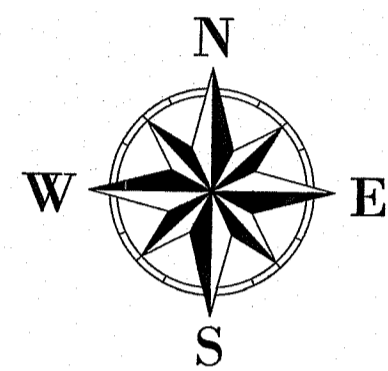


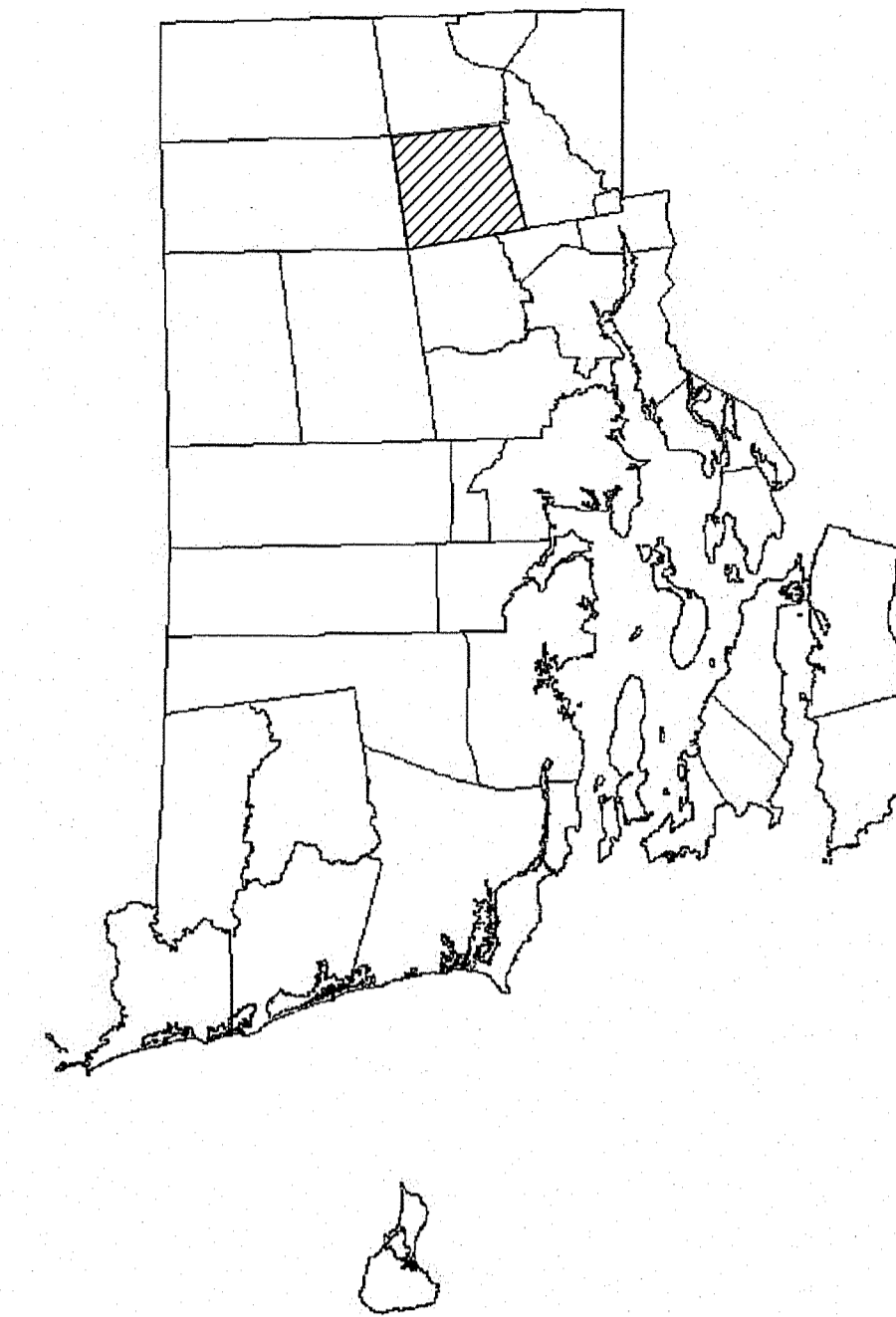
# A Child's University

## Building Addition

370 George Washington Highway  
 Land Unit 3  
 Smithfield, Rhode Island  
 A.P. 48 Lot 3



**AERIAL VIEW**  
 1"=60'



**LOCUS MAP**  
 1"=400'

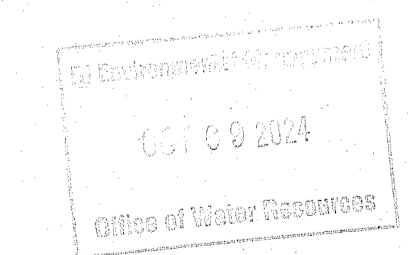
SHEET INDEX		
Sheet No.	Ref.	TITLE:
1	C-1	COVERSHEET
2	C-2	NOTES & LEGEND
3	C-3	SOIL EROSION & SEDIMENT CONTROL PLAN
4	C-4	LAYOUT & MATERIALS PLAN
5	C-5	GRADING & DRAINAGE PLAN
6	C-6	DETAILS - SITE MATERIALS
7	C-7	DETAILS - DRAINAGE & UTILITIES
8	C-8	DETAILS - CULTREC INFILTRATION SYSTEM

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

**NOTE PER DEM:**  
 Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: JAN 06 2025 FILE #: 24-0244  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*



**PERMIT SET**

**Advanced Civil Design, Inc.**  
 ENGINEERS  
 28 PEEPTOAD ROAD  
 SCITUATE, RI 02857  
 PH: (401) 473-4404

NO.	DATE	REVISION

PROJECT:  
**A Child's University Building Addition**  
 ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
 SMITHFIELD, RI 02917  
 OWNER/APPLICANT:

**ACU REALTY, LLC**  
 5800 POST RD STE 114  
 EAST GREENWICH, RI 02818

DRAWING TITLE:  
**COVERSHEET**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
 SCALE: AS NOTED CHECKED BY: C.S.R.

	DRAWING NO.
	<b>C-1</b>
SHEET 1 OF 8	

**General Notes**

1. THE OWNER AND APPLICANT OF THIS LAND UNIT IS ACU REALTY, LLC 5600 POST RD STE 114 PMB 374, EAST GREENWICH, RI 02818.
2. A ZONING RESOLUTION GRANTING A DIMENSIONAL VARIANCE FOR THE REAR SETBACK WAS RECEIVED ON APRIL 3, 2024.
3. THE BASE MAP (I.E. PROPERTY LINE, TOPOGRAPHY, AND SITE FEATURES) USED FOR THIS PLAN HAS BEEN PREPARED BY CANAVAN & ASSOCIATES OF 450 GEORGE WASHINGTON HIGHWAY IN SMITHFIELD, RI STAMPED BY A PROFESSIONAL LAND SURVEYOR, MARTIN CANAVAN PLS19095, DATED DECEMBER 14, 2023.
4. WETLANDS HAVE BEEN DELINEATED BY MCOUE ENVIRONMENTAL, LLC OF 650 TEN ROD ROAD IN NORTH KINGSTOWN, RI 02882 DATED DECEMBER 2023.
5. THE EXISTING SEWER EASEMENT WILL BE REMOVED FROM THIS LAND UNIT PARCEL SINCE IT IS NOT REQUIRED FOR ANY FURTHER DEVELOPMENT.
6. THE SITE DOES NOT FALL WITHIN A FLOOD ZONE AS DETERMINED FROM A REVIEW OF THE NATIONAL FLOOD INSURANCE PROGRAM FEMA FLOOD INSURANCE RATE MAPS.

**Zoning District**

**PLANNED CORPORATE (SINGLE SITE)**

LOT AREA	3 ACRES
LOT FRONTAGE	200'
LOT WIDTH	200'
BUILDING SETBACKS:	
• FRONT YARD	150' (SEE GENERAL NOTE #2)
• SIDE YARD	50'
• REAR YARD*	50' *VARIANCE OF 32' IS REQUIRED
BUILDING HEIGHT	48' MAX.

**Section 7.4. Off-Street Parking**

- C. OFFICES  
(1) OFFICES, GENERAL  
• FOUR (4) SPACES PER 1,000 S.F. OF GFA
- D. PUBLIC AND SEMI-PUBLIC  
(1) DAY NURSERIES OR DAY CARE CENTER  
• ONE (1) SPACE PER 500 S.F. OF INDOOR PLAY AREA

**GROSS FLOOR AREA (GFA)**

GFA, EXISTING	9,000 S.F.
GFA, PROPOSED	3,700 S.F.
TOTAL GFA	12,700 S.F.

**REQUIRED PARKING**

- OFFICE AREA  
725 S.F. X 4 PER 1,000 S.F. = 3 SPACES
  - PLAY AREA  
11,975 S.F. X 1 PER 500 S.F. = 24 SPACES
- TOTAL PARKING REQUIRED = 27 SPACES
- TOTAL PARKING PROVIDED = 39 EXISTING  
+ 10 ADDED  
= 49 SPACES

**General Site Construction Notes**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING THE PROJECT AS NECESSARY TO AVOID DISRUPTIONS TO STORM DRAINS, DRAINAGE BASINS, UTILITIES, PEDESTRIAN AND VEHICULAR ACCESS, ETC.
2. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
4. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
5. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED. SEE LANDSCAPE PLANS.
6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
7. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
8. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
9. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
10. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

**Layout & Materials**

1. CONTRACTOR SHALL VERIFY LOCATIONS OF SITE FEATURES AND UNDERGROUND UTILITIES. ANY DISCREPANCIES SHALL BE NOTED AND THE SITE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER THESE CONDITIONS CAUSE CONCERN OR POTENTIAL ISSUES.
2. SYMBOLS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE SITE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
3. ALL MATERIALS SHALL BE AS SPECIFIED. IN THE ABSENCE OF A SPECIFICATION, THE CONTRACTOR SHALL INCLUDE MATERIALS CONFORMING WITH TOWN OF SMITHFIELD CODE OF ORDINANCES AND RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

**Soil Erosion & Sediment Control Notes**

1. A SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN IS INCLUDED IN THIS PLAN SET. THE TOTAL PROPOSED SITE DISTURBANCE IS LESS THAN ONE (1) ACRE AND THEREFORE A RIPES CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED. HOWEVER, THE SITE CONTRACTOR SHALL COMPLY WITH THE PLAN AND MAKE MODIFICATIONS TO THE PLAN AS NECESSARY DURING PHASED CONSTRUCTION TO MITIGATE SEDIMENT RUNOFF TO EXISTING STORM DRAINS AND WETLANDS.
2. AT A MINIMUM, ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" DEPTH OF LOAM AND SEED PRIOR TO COMPLETION OF THE PROJECT.
3. EROSION CONTROLS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
4. STOCKPILES SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.
5. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE EROSION CONTROLS BECAME FILLED IN WITH SEDIMENTS.
6. CONSTRUCTION VEHICULAR ENTRANCE(S) SHALL BE PROTECTED WITH A STONE ANTI-TRACKING PAD AND MAINTAINED THROUGHOUT.
7. ANY AND ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED AT THE END OF EACH WORK DAY.
8. PRIOR TO SITE CONTRACTOR DEMOBILIZING, FLUSH DRAIN PIPES AND REMOVE SEDIMENT FROM DRAIN STRUCTURES, BASINS, AND UNDERGROUND SYSTEMS.

**Construction (Short-Term) BMP Maintenance**

1. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE INCLUDING EROSION CONTROLS, DUST CONTROL, STREET CLEANING, AND TEMPORARY STORMWATER CONTROL.
2. THE TEMPORARY CONSTRUCTION BMPs WILL BE MAINTAINED AS FOLLOWS:

- **COMPOST FILTER SOCK**
  - CHECK AFTER EACH DAILY RAINFALL AMOUNT OF 0.25" AND GREATER, OR AT A MINIMUM OF EVERY 7 DAYS, WHICHEVER COMES FIRST.
  - REPLACE OR REPAIR DEFICIENCIES FOUND IMMEDIATELY FOLLOWING RAIN EVENT.
  - REMOVE ACCUMULATED SEDIMENT ONCE 1/2 THE ORIGINAL HEIGHT OF BCOMES FILLED.
- **STONE ANTI-TRACKING PAD**
  - REMOVE, REPLACE, OR ADD STONE AS NEEDED WHEN TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE IS APPARENT AND EXCESSIVE.
- **CATCH BASIN SILT SACKS**
  - CHECK AFTER EACH DAILY RAINFALL AMOUNT 0.25" AND GREATER.
  - REMOVE AND DISPOSE CAPTURED SEDIMENT FROM SITE.

