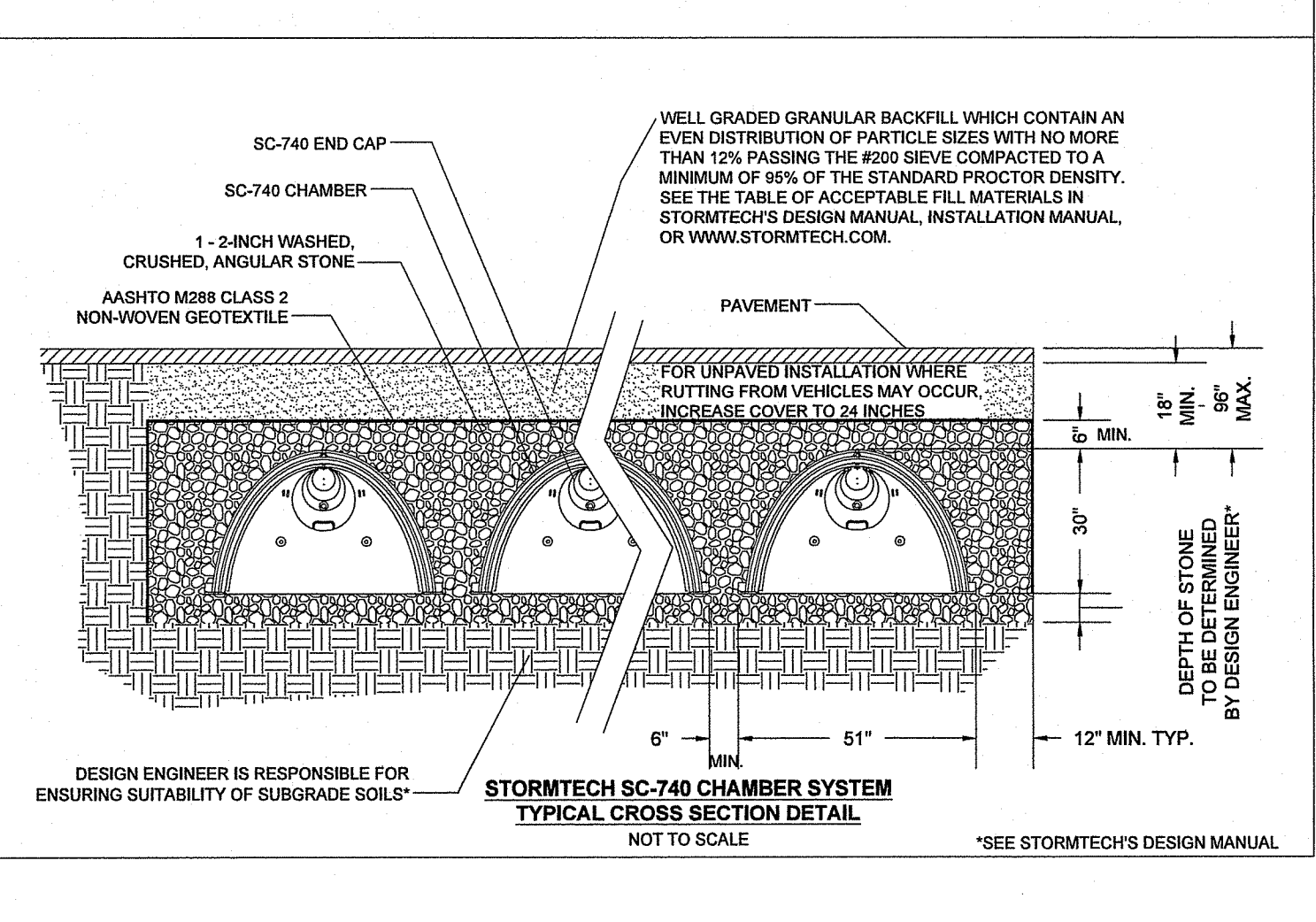
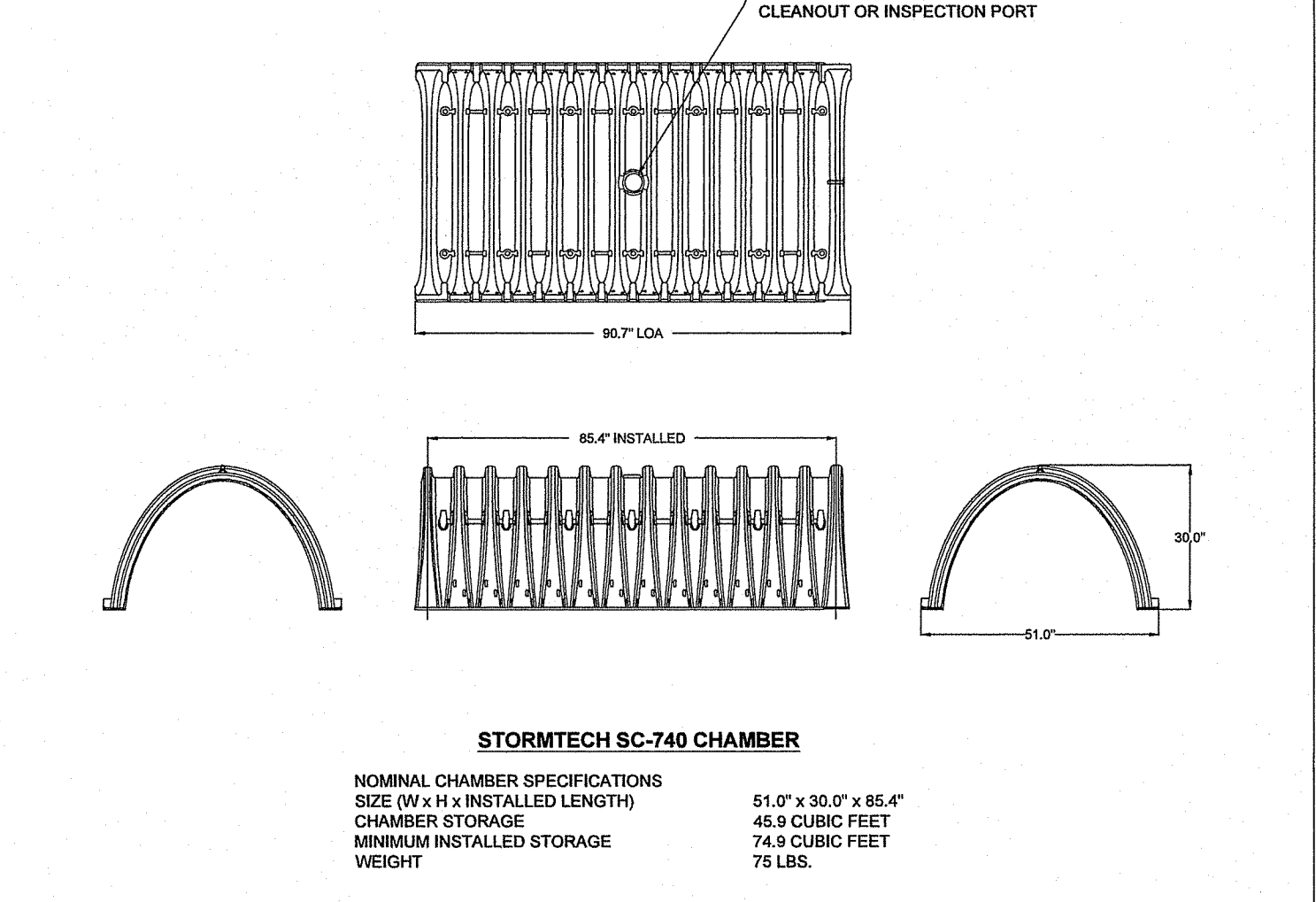
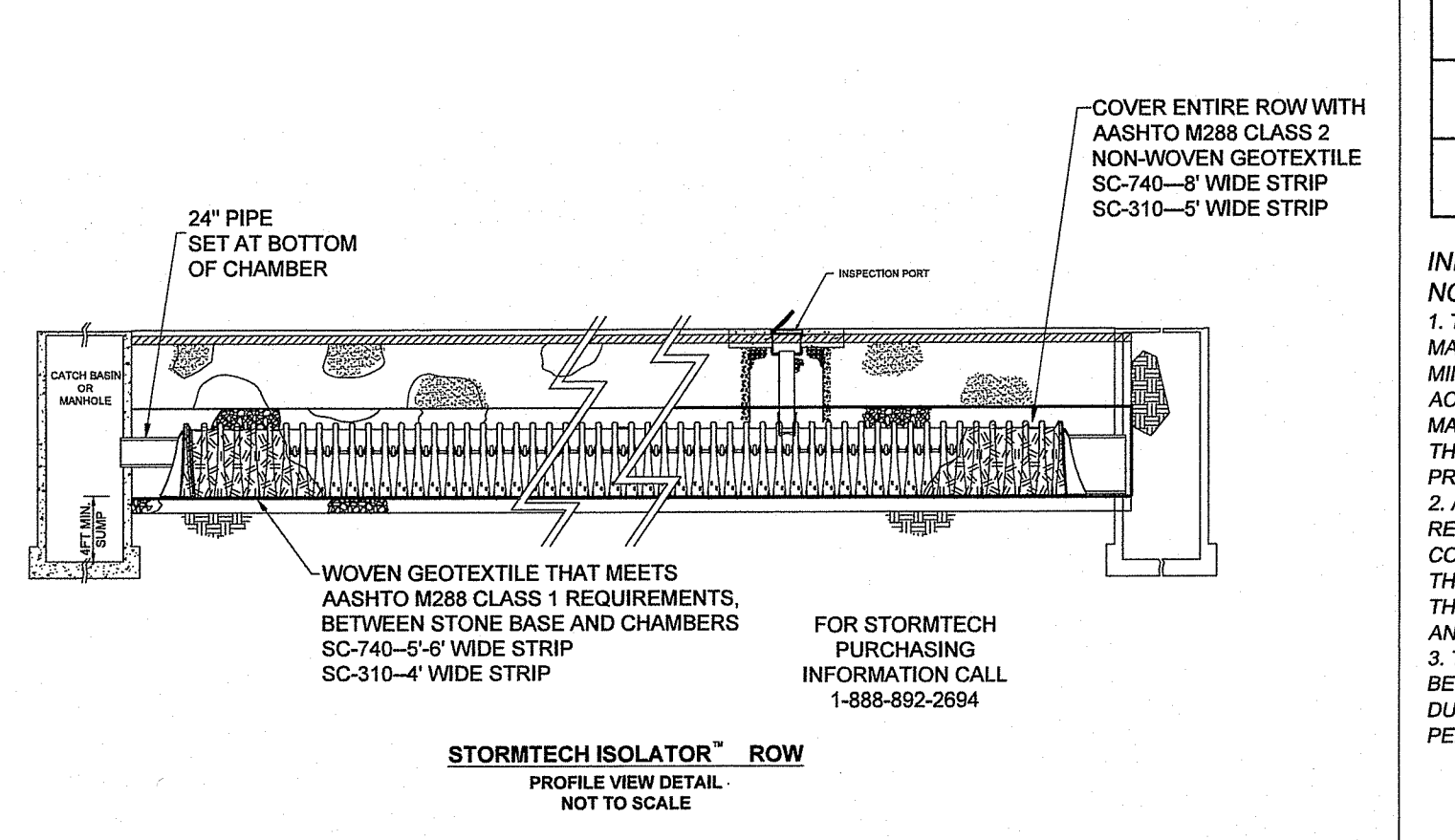
