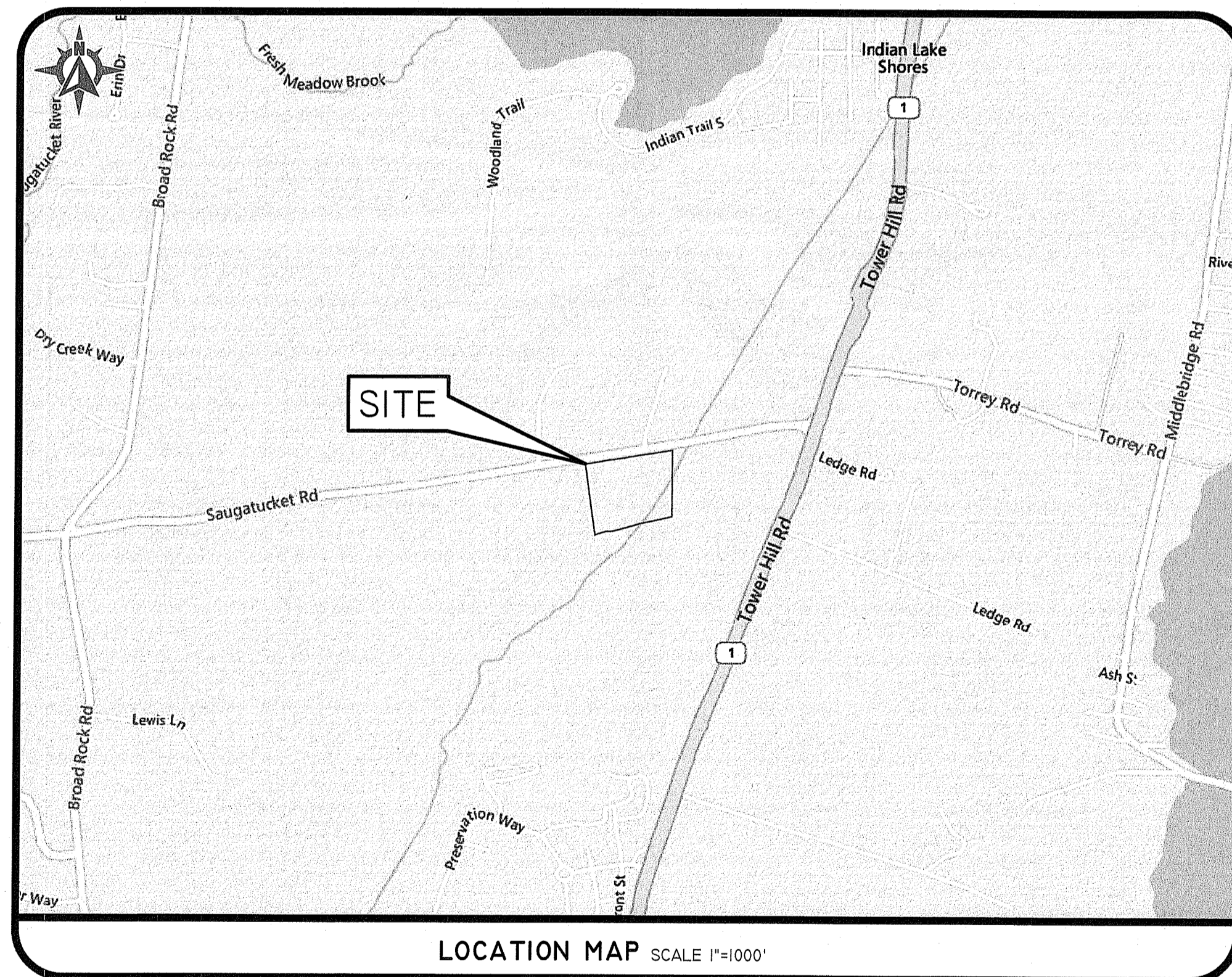


RIDEM SUBMISSION

SAUGATUCKET ACRES

176 SAUGATUCKET ROAD
SOUTH KINGSTOWN, RHODE ISLAND
ASSESSOR'S PLAT 42 LOT 9



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- 8 POND COMPLEX A
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RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2025 FILE #: 24-0276
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SESC / O&M
THE SOIL EROSION AND SEDIMENT CONTROL PLAN
(SESC) AND STORMWATER OPERATION AND
MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS
WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE
CONTRACTOR AND OWNER ON SITE.

DiPrete Engineering
Engineers • Planners • Surveyors
www.diprete-eng.com
Two Stafford Court, Cranston, RI 02920 • Tel. 401-943-1000

MOLLY R. TITUS
No. [Signature]
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET IS NOT BE USED FOR CONSTRUCTION UNLESS UNLESS STAMPED FOR CONSTRUCTION AND STAMPED BY ENGINEERING PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROFESSIONAL ENGINEER'S SEAL AND PROFESSIONAL ENGINEER DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS, DESIGN, CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

NO UTILITIES SHOWN ON THIS PLAN ARE ASSUMED TO BE EXISTING UNLESS INDICATED OTHERWISE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 2.