**Long-Term BMP/Stormwater System O&M**

1. ACU REALTY, LLC WILL BE RESPONSIBLE TO FUND AND PERFORM THE LONG-TERM MAINTENANCE OF THE DRAINAGE SYSTEM AND SURROUNDING SITE.
2. A STORMWATER OPERATION & MAINTENANCE (O&M) PLAN HAS BEEN PREPARED AND IS PART OF THE PROJECT DOCUMENTS. THIS PLAN IS TO BE RECORDED IN THE LAND EVIDENCE RECORDS FOR LONG-TERM MAINTENANCE AND FUNCTIONALITY OF THE STORMWATER SYSTEM.
3. NO "LAND USES WITH HIGHER POTENTIAL POLLUTANT LOADS" (LUPPLS) WILL BE ALLOWED TO UTILIZE THE PROPERTY IN THE FUTURE. THE FOLLOWING LAND USES AND ACTIVITIES ARE CONSIDERED STORMWATER LUPPLS:
  - A. AREAS WITHIN AN INDUSTRIAL SITE (AS DEFINED IN RIPES RULE 31(8)(15)) THAT ARE THE LOCATION OF ACTIVITIES SUBJECT TO THE RIPES MULTI-SECTOR GENERAL PERMIT (EXCEPT WHERE A NO EXPOSURE CERTIFICATION FOR EXCLUSION FROM RIPES STORMWATER PERMITTING HAS BEEN EXECUTED);
  - B. AUTO FUELING FACILITIES (I.E., GAS STATIONS);
  - C. EXTERIOR VEHICLE SERVICE, MAINTENANCE AND EQUIPMENT CLEANING AREAS;
  - D. ROAD SALT STORAGE AND LOADING AREAS (IF EXPOSED TO RAINFALL); AND
  - E. OUTDOOR STORAGE AND LOADING/UNLOADING OF HAZARDOUS SUBSTANCES.

**Establishment of Vegetative Cover**

1. SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATIONS, AS AMENDED.
3. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:
 

TYPE	LBS./ACRE
CREeping RED FESCUE	75
KENTUCKY BLUE GRASS	15
COLONIAL BENT GRASS	5
PERENNIAL RUE GRASS	5
4. EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. ADD LIME, FERTILIZER, OR COMPOST TO STRIPPED AND SCREENED TOPSOIL AS REQUIRED FROM TESTING.
5. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
6. THE RECOMMENDED SEEDING DATES ARE APRIL 1ST THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30. TEMPORARY TREATMENTS SHALL CONSIST OF NORTH AMERICAN GREEN SISOBON OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS SHOWN ON THE PLANS.
7. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE. ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.
8. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAY. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1.
9. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDING AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDING AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEEDED AS NECESSARY.
10. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE AS A GUIDE. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. MAXIMUM GRADED SLOPE WITHIN THE SITE TO BE 3:1, UNLESS SPECIFIED OTHERWISE.

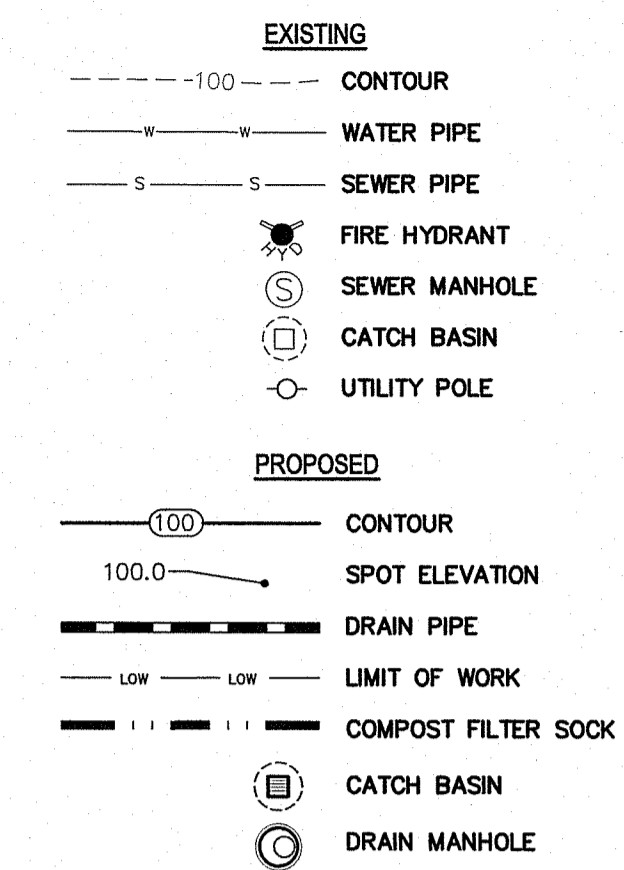
**Construction Waste Management**

1. BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED OF TO PREVENT THE DISCHARGE OF SOLID MATERIALS FROM WIND AND PRECIPITATION. ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
2. A WASTE COLLECTION AREA SHALL BE DESIGNATED ON THE SITE.
3. ALL WASTE CONTAINERS SHALL BE COVERED TO AVOID CONTACT WITH WIND AND PRECIPITATION.
4. WASTE COLLECTION SHALL BE SCHEDULED FREQUENTLY ENOUGH TO PREVENT CONTAINERS FROM OVERFILLING.

**Drainage & Utility Notes**

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
  2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
  3. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
  4. ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4 FT. DIAMETER, UNLESS SPECIFIED OTHERWISE ON THE PLAN.
  5. SET CATCH BASIN RIMS, INVERTS OF DRAINS AND GRADE DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
  6. LANDSCAPE/LAWN AREAS SURROUNDING CATCH BASIN RIM ELEVATIONS SHALL TAPER TO THE RIM ELEVATION UNLESS NOTED OTHERWISE.
  7. DRAIN PIPE SHALL BE HDPE (ADS-N12 OR EQUAL).
  8. CONTRACTOR TO CREATE POSITIVE DRAINAGE TOWARDS ALL DRAIN INLETS.
- Sanitary Sewer Notes:**
1. ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SEWER AUTHORITY PLANS AND THE TOWN SMITHFIELD SEWER AUTHORITY "STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWER AND APPURTANCES BY PRIVATE DEVELOPERS."
  2. EXISTING SANITARY SEWER FLOWS SHALL BE MAINTAINED WITHOUT INTERRUPTION DURING CONSTRUCTION. DRAIN LAYERS SHALL ONLY INSTALL SEWERS DURING THE NORMAL WORKING HOURS OF THE SMITHFIELD SEWER AUTHORITY.
  3. GASKETS FOR PIPE TO MANHOLE CONNECTIONS SHALL CONFORM TO ASTM C923.
  4. NON-PRESSURE SANITARY SEWER PIPES SHALL BE POLY-VINYL CHLORIDE (PVC) PIPE AND SHALL CONFORM TO ASTM D-3034, SDR 35 & SOH 40 STANDARDS.
  5. EXCAVATIONS FOR THE INSTALLATION OF A BUILDING SEWER SHALL BE OPEN TRENCH WORK. PIPE LAYING AND BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH ASTM SPECIFICATIONS (C12-72) EXCEPT THAT NO BACKFILL SHALL BE PLACED UNTIL WORK HAS BEEN INSPECTED.
  6. BUILDING SEWER LINES SHALL BE OF 6-INCH DIAMETER AND BUILT WITH A MINIMUM DEPTH OF COVER OF 42 INCHES.
  7. NO BLOCKS OR STONES SHALL BE USED TO SUPPORT THE PIPE.
  8. BUILDING SEWER JOINTS SHALL BE GASKETED AND WATERPROOF. NO CEMENT-MORTAR JOINTS WILL BE PERMITTED.
  9. THE SEWER AUTHORITY AND ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF ANY WORK ON SEWER OR HOUSE CONNECTIONS. INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY TOWN OF SMITHFIELD SEWER CONSULTANT.
  10. APPLICANT IS REQUIRED TO PROVIDE AS-BUILT PLANS TO THE SEWER AUTHORITY AND ENGINEERING DEPARTMENT UPON COMPLETION OF CONSTRUCTION. PRIOR TO FINAL ACCEPTANCE, AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPE AND APPURTANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIMS AND INVERTS, AS WELL AS SWING TIES/MEASUREMENTS, TO ALL MANHOLES, SEWER STUBS, AND LATERAL SERVICE CONNECTIONS. NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
  11. NEW SEWER PIPES SHALL BE CLEANED AND TESTED PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPES SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION (I.E., MANDREL) TESTING.
  12. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A DRAIN-LAYER LICENSED IN THE STATE OF RHODE ISLAND AND TOWN OF SMITHFIELD.

**LEGEND & SYMBOLS**



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JAN 08 2024 FILE #: Z4-0244  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
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*Nancy L. Freeman*

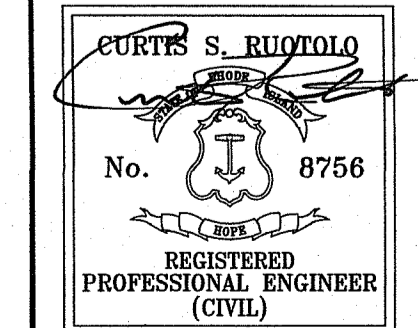
**Advanced Civil Design, Inc.**  
CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404

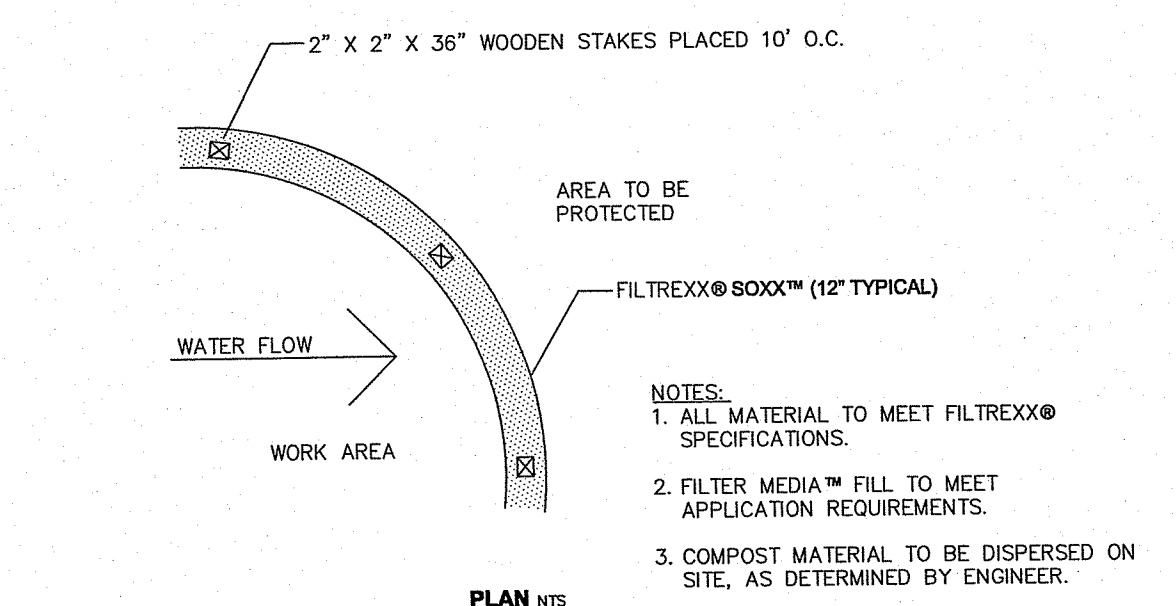
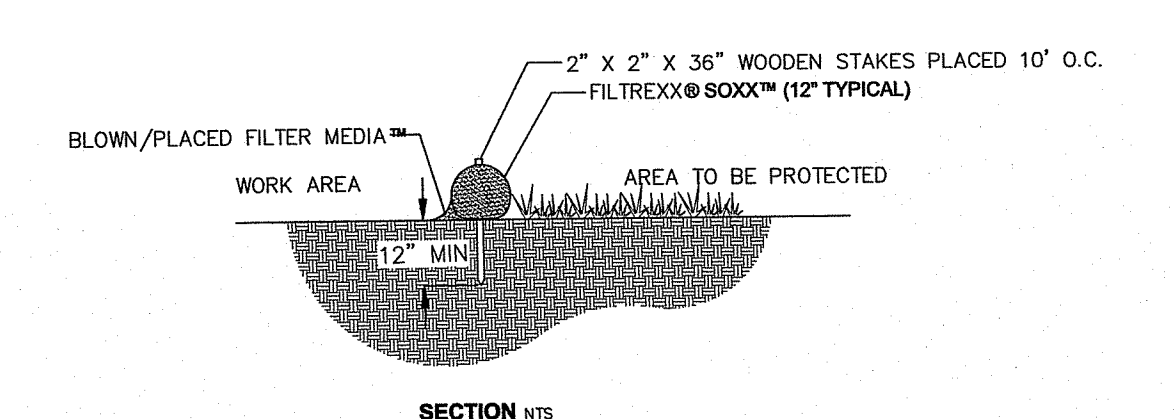
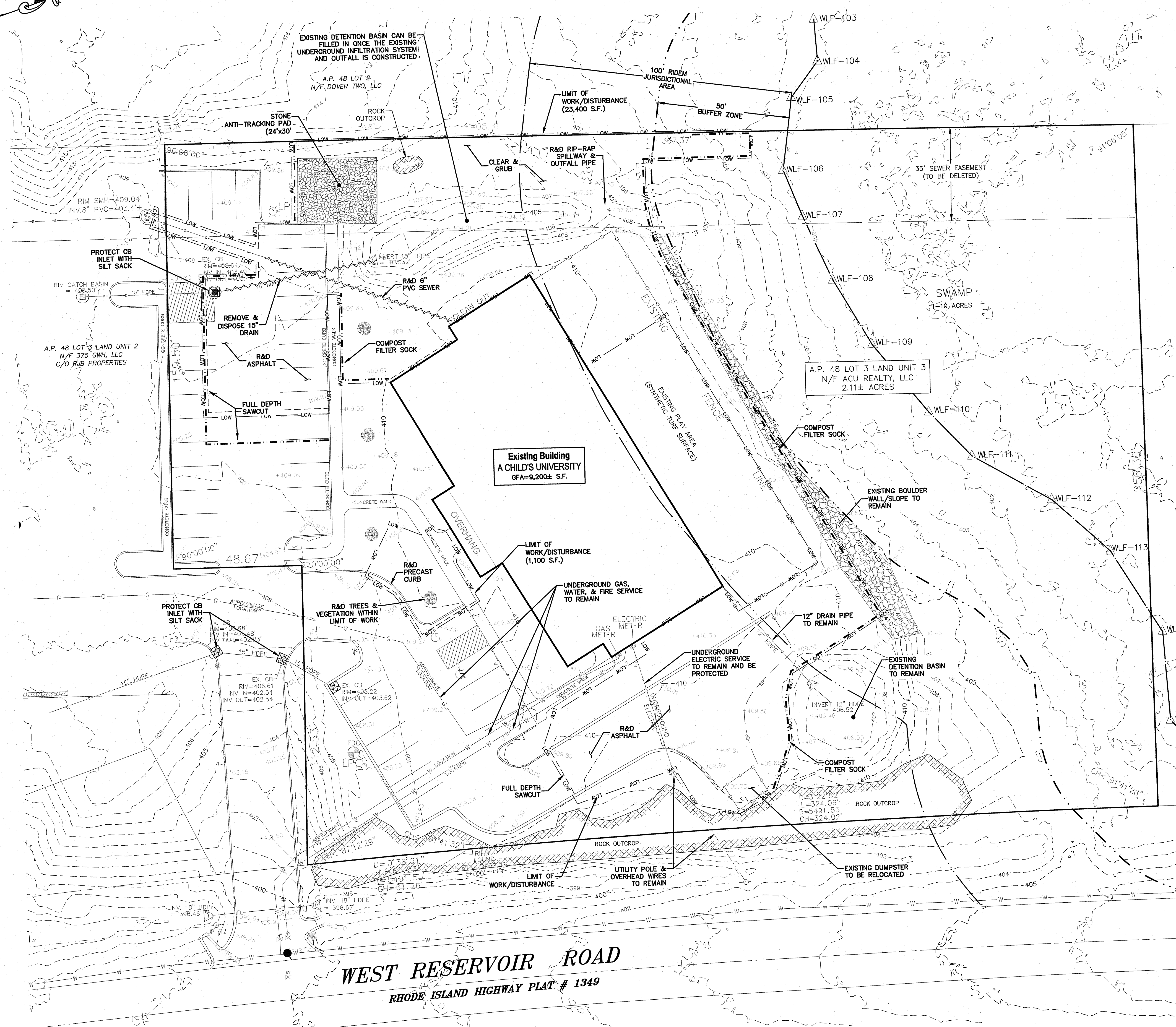
NO. DATE REVISION  
PROJECT:  
**A Child's University  
Building Addition**  
ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
SMITHFIELD, RI 02917