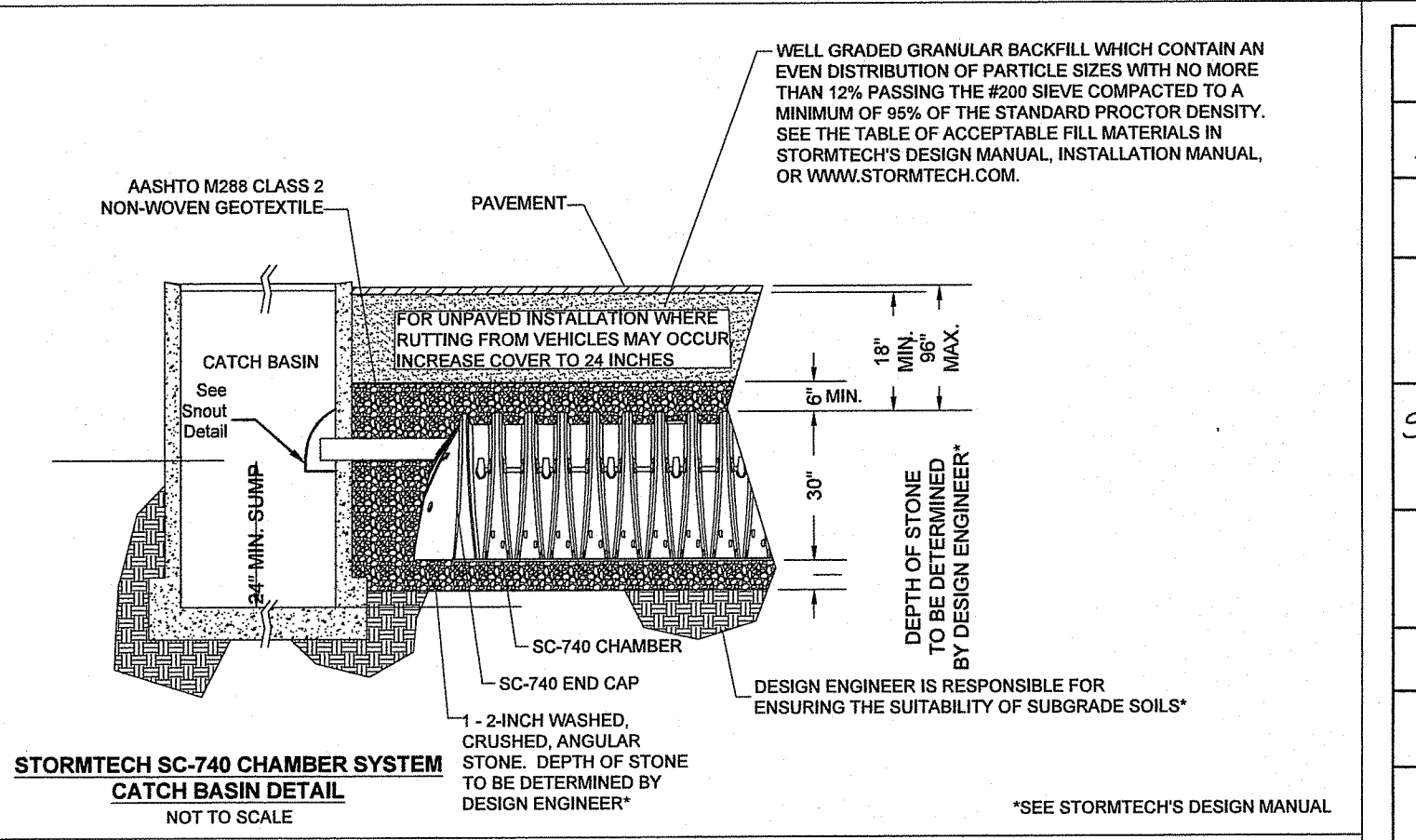
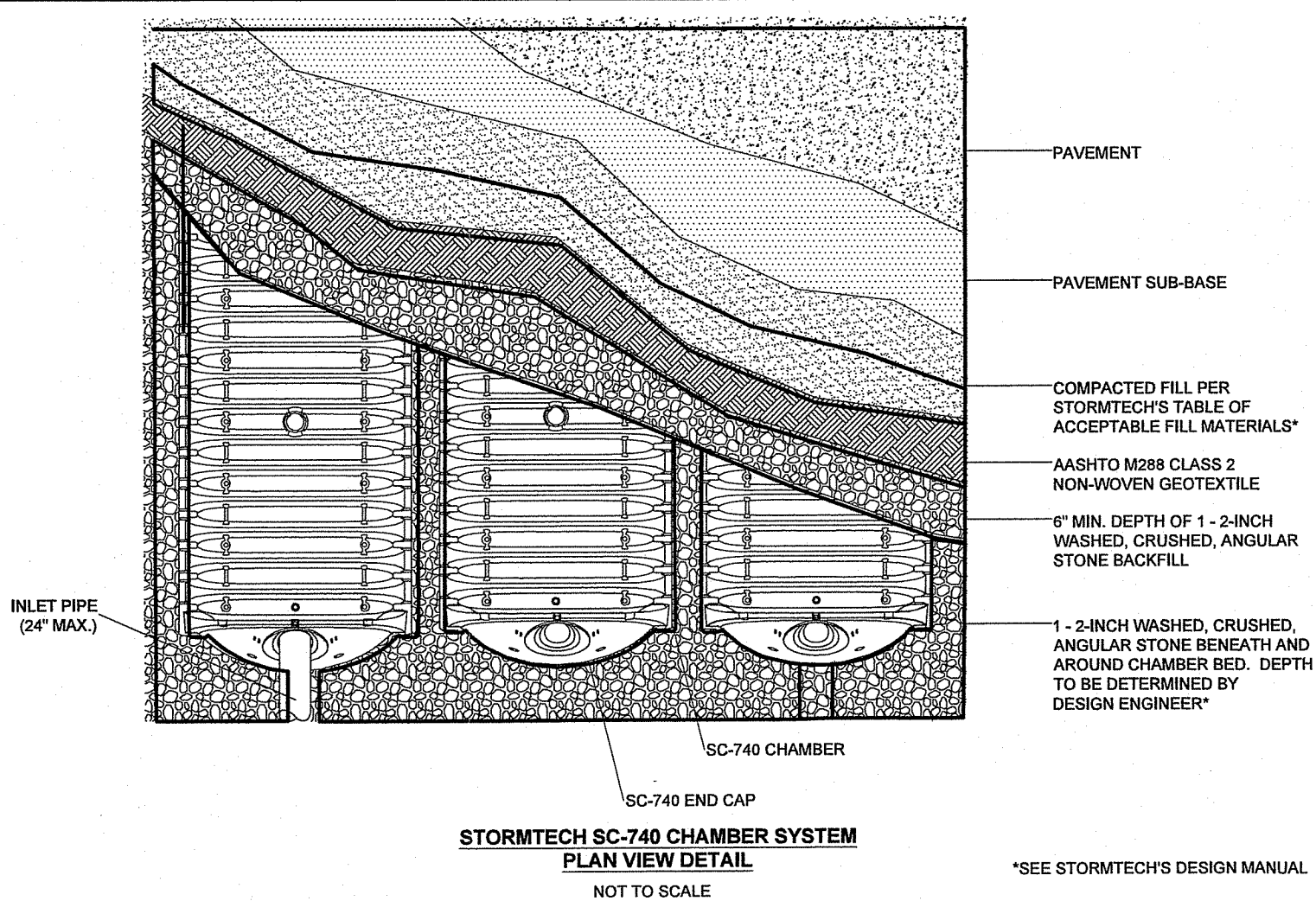
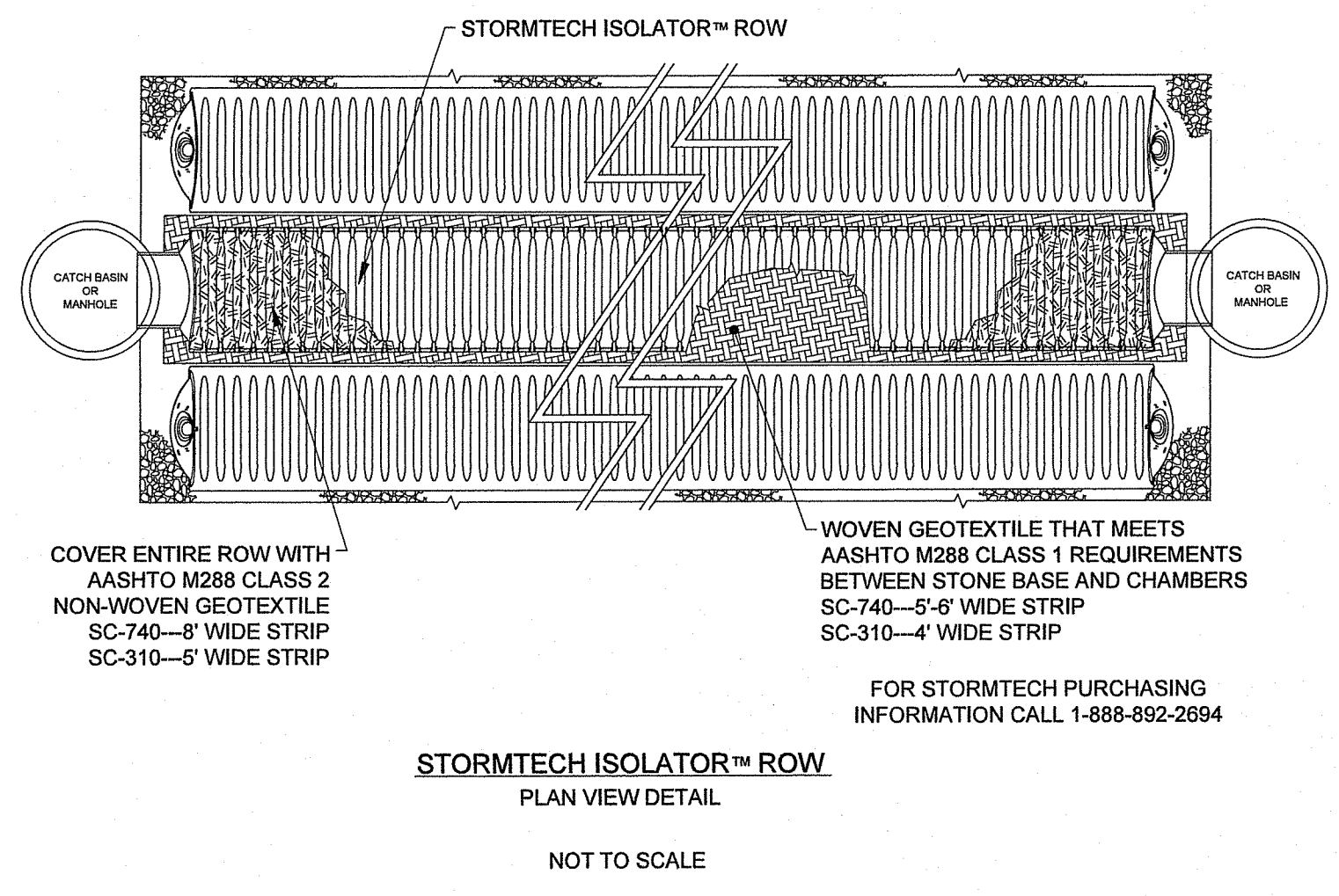
