

ZONING: R-10 (10,000 S.F.)
 MINIMUM LOT WIDTH - 100'
 MAXIMUM LOT COVERAGE - 22%
 YARDS: FRONT - 29'
 SIDE - 12'
 REAR - 24'
 MAXIMUM BUILDING HEIGHT - 30'

PROPOSED LOT 1
 EXISTING LOT COVERAGE:
 5,374 SQ. FT. ALLOWED

HOUSE / GARAGE	2,413 SQ. FT.
COVERED PORCH	114 SQ. FT.
BULK-HEAD	25 SQ. FT.
DECK	- 273 SQ. FT.
DRIVEWAY	3,081 SQ. FT.
PROPOSED NET LOT COVERAGE = 5,360 SQ. FT.	
5,360 SQ. FT. / 24,430 SQ. FT. = 22% LOT COVERAGE	
13% OF EXISTING BUILDING FOOTPRINT ALLOWED TO BE OVER LOT COVERAGE FOR OPEN AIR DECK	

PLAN REFERENCES:

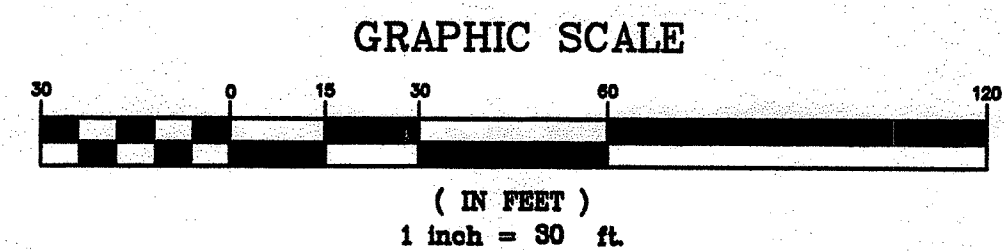
DISTRICT OF NARRAGANSETT MAP OF EARLE'S COURT AS LAID OUT BY THOMAS G. HAZARD, JR. ALPHONSO CONDON AND HORATIO H. KIDWELL COMMITTEE SCALE 80' = 1" AUG. 9, 1900 THOMAS G. HAZARD JR. SURVEYOR
 ANNA OLIVA PLAT NO. 2 IN NARRAGANSETT, R.I. BY J.A. LATHAM & SONS, ENGRS. AUG. 1950 SCALE 50 FEET PER INCH PLAT BOOK 6 PAGE 13
 SECTION ONE GIBSON OAKS TOWN OF NARRAGANSETT, R.I. PROPERTY OF FRANK N. & ROSE V. DIGIACOMO JUNE 1967 A.J. EASTERBROOKS PLAT BOOK 6 PAGE 85
 ADMINISTRATIVE SUBVISION PROPERTY ON THE SOUTHERLY SIDE OF EARLE'S COURT, TOWN OF NARRAGANSETT, R.I. LOTS 124 & 125, ASSESSOR'S PLAT E (DEC. 31 1996) OWNED BY ANTHONY & LUCILLE MICACCI NOVEMBER 1997 A.J. EASTERBROOK, PLS PLAT BOOK 11 PAGE 3
 RESUBDIVISION OF PROPERTY SITUATED BETWEEN EARLE'S COURT AND WOODWARD AVENUE IN THE TOWN OF NARRAGANSETT, R.I. OWNED BY ANTHONY & LUCILLE MICACCI DECEMBER, 1996 A.J. EASTERBROOKS, PE PLAT BOOK 11 PAGE 35

GENERAL NOTES:

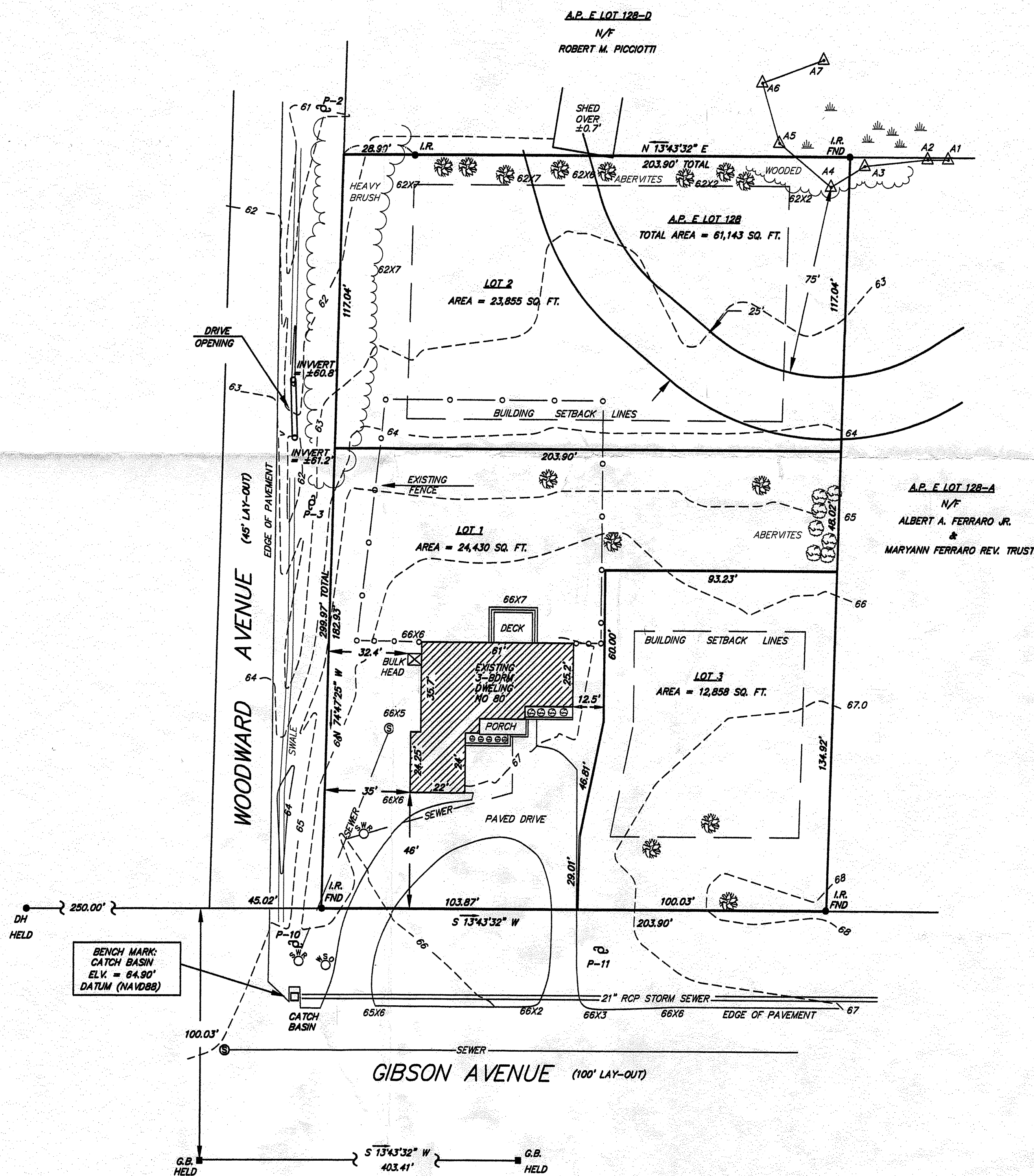
- 1.) SITE LIES IN ZONE "A" PER FEMA FLOOD INSURANCE MAP COMMUNITY PANEL # 44009 C 0212 DATED 10/16/2013
- 2.) SITE LIES IN NARRAGANSETT HIGH WATER TABLE SOILS
- 3.) SITE IS SERVED BY MUNICIPAL SEWER AND WATER.
- 4.) ALL UTILITIES SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG-SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

LEGEND

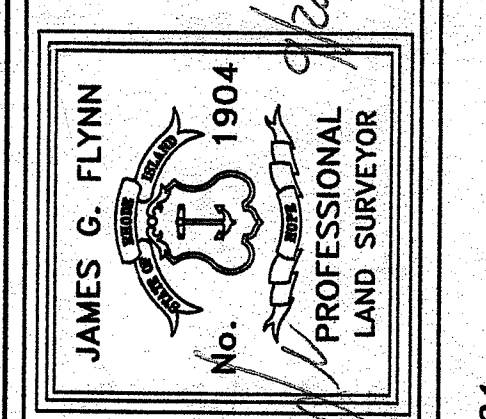
- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- G.B. GRANITE BOUND FOUND
- I.R. IRON ROD SET
- I.P. IRON PIPE
- FND FOUND
- UTILITY POLE
- 22/15 DEED BOOK AND PAGE
- SEWER MAN-HOLE
- SEWER CLEAN-OUT PER TIES
- WATER SERVICE PER TIES
- FIRE HYDRANT
- 25 EXISTING CONTOUR
- 25X2 ELEVATION SPOT SHOT
- x-x- SOIL EROSION CONTROL
- APPROXIMATE WETLANDS



SURVEY STREET INDEX
 THIS PLAN SHALL BE FILED UNDER GIBSON AVENUE & WOODWARD AVENUE



FLYNN SURVEYS INC.
 22 STANTON AVENUE
 NARRAGANSETT, R.I. 02882
 401-783-6290
 LAND SURVEYING / MAPPING / SITE PLANNING



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED SUBJANT TO 435-RICK-00-01-01 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 18, 2018, AS FOLLOWS:
 STATEMENT OF PURPOSE: THE PURPOSE FOR THE CONDUCT OF THIS SURVEY AND THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
 CLASS III
 TOPOGRAPHIC SURVEY ACCURACY CLASS III
 HORIZONTAL ACCURACY STANDARD 1/2" = 1'-2"
 VERTICAL ACCURACY STANDARD 1/4" = 1'-2"
 BY: JAMES G. FLYNN, P.L.S., NO. 1904, COMM. A 298

SURVEY SKETCH PLAN SHOWING
 PROPOSED SUBDIVISION
 ASSESSOR'S PLAT E LOT 128
 80 GIBSON AVENUE
 NARRAGANSETT, RHODE ISLAND

JOB NO. 1828
 DRAWING NO. 1828-1

OWNER:
 JULIA L. WESTCOTT
 730 KINGSTOWN ROAD
 WAKEFIELD, R.I. 02879

DATE: SEPTEMBER 21, 2024
 SCALE: 1" = 30'

OCT 25 2024
 Office of Motor Vehicles