OWNER/APPLICANT:  
**ACU REALTY, LLC**  
5600 POST RD STE 114  
EAST GREENWICH, RI 02818

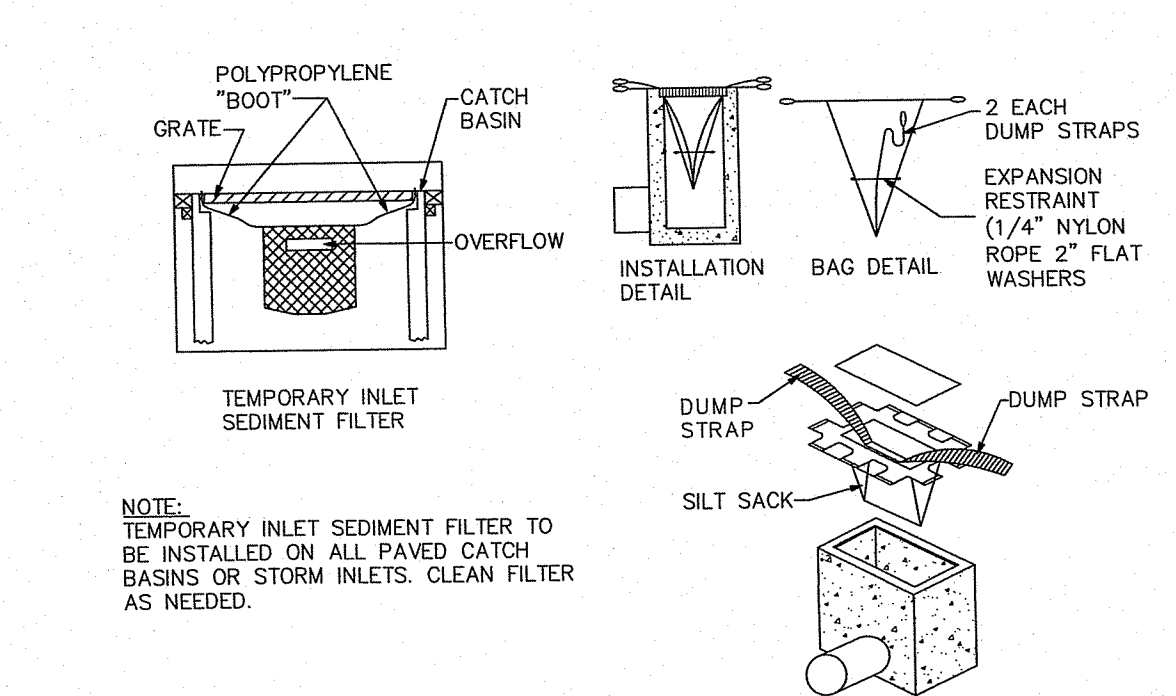
DRAWING TITLE:  
**NOTES**

DATE: SEPTEMBER 2024	DESIGNED BY: C.S.R.
SCALE: 1"=20'	CHECKED BY: C.S.R.
DRAWING NO.	
<b>C-2</b>	
SHEET 2 OF 8	





COMPOST FILTER SOCK  
NOT TO SCALE



SILT SACK DETAIL  
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JAN 08 2024 FILE #: 24-0249  
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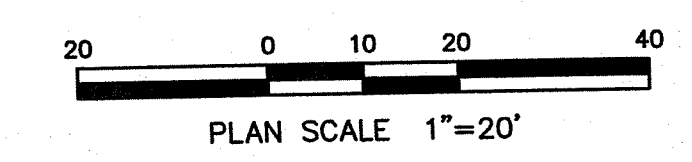
PROJECT: **A Child's University Building Addition**  
ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
SMITHFIELD, RI 02917

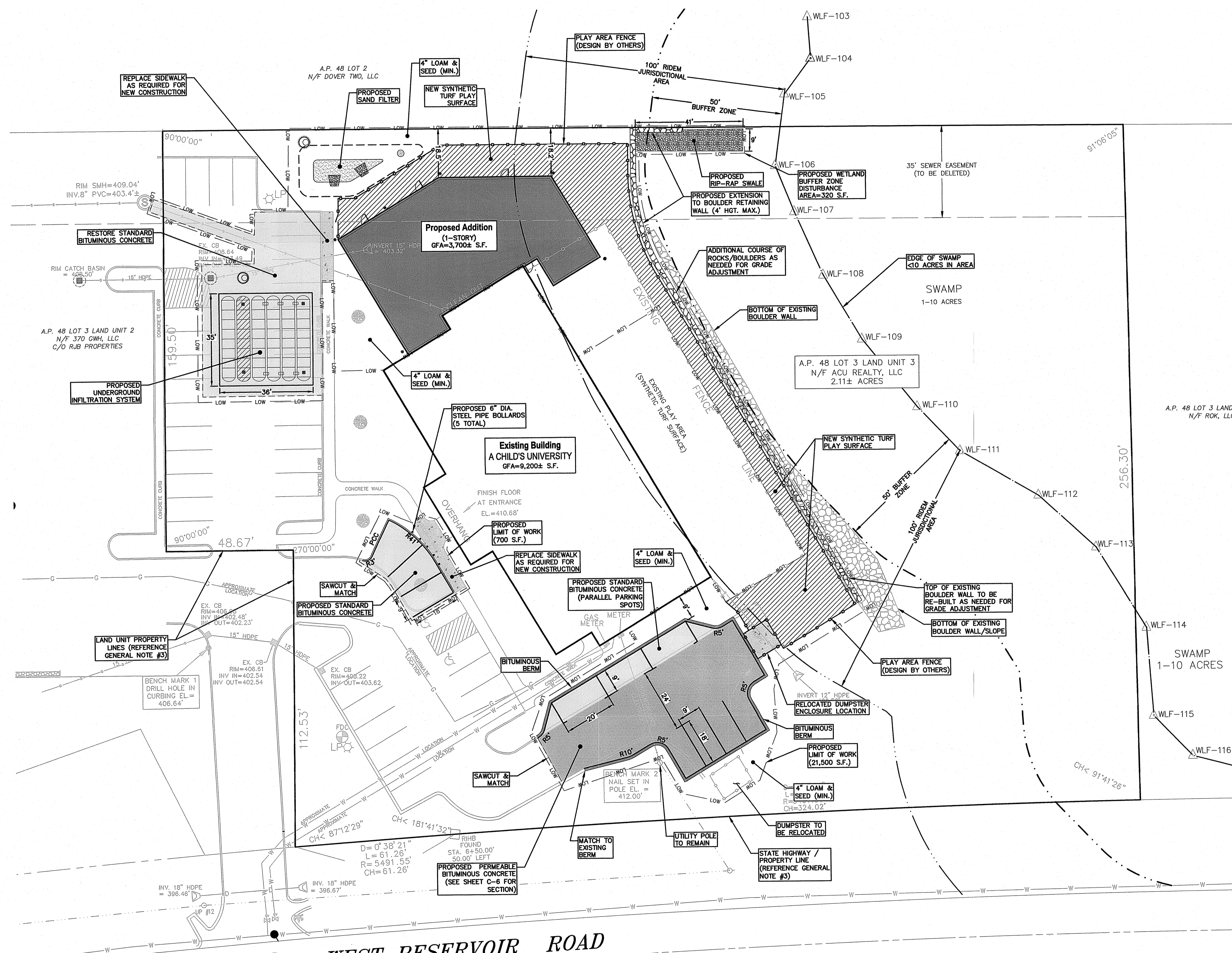
OWNER/APPLICANT: **ACU REALTY, LLC**  
5600 POST RD STE 114  
EAST GREENWICH, RI 02818

DRAWING TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
SCALE: 1"=20' CHECKED BY: C.S.R.