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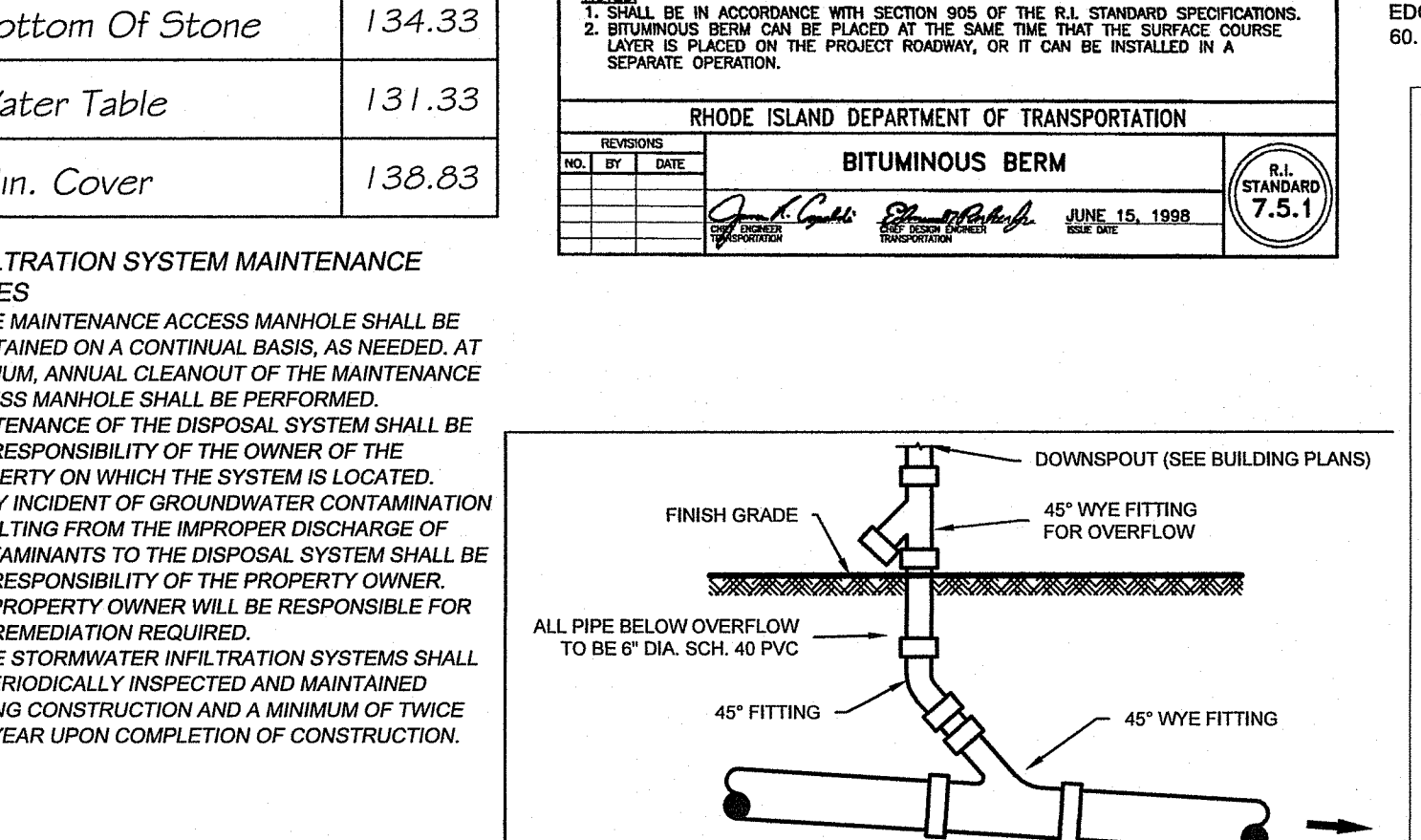
PER RIDEM COMMENTS