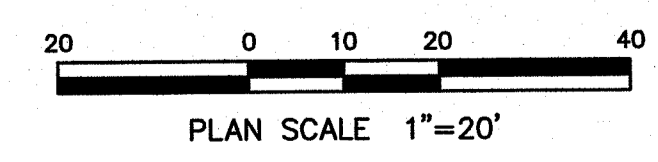
DRAWING NO. **C-3**  
SHEET 3 OF 8





RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
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 FRESHWATER WETLANDS PROGRAM  
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**A Child's University  
 Building Addition**

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**ACU REALTY, LLC**  
 5600 POST RD STE 114  
 EAST GREENWICH, RI 02818

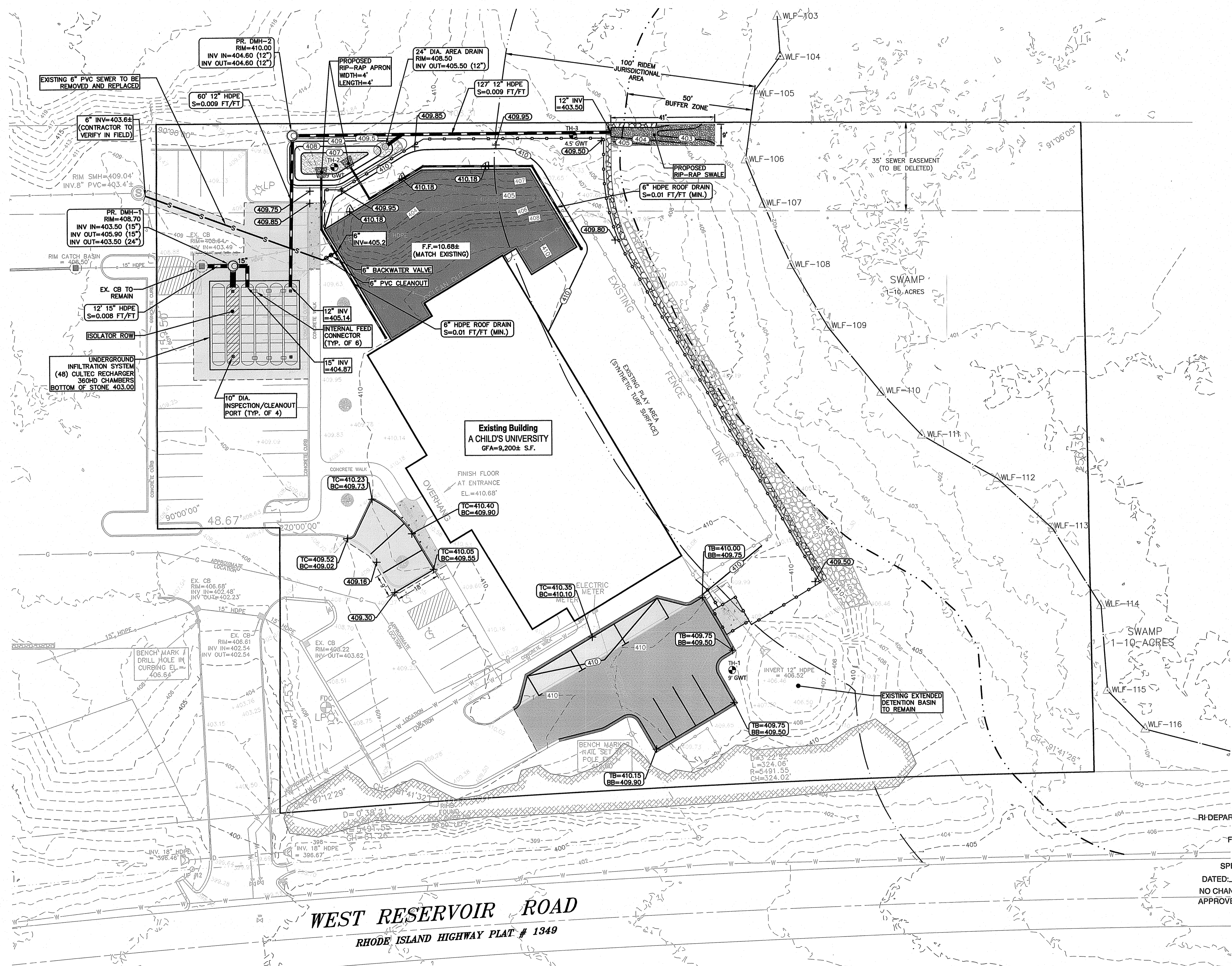
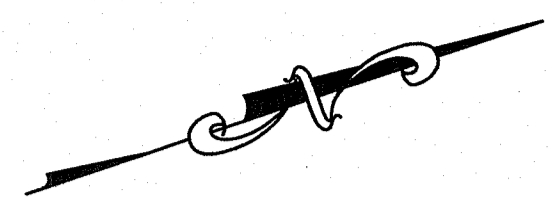
**PROPOSED LAYOUT &  
 MATERIAL PLAN**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
 SCALE: 1"=20' CHECKED BY: C.S.R.

**CURTIS S. RUOTOLO**  
 No. 8756  
 REGISTERED  
 PROFESSIONAL ENGINEER  
 (CIVIL)

**C-4**

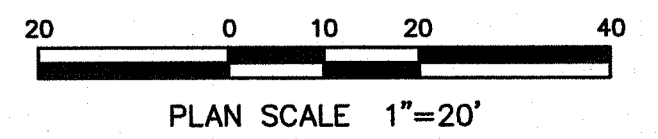
SHEET 4 OF 8



**WEST RESERVOIR ROAD**  
RHODE ISLAND HIGHWAY PLAT # 1349

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JAN 06 2025 FILE # 24-024  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*



**Advanced Civil Design, Inc.**  
CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404



NO.	DATE	REVISION

**A Child's University Building Addition**  
ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
SMITHFIELD, RI 02917

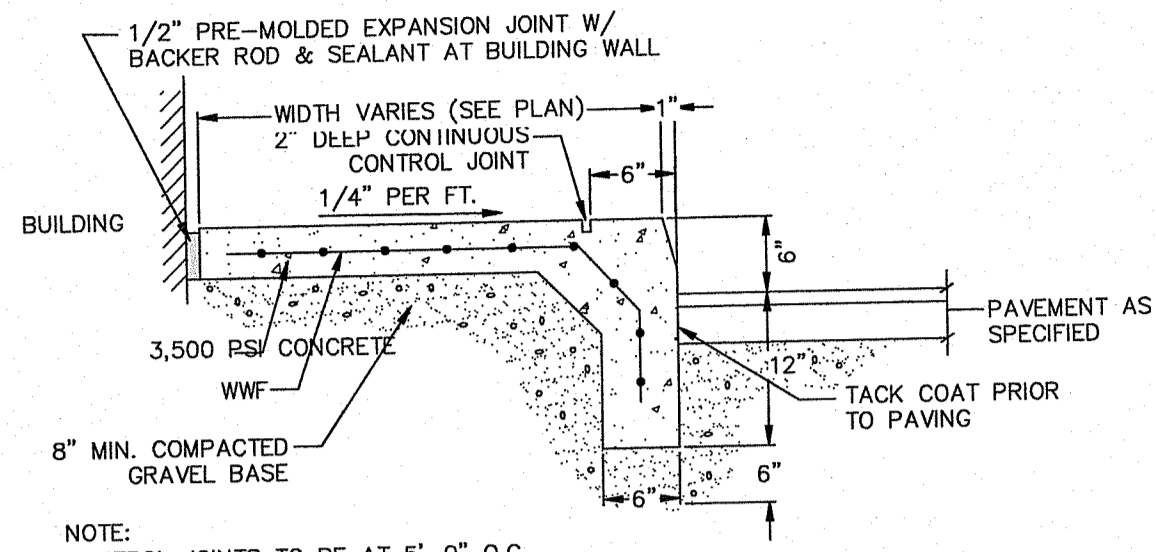
OWNER/APPLICANT:  
**ACU REALTY, LLC**  
5600 POST RD STE 114  
EAST GREENWICH, RI 02818

DRAWING TITLE:  
**PROPOSED GRADING,  
DRAINAGE, & UTILITY PLAN**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
SCALE: 1"=20' CHECKED BY: C.S.R.

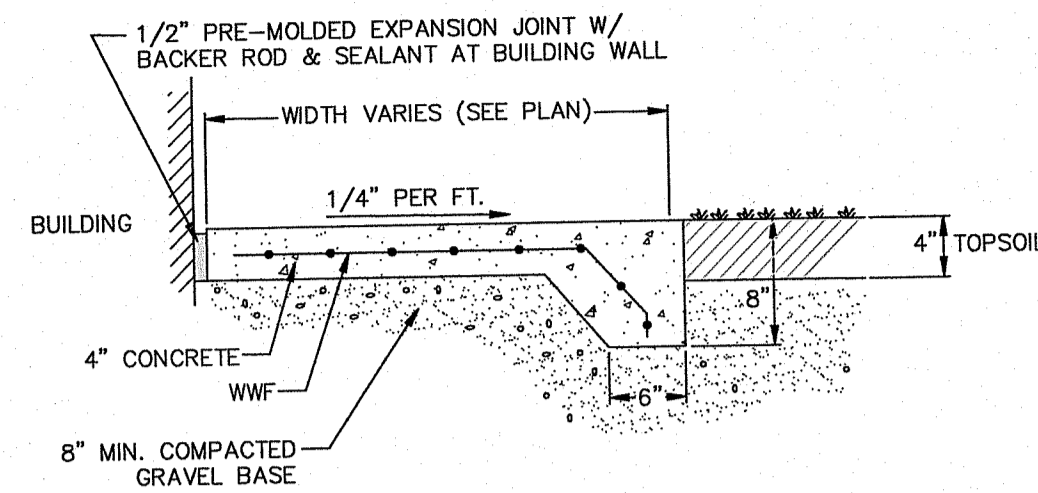
	DRAWING NO.
	<b>C-5</b>

NOTE:  
CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO  
RIDOT STANDARD SPECIFICATIONS AND CONSTRUCTION METHODS



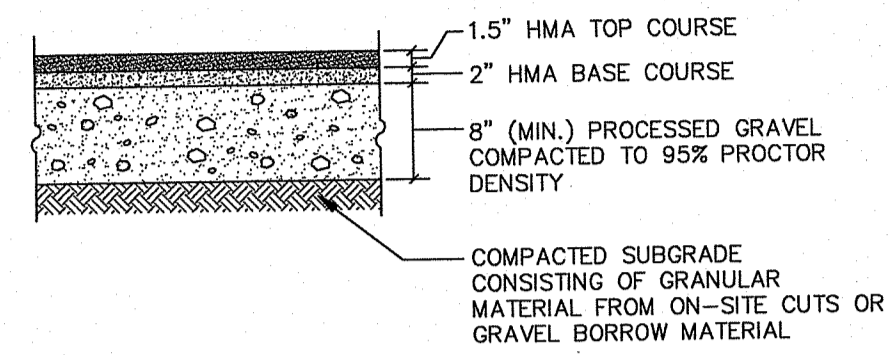
NOTE:  
CONTROL JOINTS TO BE AT 5'-0" O.C.

**CONCRETE SIDEWALK W/ INTERGRAL CURB**  
NOT TO SCALE

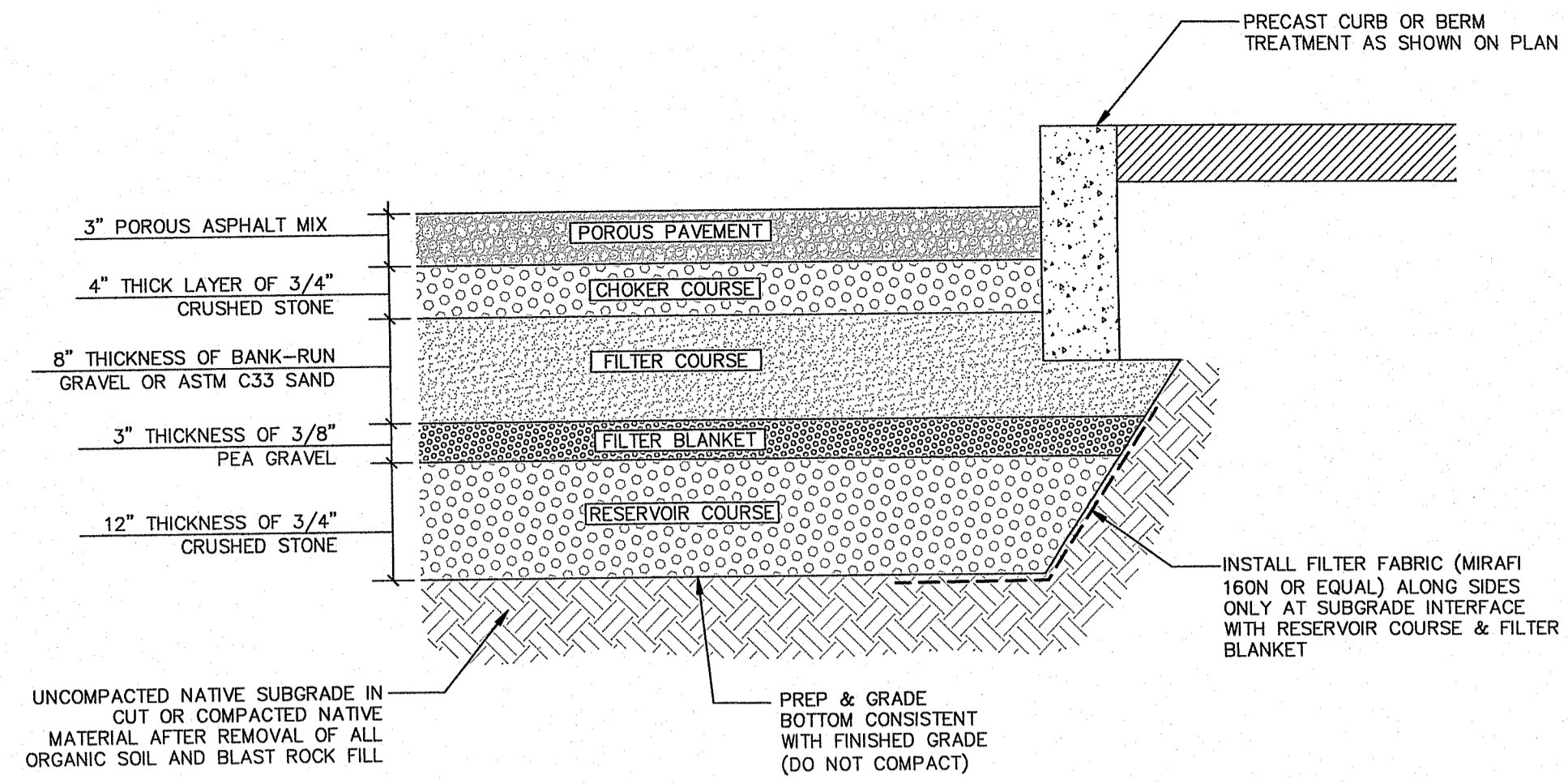


NOTE:  
CONTROL JOINTS TO BE AT 15'-0" O.C.,  
TOOLED JOINTS SHALL BE EVERY 5'-0" O.C.

**CONCRETE SIDEWALK AT LANDSCAPE**  
NOT TO SCALE



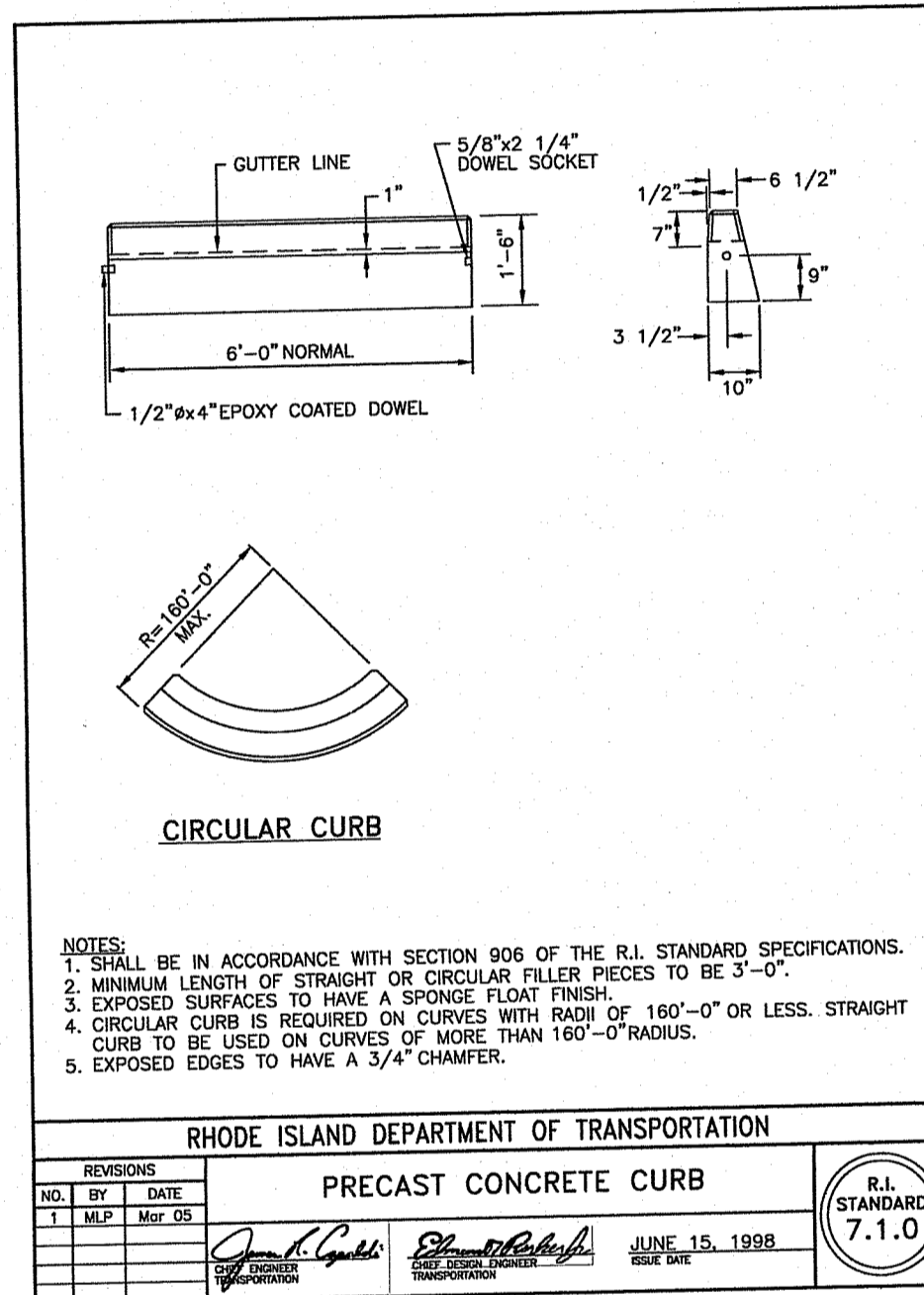
**STANDARD BITUMINOUS PAVEMENT SECTION**  
NOT TO SCALE



NOTES:

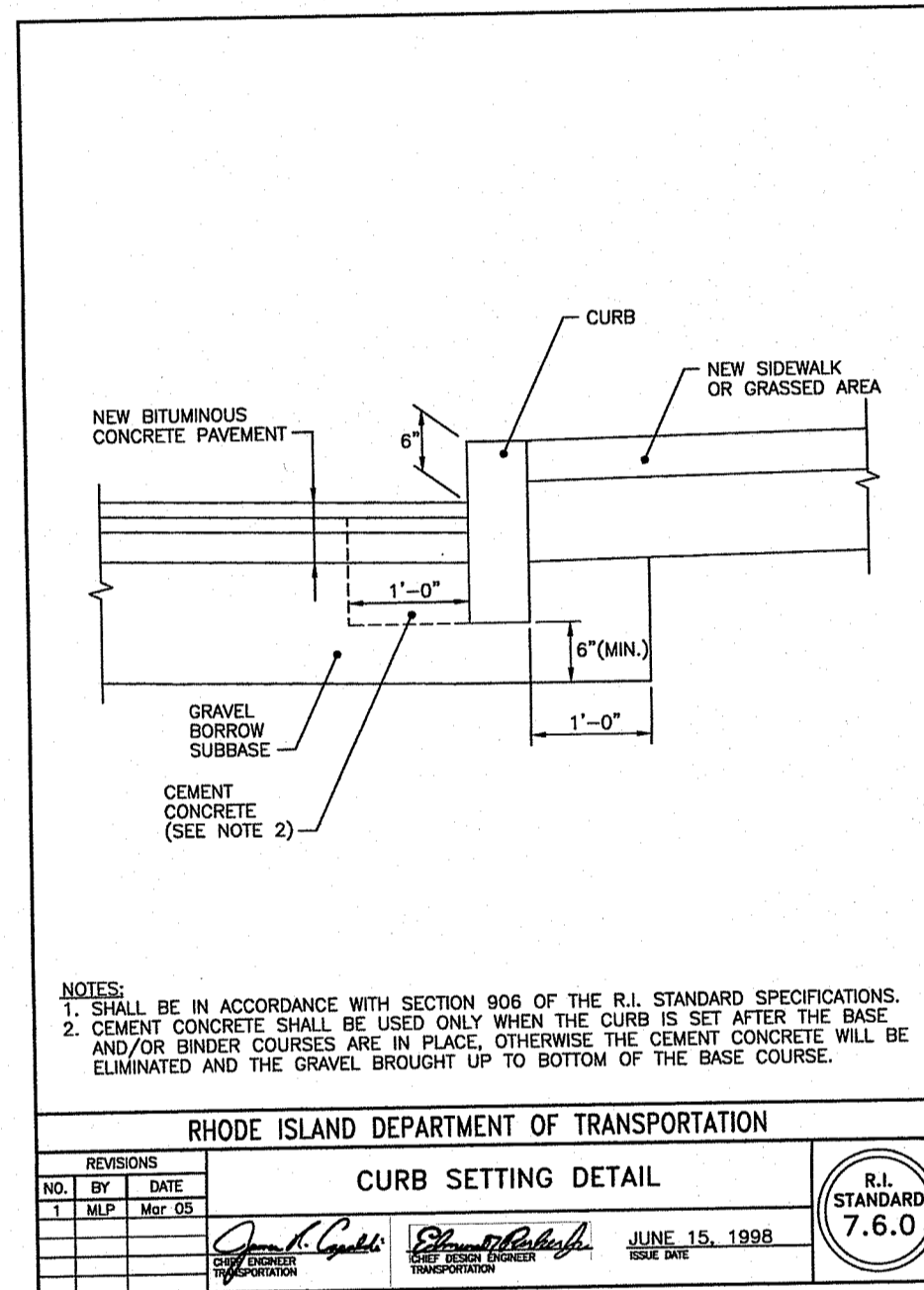
- CONSTRUCTION SHALL FOLLOW UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS WHICH CAN BE FOUND ONLINE OR PROVIDED UPON REQUEST.
- CONTRACTOR TO INCLUDE THE COST AS SHOWN ABOVE AND MAY SUBMIT FOR APPROVAL A CHANGE REQUEST FOR ALTERNATIVE MATERIALS AND/OR METHODS.

**PERMEABLE BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



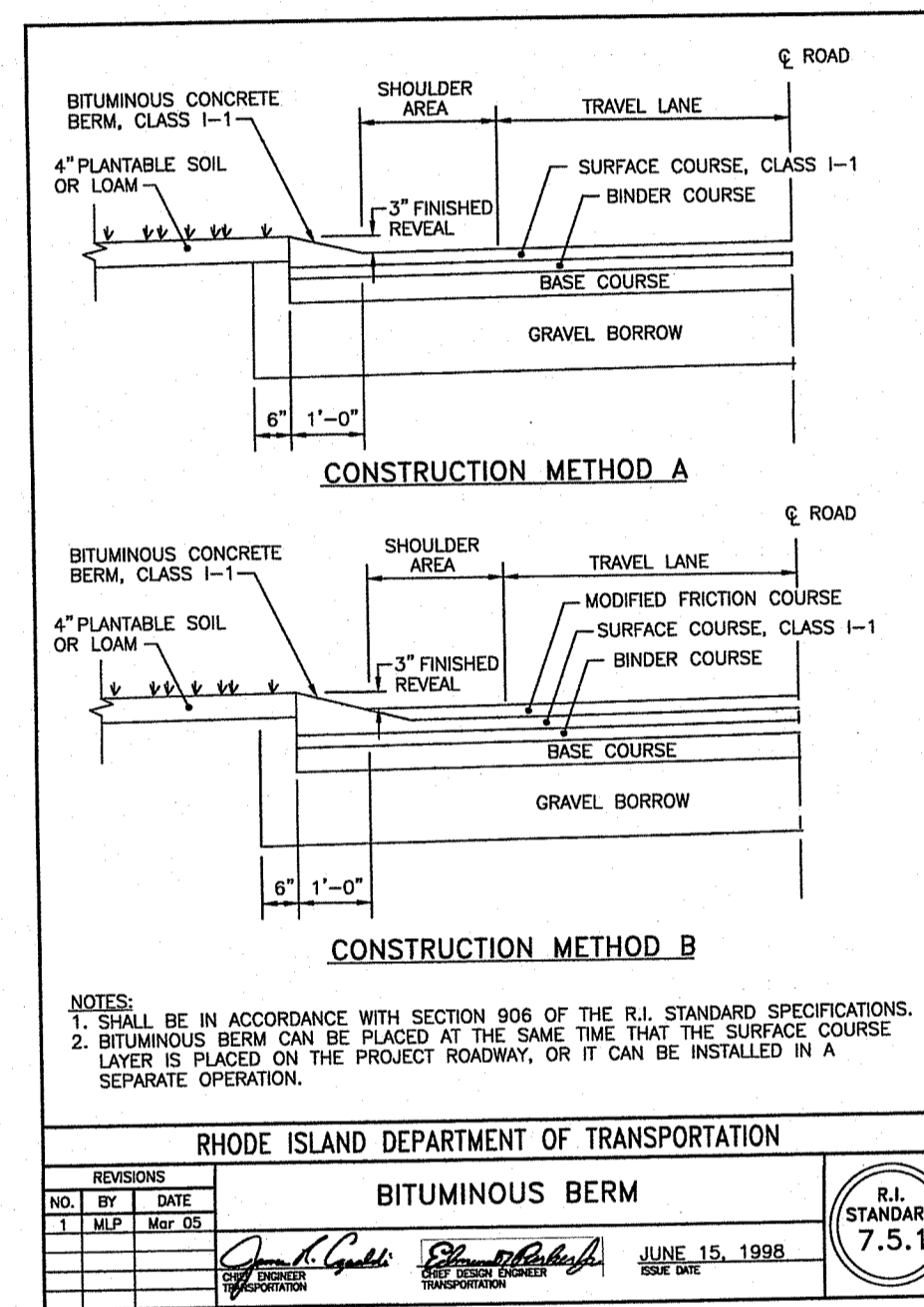
NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILER PIECES TO BE 3'-0".  
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.  
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.  
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION	
PRECAST CONCRETE CURB	
NO.	DATE
1	M.P. MAY 08
JUNE 15, 1998	
R.I. STANDARD 7.1.0	