NO. 1

DATE 08/19/20



Area Of Stone	514 sf
Depth Of Stone	3'-6"
Rows Of Stormtech Chambers	2
Stormtech Chambers Per Row	6
Inv. In From CB (10)	135.01
10 # 11	136.33
Top Of Chamber	137.33
Bottom Of Chamber	134.83
Top Of Stone	137.83
Bottom Of Stone	134.33
Water Table	131.33
Min. Cover	138.83

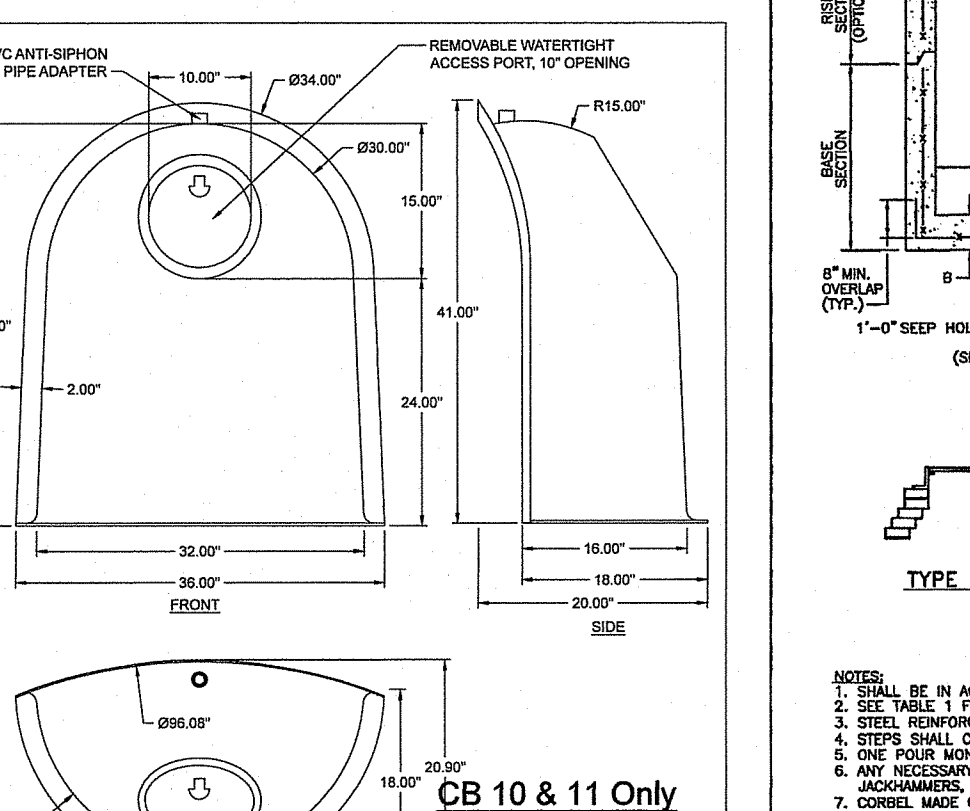
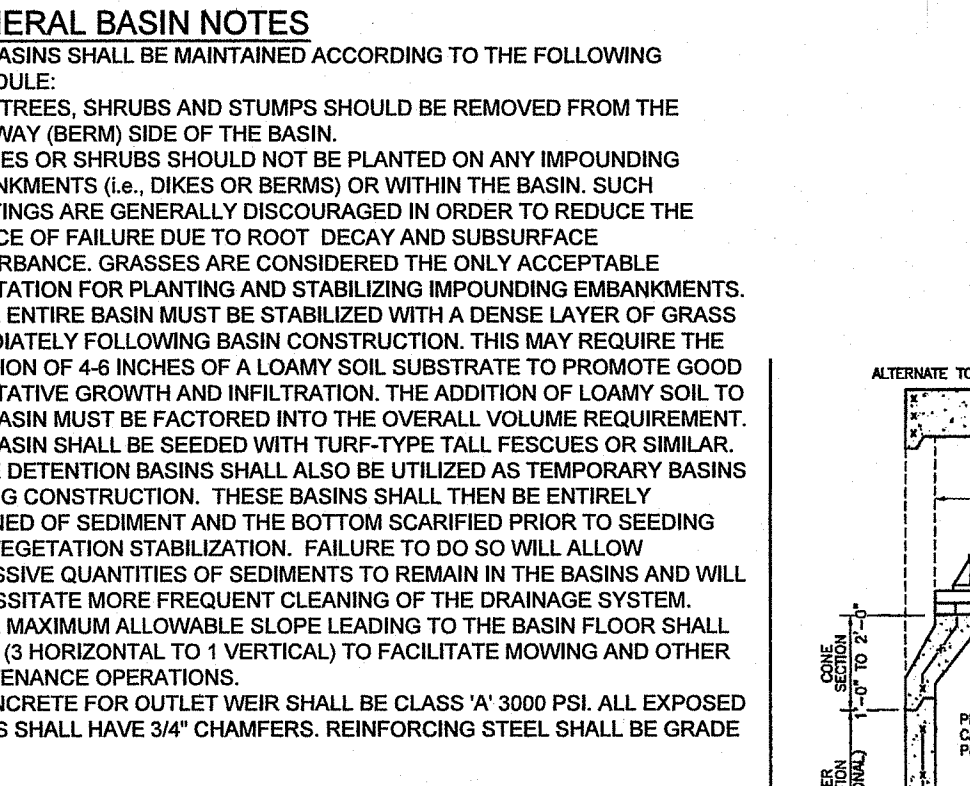