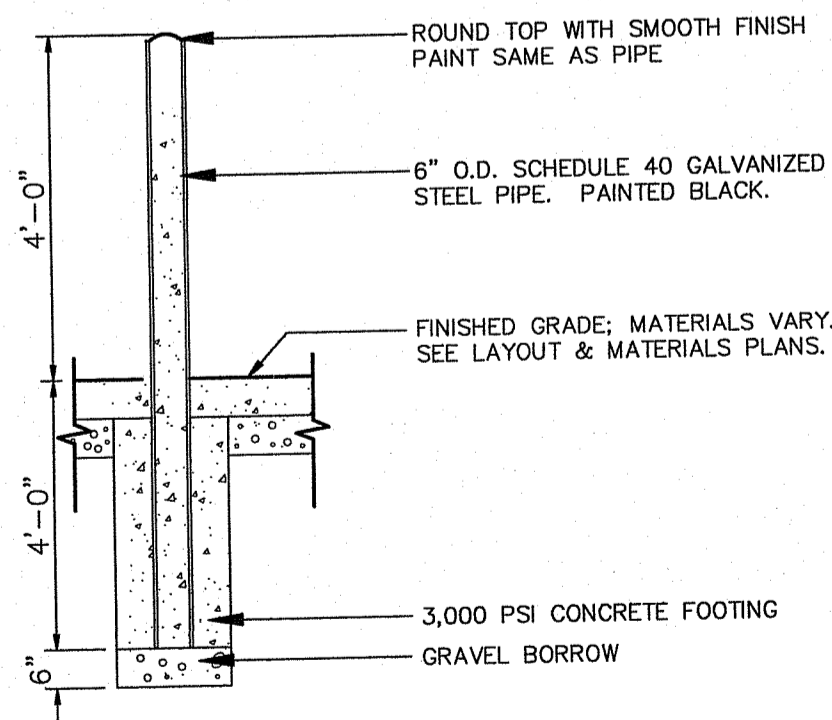
NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION	
CURB SETTING DETAIL	
NO.	DATE
1	M.P. MAY 08
JUNE 15, 1998	
R.I. STANDARD 7.6.0	



NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION	
BITUMINOUS BERM	
NO.	DATE
1	M.P. MAY 08
JUNE 15, 1998	
R.I. STANDARD 7.5.1	



**STEEL PIPE BOLLARD**  
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS AS  
SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JAN 06 2025 FILE #: 24-0244  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

**Advanced Civil Design, Inc.**  
CIVIL ENGINEERS  
88 PEEPTOAD ROAD  
SCITUATE, RI 02857  
PH: (401) 473-4404

NO. DATE REVISION

PROJECT:  
**A Child's University  
Building Addition**  
ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
SMITHFIELD, RI 02917

OWNER/APPLICANT:  
**ACU REALTY, LLC**  
5600 POST RD STE 114  
EAST GREENWICH, RI 02918

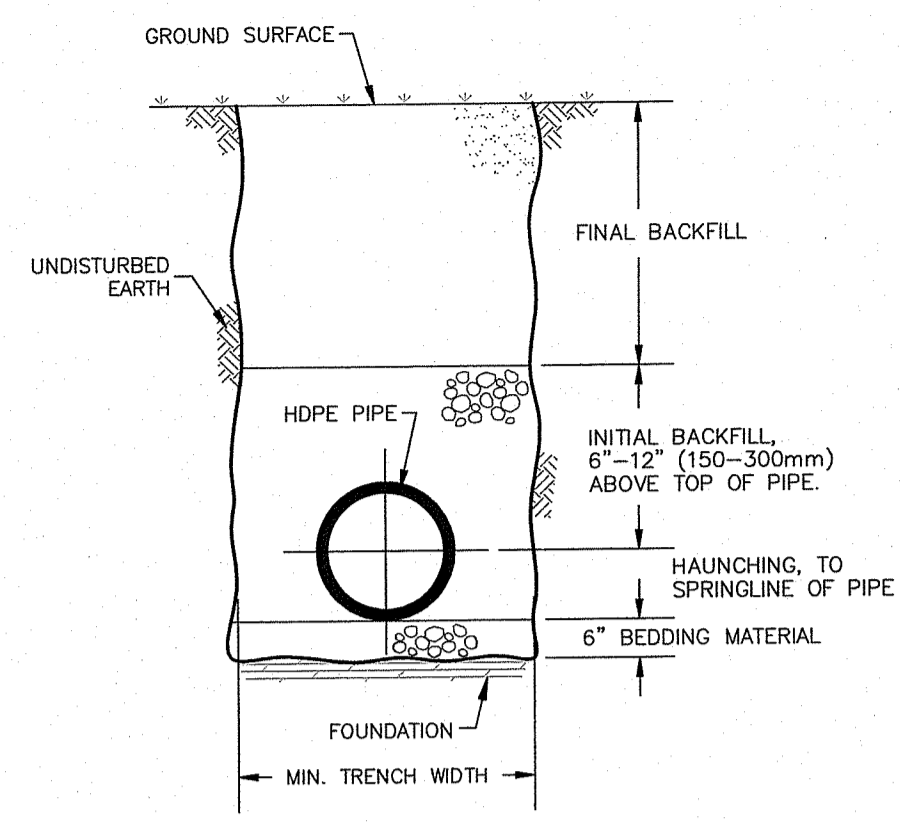
DRAWING TITLE:  
**DETAILS - SITE MATERIALS**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
SCALE: AS NOTED CHECKED BY: C.S.R.

CURTIS S. RUOTOLO  
No. 8756  
REGISTERED  
PROFESSIONAL ENGINEER  
(CIVIL)

**C-6**

SHEET 6 OF 8



**MINIMUM TRENCH WIDTHS:**

PIPE DIA.	TRENCH WIDTH
6"	24"
8"	24"
10"	30"
12"	36"
15"	36"

**MINIMUM COVER FOR HDPE PIPE DIA. < 60" DIA.**  
 H25 (FLEXIBLE PAVEMENT)  
 HEAVY CONSTRUCTION

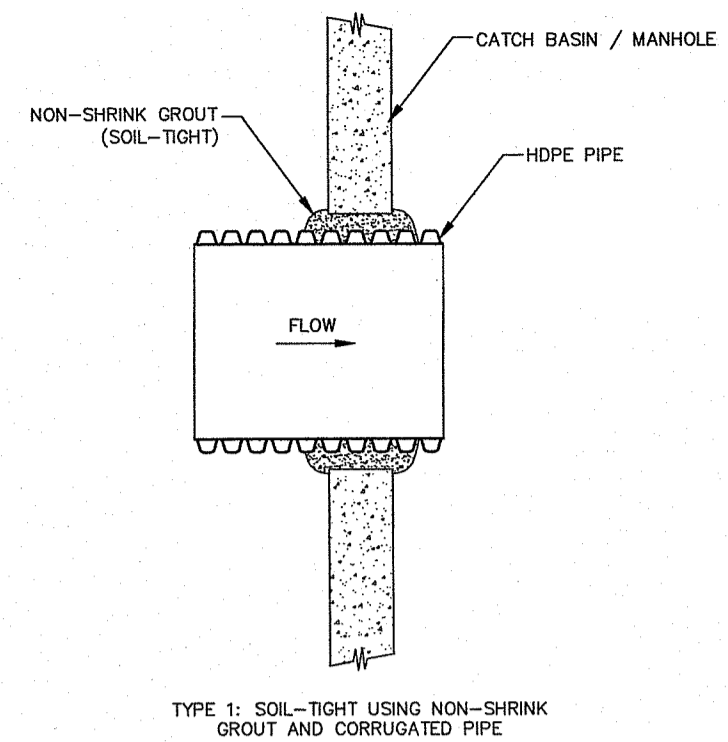
INITIAL BACKFILL, HAUNCHING, AND BEDDING MATERIAL SHALL CONFORM TO EITHER CLASS I, II, OR III STANDARDS.

CLASS I - ANGULAR CRUSHED STONE OR ROCK, DENSE OR OPEN GRADED WITH LITTLE OR NO FINES (1" TO 1 1/2" SIZE)

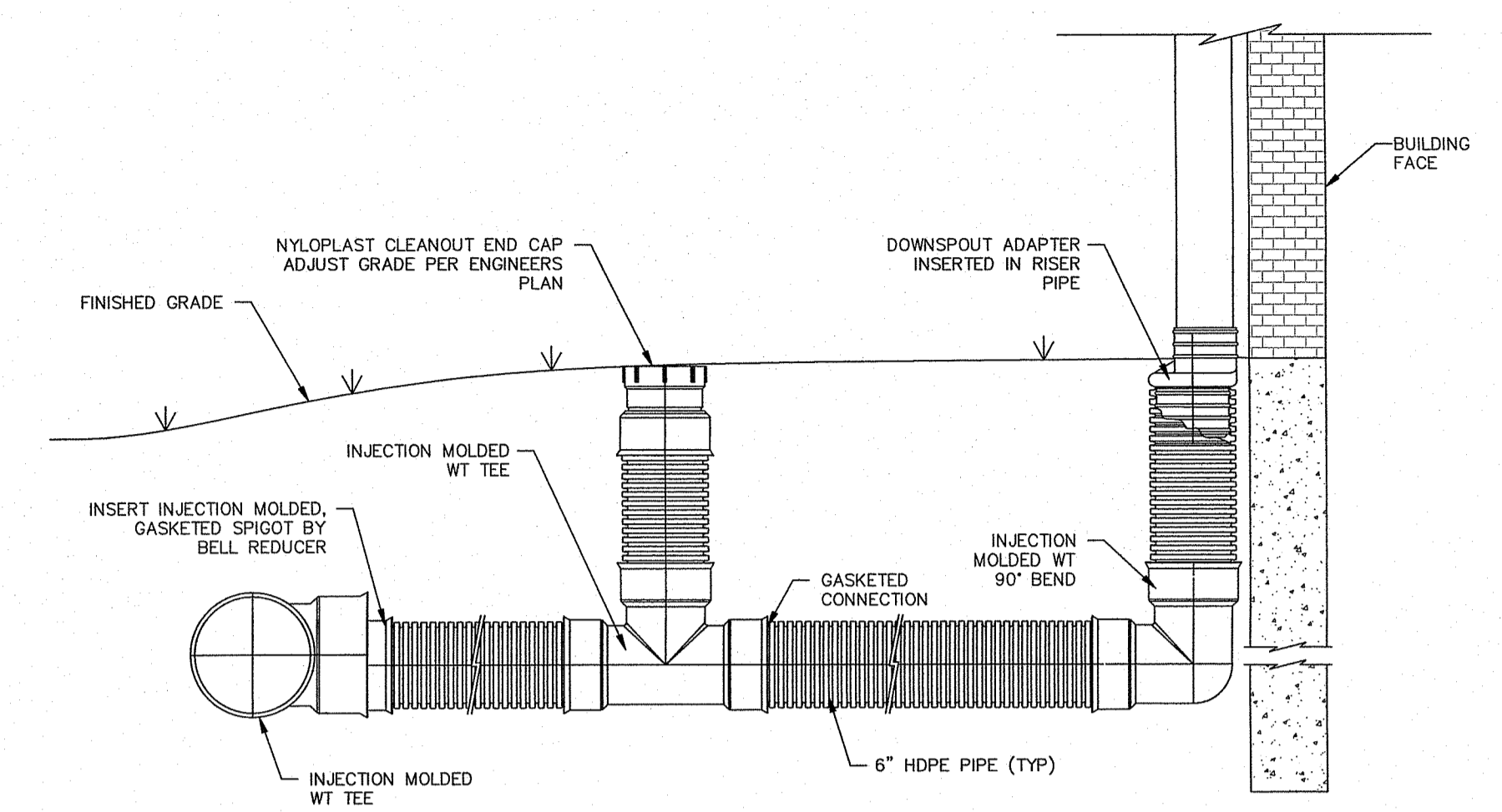
CLASS II - CLEAN, COARSE GRAINED MATERIALS, SUCH AS GRAVEL, COARSE SANDS, AND GRAVEL/SANDS MIXTURES (1 1/2" SIZE) (AASHTO CLASSIFICATION A1 & A3)

CLASS III - COARSE GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY GRAVELS OR SANDS. GRAVEL OR SAND MUST COMPRISE MORE THAN 50% OF CLASS III MATERIALS (1 1/2" SIZE) (AASHTO CLASSIFICATIONS A-2-4 & A-2-5)