MAINTENANCE AND RESPONSIBILITY

- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL ALSO BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION WORKERS AND SUB-CONTRACTORS ARE AWARE OF THE PROVISIONS OF THE PLAN AND THE ENGINEER'S REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ASPECTS OF THE DESIGN PRIOR TO FINAL APPROVAL BY THE TOWN. DURING THAT TIME, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOULD BE CHECKED ON A WEEKLY BASIS AS WELL AS AFTER EACH SIGNIFICANT RAINFALL. ALL SUCH MEASURES SHOULD BE CLEANED OR REPLACED AS NECESSARY.
- REPLANTING, REGARDING OR OTHER REPAIRS NEEDED AS A RESULT OF EROSION AND SEDIMENTATION SHOULD BE DONE PROMPTLY, WITH APPROPRIATE INVOICING FOR EACH VARIETY.
- ALL VEGETATION NOT SURVIVING AT LEAST ONE FULL GROWING SEASON SHALL BE REPLACED AT THE OWNERS EXPENSE.
- UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS:
 - MOWING:** THE MOWING OF GRASS IN AND AROUND THE BASIN SHOULD BE DONE AT LEAST ONCE PER GROWING SEASON, PREFERABLY AFTER AUGUST 15 TO PROTECT GROUND NESTING BIRDS AND OTHER ANIMALS. MORE FREQUENT MOWINGS WILL BE REQUIRED FOR BASINS MAINTAINED AS RECREATIONAL OR OPEN SPACE FACILITIES. TRASH AND LITTER MUST BE REMOVED DURING MOWING OPERATIONS.
 - INSPECTIONS:** THE STRUCTURAL INTEGRITY OF THE BASIN, ESPECIALLY ANY IMPOUNDING STRUCTURES, SHOULD BE INSPECTED ON AN ANNUAL BASIS. IN ADDITION, THE INLETS FOR THE BASIN SHOULD ALSO BE INSPECTED ANNUALLY. ANY DEFICIENCIES MUST BE CORRECTED IMMEDIATELY AFTER OBSERVATION. THE BASIN AND ALL STRUCTURES SHOULD BE INSPECTED MORE OFTEN DURING THE FIRST YEAR OF OPERATION, ESPECIALLY AFTER LARGE STORMS, TO ENSURE PROPER STABILIZATION AND FUNCTION.
 - EMBANKMENT SUBSIDIANCE
 - EROSION
 - CRACKING
 - TREE GROWTH
 - OUTLET & SPILLWAY CONDITION
 - SEDIMENT ACCUMULATION
 - SLOPE STABILITY:** ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. IF ENCOUNTERED, TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM THE DRAINAGE SYSTEM AT LEAST TWICE A YEAR.
 - RESEEDING OF ANY ERODED OR BARE SPOTS IN OR AROUND THE BASIN MUST BE DONE IMMEDIATELY FOLLOWING EXAMINATIONS TO PREVENT SUBSEQUENT SOIL EROSION. MAINTAINING A FULLY VEGETATED BASIN WITH HEALTHY GRASS IS PARAMOUNT TO A SUCCESSFULLY OPERATING FACILITY.**
- SEDIMENT REMOVAL:** FOLLOWING CONSTRUCTION, THE PONDS, BASINS, AND DRAINAGE SYSTEMS ARE TO BE CLEANED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE BY THE TOWN AND THEN ONCE EVERY TEN YEARS. THE RESULTING POND CONDITION AFTER SEDIMENT REMOVAL MUST BE THE ORIGINAL DESIGN CONDITIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE AND FEDERAL REGULATIONS.
- CATCH BASINS, MANHOLES AND DRAIN LINES:** ALL STRUCTURES SHALL BE INSPECTED ON AN ANNUAL BASIS BY A QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - DAMAGE TO GRATE/COVER
 - EVIDENCE OF STANDING WATER
 - DEBRIS REMOVAL
 - STRUCTURAL ALIGNMENT/INTEGRITY
 ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.

- GENERAL NOTES**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
 - IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATION AND INSPECTIONS WITH THE APPROPRIATE UTILITY CO. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
 - ALL WORK WITHIN THE STATES ROW WILL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2013 AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1998 AS AMENDED BY REVISION.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE OFF IN COMPUTING ANY ESTIMATES.
 - EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEED. SEE EROSION CONTROL PROGRAM DETAILS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS. THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO THE SITE, ANY REPAIRS, ANY TRENCHING REQUIRED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND SOIL EROSION CONTROL MEASURES.
 - THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANIES. CALL DIG-SAFE (1-800-252-4877).
 - IN ALL EXCAVATION AND PLACEMENT OF FILL THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.