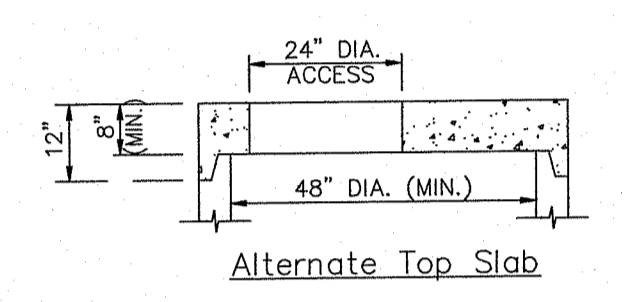
**HDPE PIPE TRENCH DETAIL**  
NOT TO SCALE



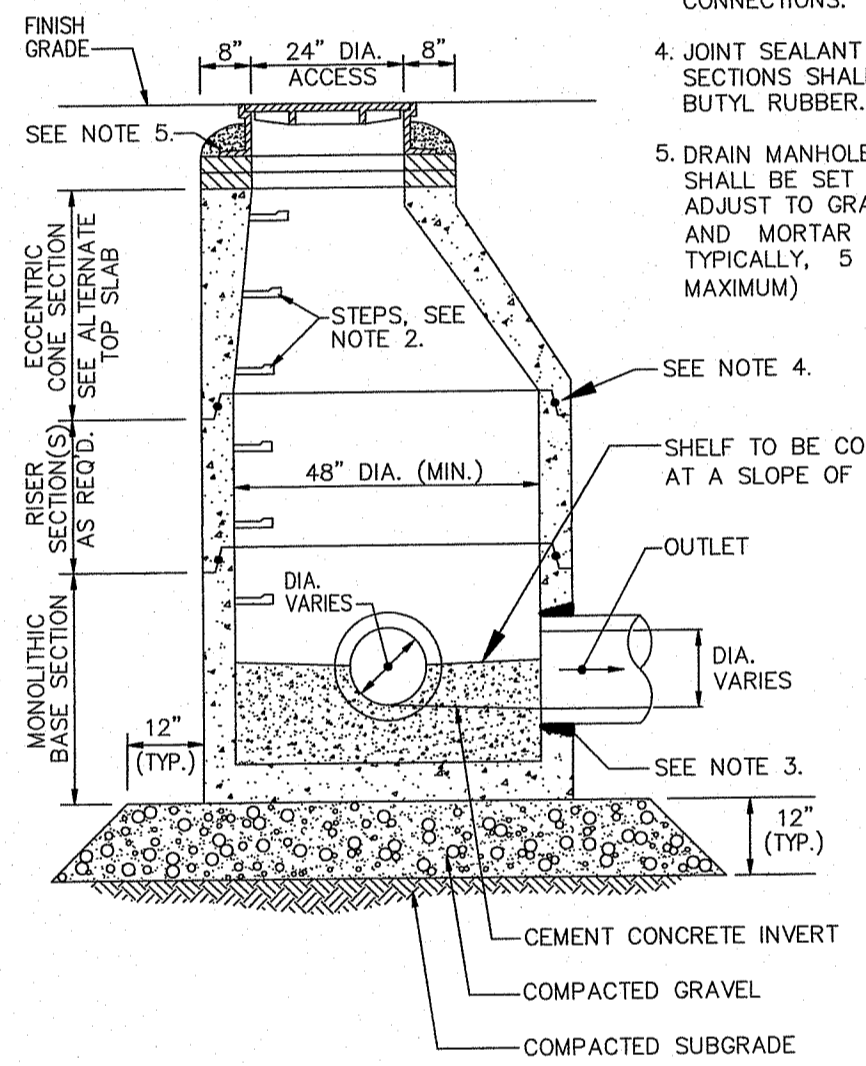
**HDPE PIPE TO MANHOLE CONNECTION**  
NOT TO SCALE



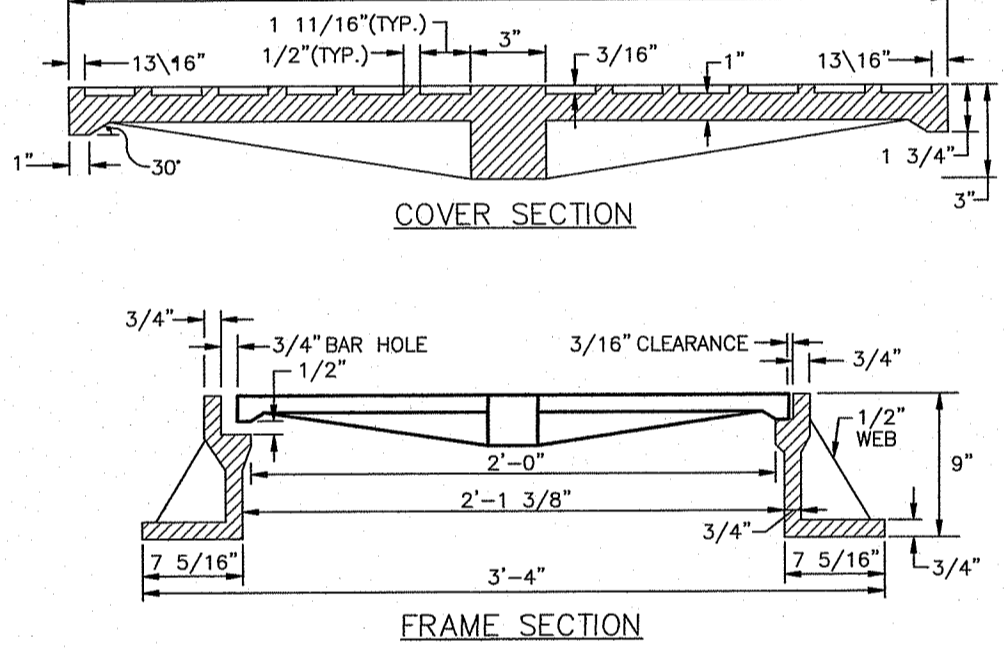
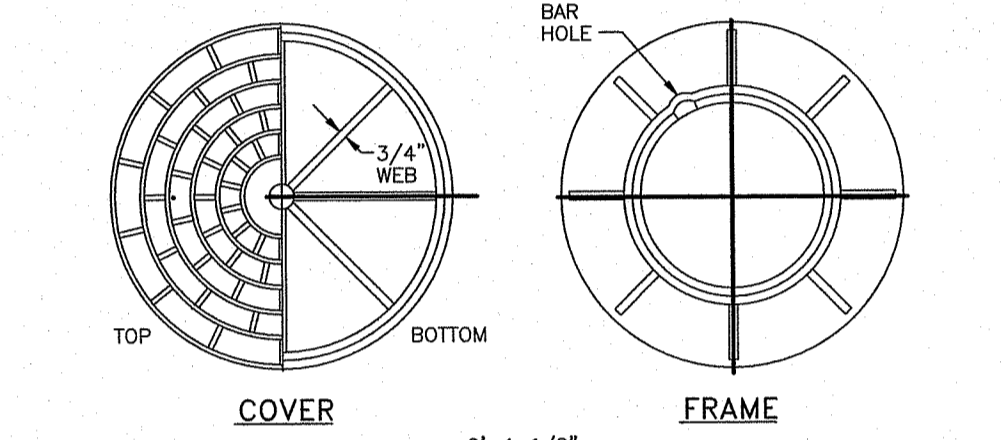
**ROOF DOWNSPOUT CONNECTION DETAIL**  
NOT TO SCALE



- NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
  5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

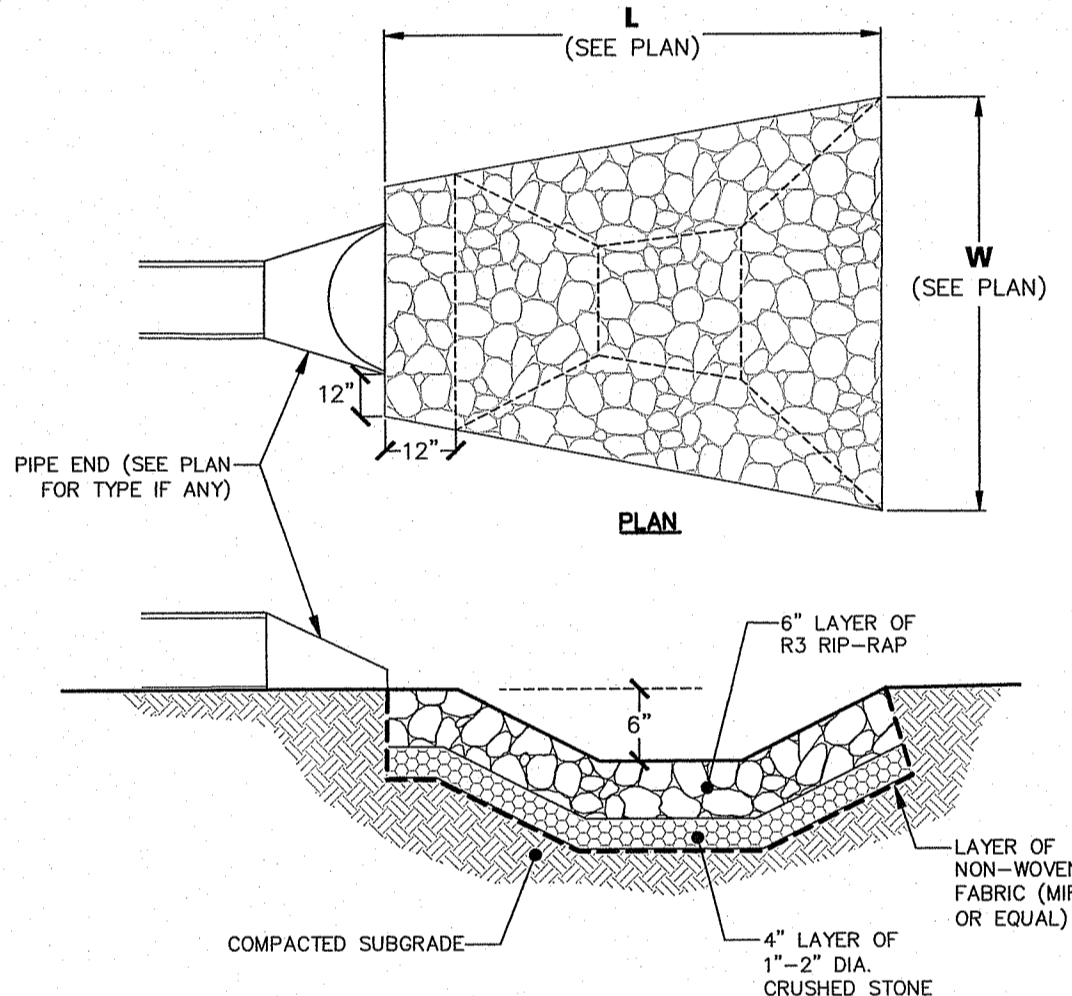


**PRECAST 48" DIA. DRAIN MANHOLE**  
NOT TO SCALE

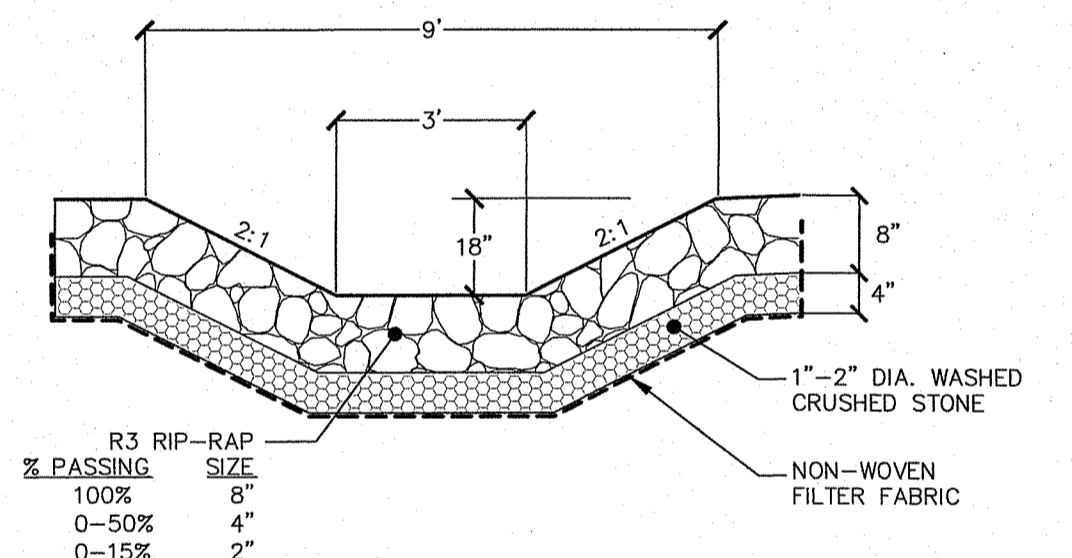


NOTE: CASTING BY EAST JORDAN IRON WORKS OR EQUAL.