- GENERAL BASIN NOTES**
- THE BASINS SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING SCHEDULE:
- ALL TREES, SHRUBS AND STUMPS SHOULD BE REMOVED FROM THE SPILLWAY (BERM) SIDE OF THE BASIN.
 - TREES OR SHRUBS SHOULD NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENTS (i.e. DIKES OR BERMS) OR WITHIN THE BASIN. SUCH PLANTINGS ARE GENERALLY DISCOURAGED IN ORDER TO REDUCE THE CHANCE OF FAILURE DUE TO ROOT DECAY AND SUBSURFACE DISTURBANCE. GRASSES ARE CONSIDERED THE ONLY ACCEPTABLE VEGETATION FOR PLANTING AND STABILIZING IMPOUNDING EMBANKMENTS.
 - THE ENTIRE BASIN MUST BE STABILIZED WITH A DENSE LAYER OF GRASS IMMEDIATELY FOLLOWING BASIN CONSTRUCTION. THIS MAY REQUIRE THE ADDITION OF 4-8 INCHES OF A LOAMY SOIL SUBSTRATE TO PROMOTE GOOD VEGETATIVE GROWTH AND INFILTRATION. IN ADDITION, LOAMY SOIL TO THE BASIN MUST BE FACTORED INTO THE OVERALL VOLUME REQUIREMENT. THE BASIN SHALL BE SEEDING WITH TURF-TYPE TALL FESCUES OR SIMILAR.
 - THE DETENTION BASINS SHALL ALSO BE UTILIZED AS TEMPORARY BASINS DURING CONSTRUCTION. THESE BASINS SHALL THEN BE ENTIRELY CLEANED OF SEDIMENT AND THE BOTTOM SCARIFIED PRIOR TO SEEDING AND VEGETATION STABILIZATION. FAILURE TO DO SO WILL ALLOW EXCESSIVE QUANTITIES OF SEDIMENTS TO REMAIN IN THE BASINS AND WILL NECESSITATE MORE FREQUENT CLEANING OF THE DRAINAGE SYSTEM.
 - THE MAXIMUM ALLOWABLE SLOPE LEADING TO THE BASIN FLOOR SHALL BE 3:1 (HORIZONTAL) TO 1 (VERTICAL) TO FACILITATE MOWING AND OTHER MAINTENANCE OPERATIONS.
 - CONCRETE FOR OUTLET WEIR SHALL BE CLASS 'A' 3000 PSI. ALL EXPOSED EDGES SHALL HAVE 3/4" CHAMBERS. REINFORCING STEEL SHALL BE GRADE 60.



EROSION CONTROL & SOIL STABILIZATION PROGRAM

- DEVELOPED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL. IT SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION PERIOD.
- THE SEED MIX SHALL BE INCORPORATED WITHIN 24 HOURS, BEFORE PERMANENT PLANTING, WITH APPROPRIATE INVOICING FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPLIED OF THE FOLLOWING: PERMANENT SEEDING MIXTURES:

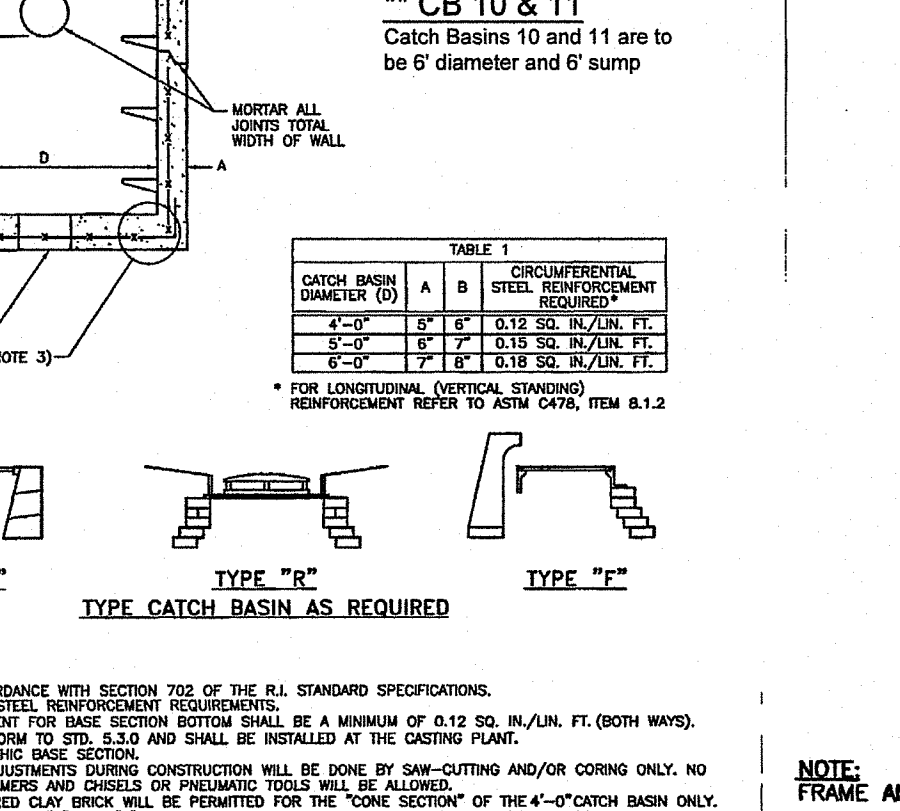
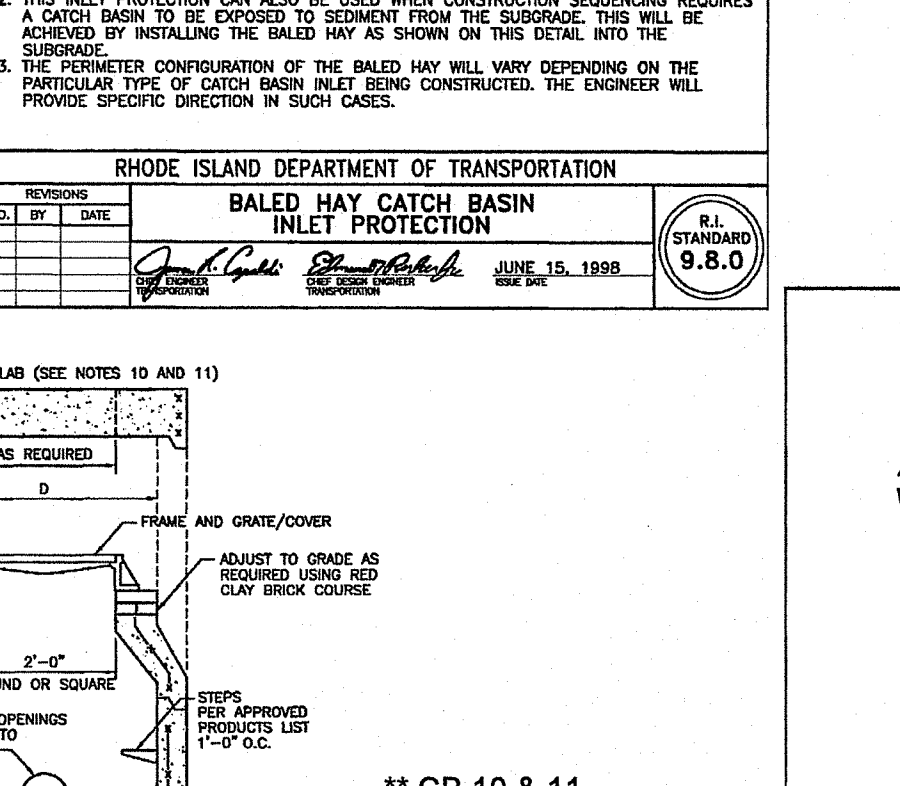
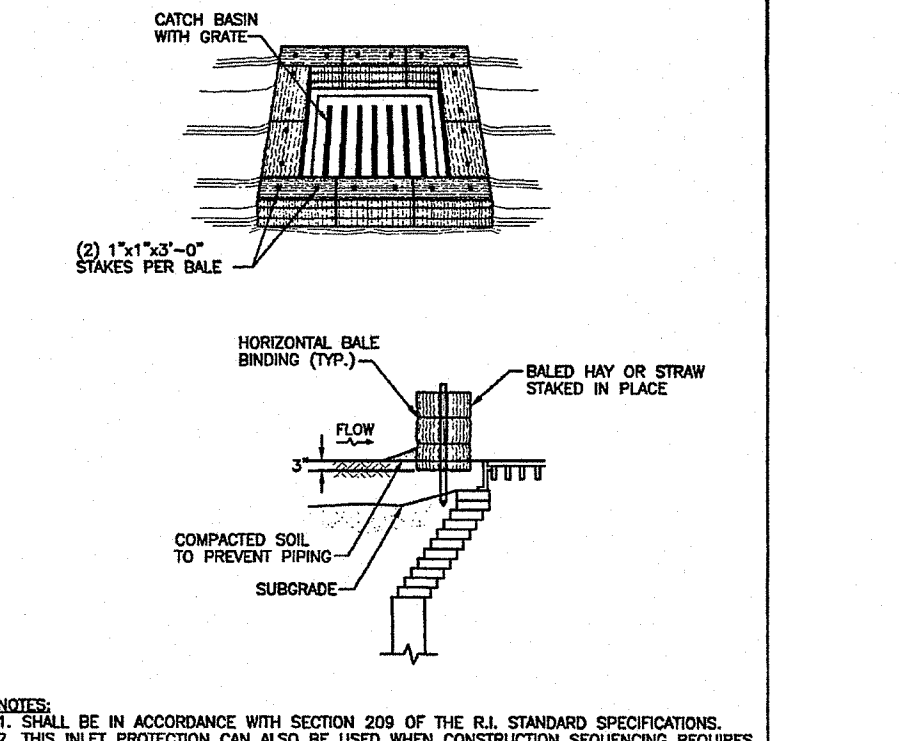
KENTUCKY BLUEGRASS	75	% BY WT.	SEEDING DATES
COLONIAL BENTGRASS	15		APRIL 1 - JUNE 15
PERENNIAL RYEGRASS	5		AUG. 15 - OCT. 15
TOTAL TOURNAIRE	5		

 PERMANENT SEEDING MIXTURES:

B - UNMOWED AREA OR INFREQUENTLY MOWED: FLAT OR SLOPES GREATER THAN 3:1			
MIXTURE	75	% BY WT.	SEEDING DATES
RED FESCUE	40		APRIL 1 - JUNE 15
PERENNIAL RYEGRASS	10		AUG. 15 - OCT. 15
COLONIAL BENTGRASS	15		
BIRDFOOT TREFOIL	15		
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSON BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000-4000 LBS/AC. NETTING, EXCELSON BLANKETS, THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- ACCEPTABLE STAND OF GRASS OR APPROVED GRASSING IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN BE USED TO HELP MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

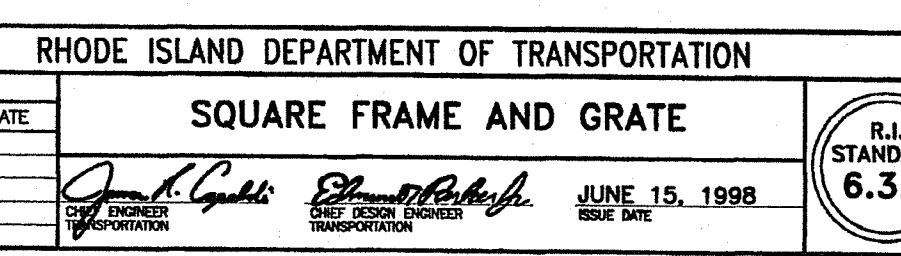
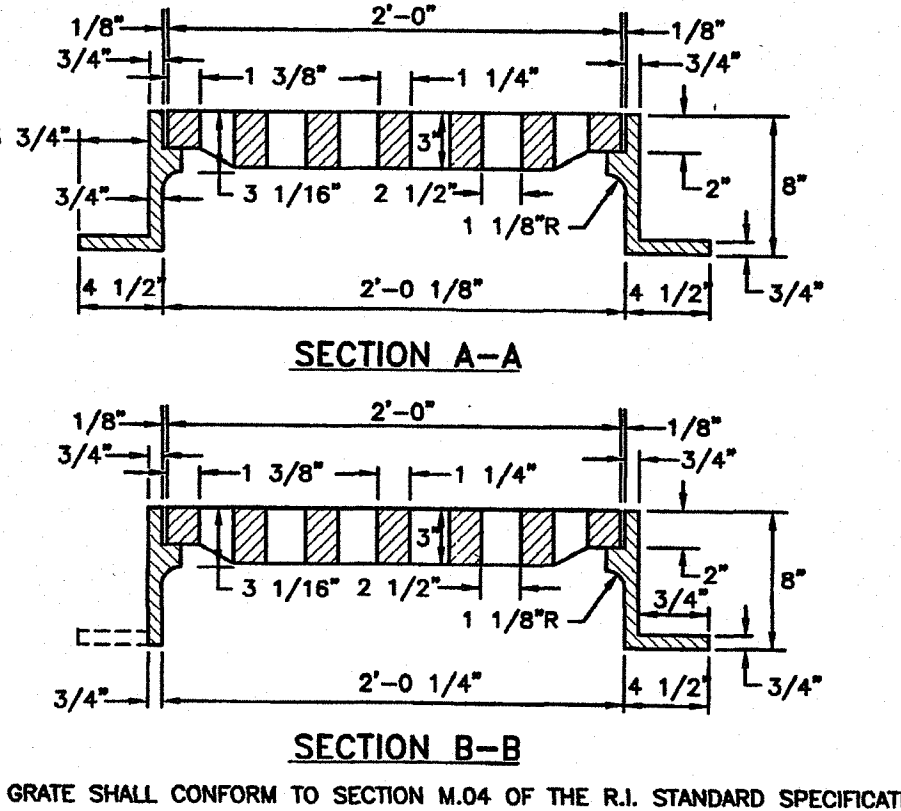
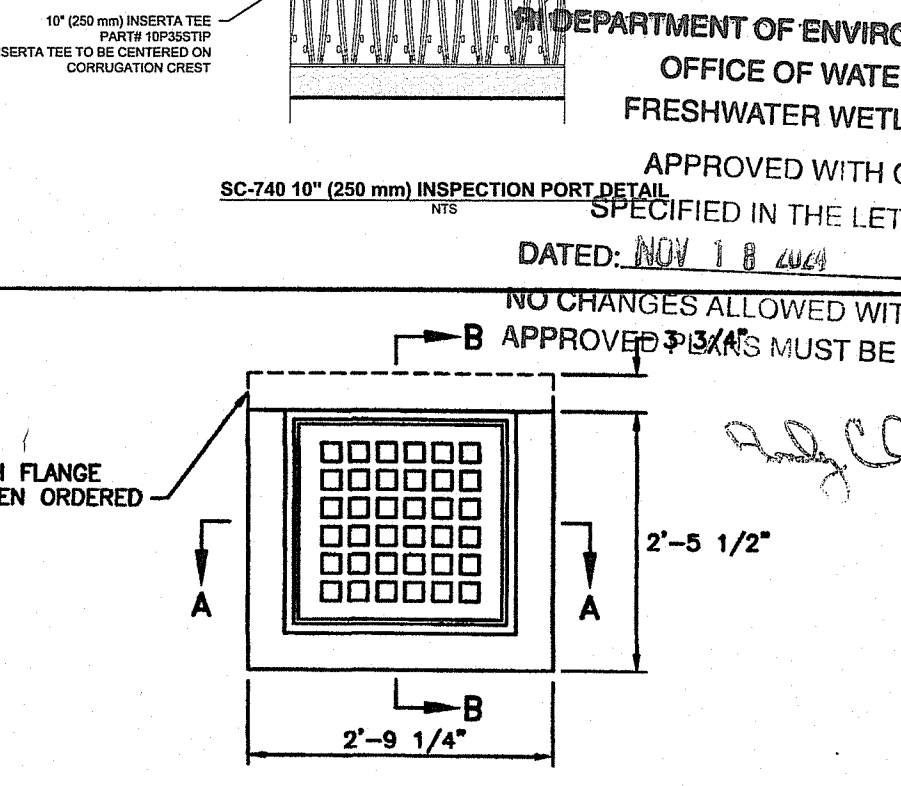
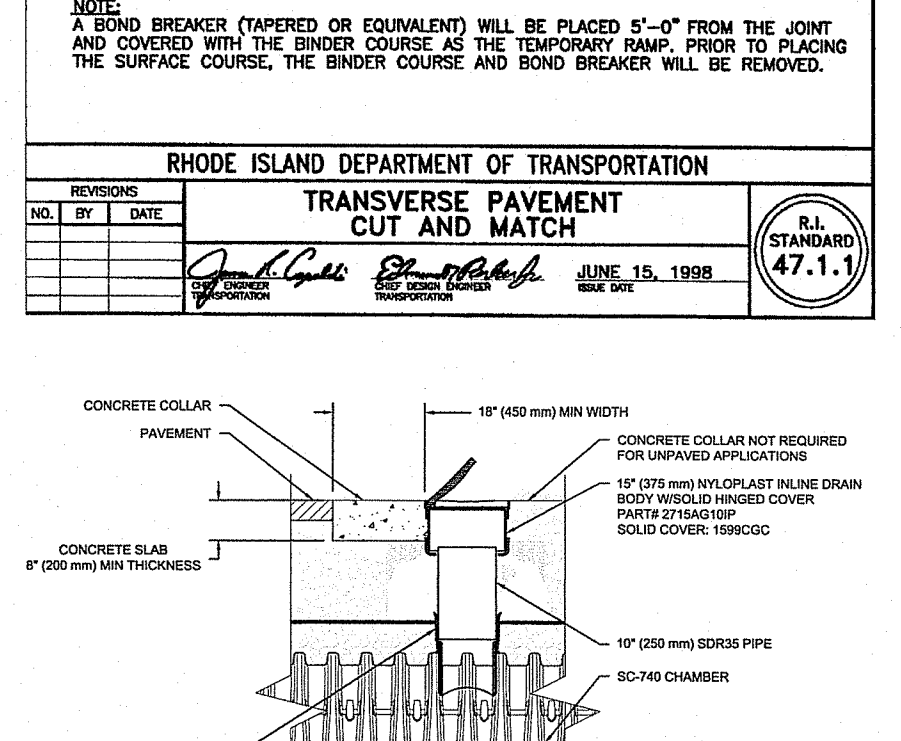
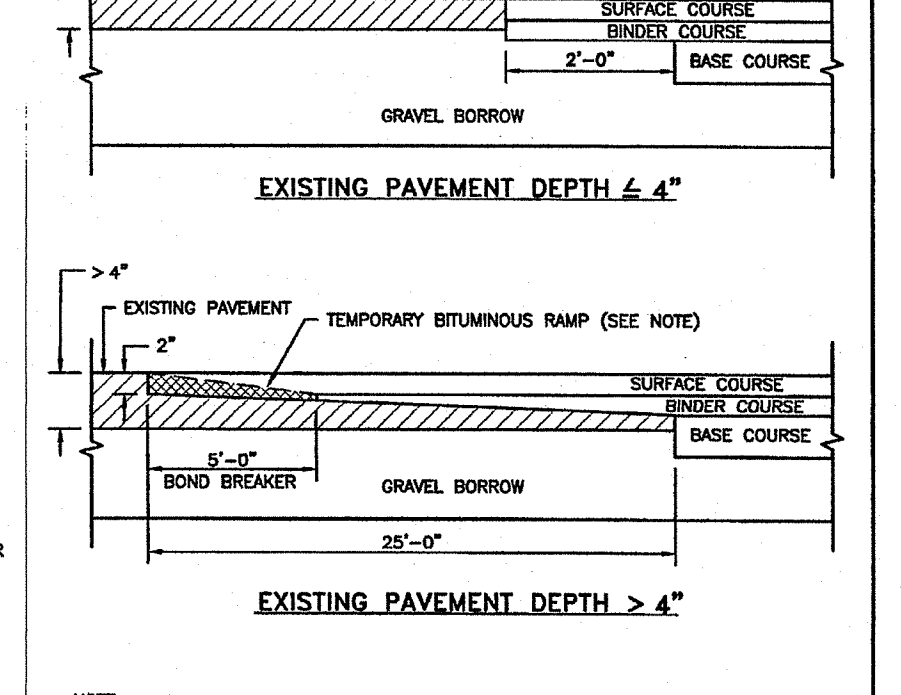
SPECIES	LBS/AC	LBS/1,000 SQ. FT.	SEEDING DATES
ANNUAL	60	1.5	MAR. 15 - JUNE 15
PERENNIAL	40	1.0	MAY 15 - AUGUST 15
WINTER RYE	120	3.0	AUGUST 15 - JUNE 15
OATS	120	3.0	MAR. 15 - JUNE 15
VEEGRASS	20	0.5	MAY 1 - JUNE 30
- THE CONTRACTOR MUST REPAIR AND OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 15TH THRU OCT. 15TH.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2004 EDITION, AMENDED MARCH 2018), SECTION 202.03.3
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOILS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. THEY SHALL HAVE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