**ROUND FRAME AND COVER**  
NOT TO SCALE



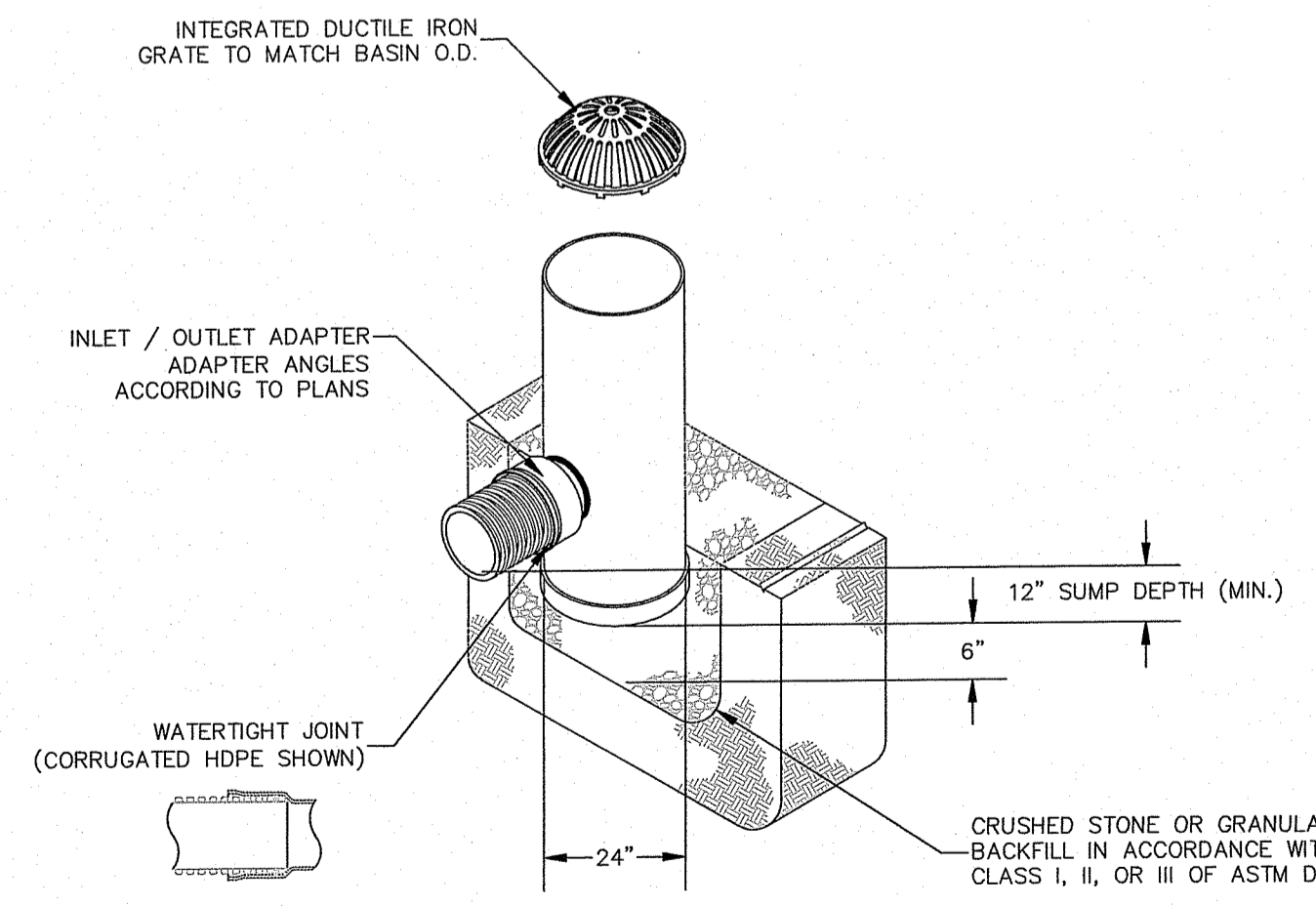
**RIP-RAP SWALE**  
NOT TO SCALE



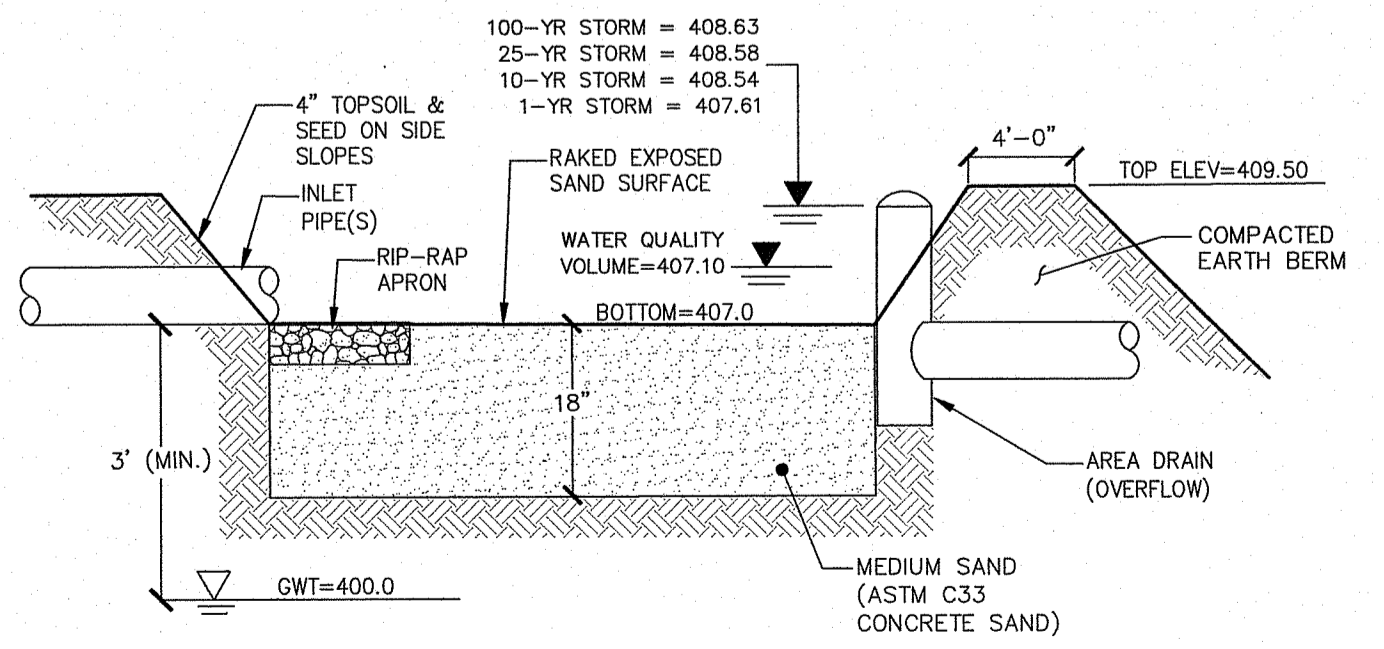
**RIP-RAP SWALE**  
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM

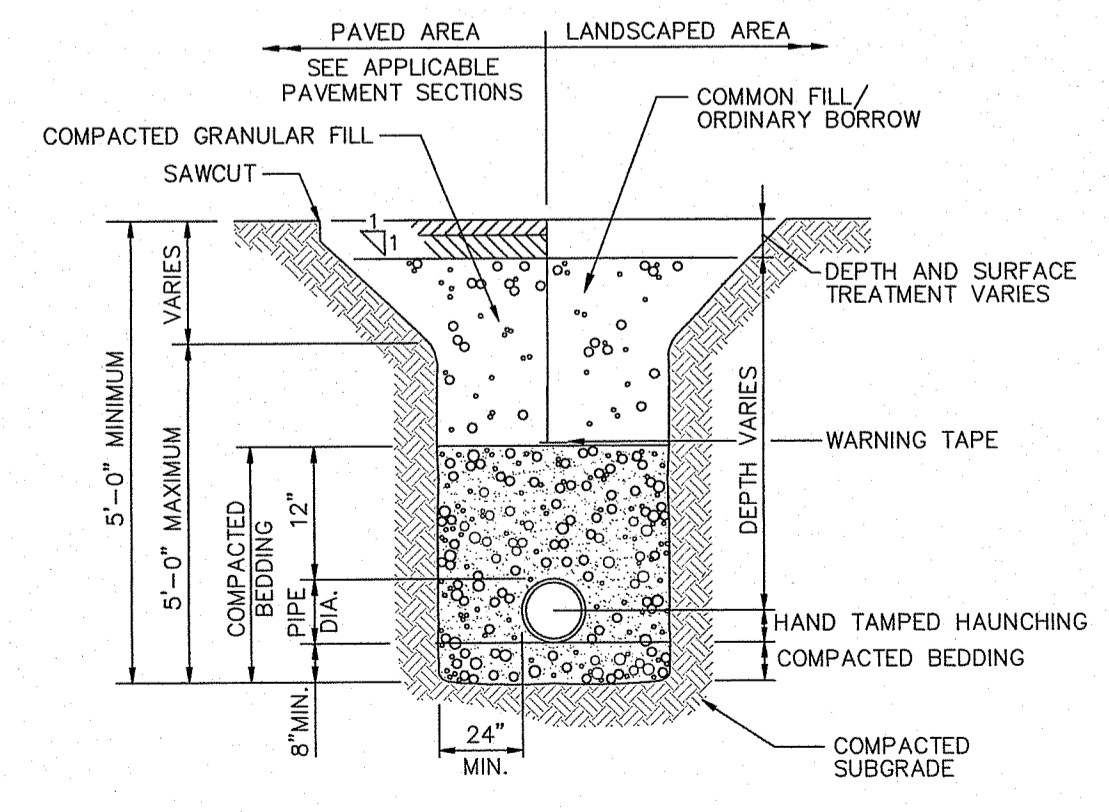
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED: JAN 06 2025 FILE #: Z4-0244  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



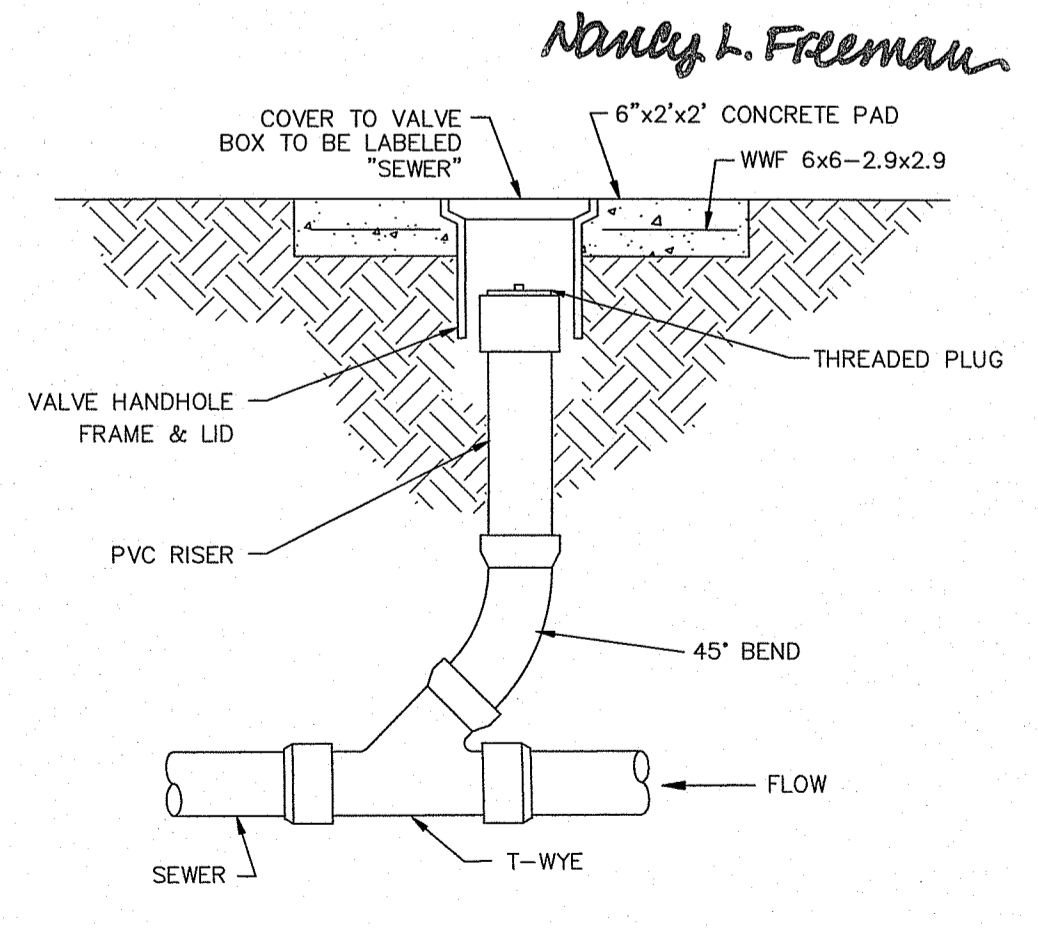
**24" DIA. AREA DRAIN (SAND FILTER BASIN OVERFLOW)**  
NOT TO SCALE



**SAND FILTER BASIN**  
NOT TO SCALE



**SEWER TRENCH DETAIL**  
NOT TO SCALE



**CLEANOUT DETAIL**  
NOT TO SCALE

**Advanced Civil Design, Inc.**  
 CIVIL ENGINEERS

88 PEEPTOAD ROAD  
 SCITUATE, RI 02857  
 PH: (401) 473-4404

NO.	DATE	REVISION

**A Child's University Building Addition**  
 ASSESSOR'S PLAT 48 LOT 3 LAND UNIT 3  
 SMITHFIELD, RI 02917

OWNER/APPLICANT:  
**ACU REALTY, LLC**  
 5600 POST RD STE 114  
 EAST GREENWICH, RI 02818

**DETAILS - DRAINAGE & UTILITIES**

DATE: SEPTEMBER 2024 DESIGNED BY: C.S.R.  
 SCALE: AS NOTED CHECKED BY: C.S.R.

DRAWING NO. **C-7**

REGISTERED PROFESSIONAL ENGINEER (CIVIL)  
 No. 8756

SHEET 7 OF 8