NO.	REVISION	DATE
1	PER R.I.E.M. COMMENTS	10/24/24



SEDIMENTATION CONTROL PROGRAM

- ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY ARE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SUITABLE SOLE PROTECTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DESIGNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF DURING STORMS AND PERIODS OF RAINFALL.
- CARE SHALL BE TAKEN SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING EITHER EXISTING OR PROPOSED DRAINAGE OR SEWER STRUCTURES.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER PERIODS OF RAINFALL. SUCH DEVICES SHALL BE REPAIRED OR REPLACED AS NEEDED.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1988, WITH ANY AMENDMENTS, AS A GUIDE.



GENERAL NOTES AND DETAILS FOR STILSON TRADE CENTER LOCATED AT A.P. 4B, LOT 57 67 STILSON ROAD RICHMOND, RHODE ISLAND

Drawn By: ADM Checked By: PJF
 Scale: AS SHOWN Date: 08/19/2024

NO.	REVISION	DATE
1	PER R.I.E.M. COMMENTS	10/24/24

RHODE ISLAND DEPARTMENT OF TRANSPORTATION TRANSVERSE PAVEMENT CUT AND MATCH

APPROVED BY CONDORAS

DATED: NOV 18 2024

AMERICAN ENGINEERING, INC.
 Professional Engineering & Land Surveying
 400 South County Trail - Suite A 201
 Exeter, Rhode Island 02822
 D.Coiffa@AmericanEngineeringRI.com
 Phone (401) 294-4900 / Fax (401) 294-3625

Sheet 5 of 5 sheets
 Job No. 121149