NO.	DATE	DESCRIPTION	S.D.W.	S.I.P.	BY:	DESIGN BY: K.E.D.
1	01/27/2025	RIDEM - RESPONSE TO COMMENTS				
0	10/12/2024	RIDEM SUBMISSION				

COVER SHEET
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:
JOSEPH CHARPENTIER
P.O. 6043, WORCESTER, MA 01606
TEL. 774-696-3814

JAN 20 2025

Z:\DEPT\PROJECTS\2877-001 SAUGATUCKET ROAD TRAFFIC\0400 DRAWINGS\3287-001-CAR.DWG PLOTTER: 1/25/2025

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 42 LOT 9.
2. THE SITE IS APPROXIMATELY 9.38 ACRES AND IS ZONED R-40.
3. THE OWNER OF AF 42 LOT 9 IS:
JAE MILLS LLC
P.O. BOX 6043
WORCESTER, MA 01606

- 4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 440902030K. MAP REVISED APRIL, 3, 2020. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.

- 5. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIRPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIRPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

- 7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS WITHIN A:
NATURAL HERITAGE AREA (RIEM)
THDL WATERSHED - INDIAN RUN BROOK (RIEM)

- 9. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIEM)
SPECIAL AREA MANAGEMENT PLAN (CRMC)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
SPECIAL FLOOD HAZARD OVERLAY DISTRICT (TOWN)
EXISTING AGRICULTURAL USE AREA
OWTS CRITICAL RESOURCE AREA (RIEM)
DRINKING WATER SUPPLY WATERSHED (RIEM)
10. THERE ARE NO UNIQUE NATURAL FEATURES ON SITE.
11. THE SITE IS LOCATED WITHIN THE FRESHWATER WETLAND BUFFER RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (250-RRR-150-15-3.2A).
12. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
• SOIL EROSION CONTROL MEASURES
• SHORT TERM MAINTENANCE
• ESTABLISHMENT OF VEGETATIVE COVER
• CONSTRUCTION POLLUTION PREVENTION
• SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
• LONG TERM MAINTENANCE
• LONG TERM POLLUTION PREVENTION

- 21. THIS PLAN SET REFERENCES RIOT STANDARD DETAILS (DESIGNATED AS RIOT STD X.X.X). RIOT STANDARD DETAILS ARE AVAILABLE FROM RIOT AND ONLINE AT:
HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
22. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PRIVATE OWTS.
23. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF DRYWELLS AND INFILTRATION PONDS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIOT BEST MANAGEMENT PRACTICES.
24. THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE AND HOMES ARE PROPOSED TO BE 4 BEDROOMS.
25. SOIL EVALUATIONS AND INFILTRATION TESTS WERE COMPLETED BY DIRPRETE ENGINEERING ON 11/6/2022, 12/16/2022, 12/16/2022, AND 09/05/2024.
26. WETLAND EDGE DELINEATED BY DIRPRETE ENGINEERING AND SURVEYED BY DIRPRETE ENGINEERING USING SUBMETER GPS ON DATE 12/05/2023.
27. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY A COMPLETED 'SUBSTITUTION REQUEST' CSI FORM 13.14 (APRIL 2022 VERSION MODIFIED BY DIRPRETE ENGINEERING 2023) - FORM AVAILABLE FROM DIRPRETE ENGINEERING. SUBMISSION PACKAGE MUST INCLUDE APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVES MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE CEOR.
28. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIRPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS, IF A DIRPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIRPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

RIDEM SITE SUITABILITY NOTES:

- 1. THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
2. THERE ARE NO KNOWN EXISTING OR PROPOSED OWTS WITHIN 200 FT OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
3. THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT OF THE PROPOSED DEVELOPMENT.
4. THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT OF A PROPOSED OWTS EXCEPT WHERE SHOWN.
5. RESIDENTIAL HOMES ARE TO BE SERVICED BY PUBLIC WATER AND PRIVATE ONSITE WASTEWATER TREATMENT SYSTEMS.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME, DESCRIPTION. Rows include BBA* BROADBROOK SILT LOAM, 0 TO 3 PERCENT SLOPES; RAB* RAINBOW SILT LOAM, 3 TO 8 PERCENT SLOPES; SE STISSING SILT LOAM; SF STISSING VERY STONY SILT LOAM.

NOTE: *PRIME FARMLAND

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATIVES CONFIGURATION WILL BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. ONCE THE SEDIMENT TRAPS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
5. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
6. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
7. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.
8. SLOPES STEEPER THAN 3:1 REQUIRE TEMPORARY EROSION CONTROL BLANKETS. TEMPORARY EROSION CONTROL BLANKETS TO BE NORTH AMERICAN GREEN OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
9. AT THE COMPLETION OF CONSTRUCTION AND PRIOR TO DEMOLITION, CONTRACTOR MUST FLUSH AND CLEAN THE ENTIRE DRAINAGE NETWORK, ALL STRUCTURES AT DOWNSTREAM CONNECTION POINTS, WATER QUALITY SYSTEMS, INFILTRATION BASINS, ETC. CLEANING MUST INCLUDE REMOVAL OF ALL SEDIMENTS AND DEBRIS FROM PIPES AND ALL DRAINAGE COMPONENTS. WASTE MATERIAL MUST BE LEGALLY DISPOSED OF OFF SITE.
10. ALL EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.

SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:

- 1. OVERALL SITE CONSTRUCTION PHASING TO BE BASED PER SEDIMENT TRAP CONTRIBUTING CATCHMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE CEOR.
2. SEDIMENT EROSION CONTROL PHASING TO MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.
3. ANY AREAS THAT ARE CLEARED AND GRUBBED THAT ARE EITHER A) NOT TRIBUTARY TO A SEDIMENT TRAP, OR B) ARE NOT INTENDED FOR IMMEDIATE DEVELOPMENT/ EARTHWORKING, MUST BE STABILIZED IMMEDIATELY INCLUDING (BUT NOT LIMITED TO) SLOPE INTERRUPTERS, HYDROSEED BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWING MEDIUM (FGM) BEST SUITED TO THE INSITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST NOTIFY 'DIG SAFE' AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
7. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TESTS. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
8. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
9. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
10. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THE CONTRACTOR MUST BE NOTIFIED OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. THE HOUSES SHOWN ARE SCHEMATIC ONLY AND WILL BE DESIGNED PRIOR TO BUILDING PERMIT APPLICATIONS.
6. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
7. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
8. ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 8-4.10 OF HERRITT PARKWAY AESTHETIC GUIDANCE. 'OT' OR AASHTO ROADSIDE DESIGN GUIDE 4TH EDITION 2011. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE CEOR IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND THE CEOR PRIOR TO CONSTRUCTION. GUARDRAIL IS REQUIRED AT ALL ROADWAYS/PARKING LOTS/PAVED TRAFFIC AREAS ADJACENT TO SLOPES WITH A HEIGHT GREATER THAN SIX FEET AT A 3:1 SLOPE, AND ALL SLOPES WITH A HEIGHT GREATER THAN THREE FEET AT A 2:1 SLOPE, AND ALL RETAINING WALLS GREATER THAN TWO FEET IN HEIGHT. THE CONTRACTOR IS RESPONSIBLE TO MEET ANY AND ALL GUARDRAIL PROVISIONS THAT MAY BE REQUIRED BY THE AHJ.
9. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
10. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
11. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER. PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR OF SEVERAL TWO (2) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. DIRPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

GRADING, DRAINAGE, AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SPRING 2025 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIRPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIRPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIRPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ONSITE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. NO STUMP DUMPS ARE ALLOWED ON SITE.
12. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
13. CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
15. ALL RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATIONS SHOWN ON PLANS, MUST HAVE A MINIMUM OF 12" OF SEPARATION TO THE SEASONAL HIGH GROUNDWATER TABLE. DIRPRETE ENGINEERING ONLY CERTIFIES TO THE SOIL COLUMN IN AREAS WHERE ADDITIONAL TESTING WILL BE REQUIRED DURING CONSTRUCTION TO VERIFY SEASONAL HIGH GROUNDWATER. ALL TESTING TO BE WITNESSED BY A LICENSED SOIL EVALUATOR. CONTRACTOR TO NOTIFY DESIGN ENGINEER IF SOIL CONDITIONS ARE FOUND TO DIFFER OR IN CONFLICT WITH A MINIMUM OF 12" OF SEPARATION.
16. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) WALL DRAINS (WD), AND DOWNSPOUTS (DS) AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

- 17. ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE), OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES DO NOT REQUIRE BRICK INVERT AS SHOWN IN DOT DETAILS.
18. DRAINAGE STRUCTURES MUST BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS:
• CATCH BASINS ALONG CURBING: RIOT STD 4.4.0, 4.4.0, TYPE F, 4' DIAMETER WITH APRON STONE
• CATCH BASINS NOT ALONG CURBING: RIOT STD 4.4.0, 4' DIAMETER
• CATCH BASINS MUST HAVE 3 FT SLOPES WITHOUT SEEP HOLES
• SINGLE FRAME CATCH BASIN GRATES: RIOT STD 6.3.2
• DOUBLE FRAME CATCH BASIN GRATES: RIOT STD 6.3.2
• HIGH CAPACITY CATCH BASIN GRATES: RIOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 6% AND STEEPER
• DRAINAGE MANHOLE COVERS: RIOT STD 6.2.1
• DROP INLETS: RIOT STD 4.4.0, 4.5.1 OR 4.5.2
• APRON STONE, WHERE REQUIRED: RIOT STD 7.1.7 OR 7.1.8
• HEADWALLS: RIOT STD 2.1.0
• MANHOLES: RIOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE SELECTION.
• ALL OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVER.
• FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), TRENCH DRAINS (TD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

- 1. ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NARRAGANSETT BAY COMMISSION RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL FITTINGS, STRUCTURE SEALS AND CONNECTIONS MUST BE WATERTIGHT.
2. ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH SOUTH KINGSTOWN WATER DIVISION REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASSULT PER PROVIDENCE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS
PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPLICABLE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS BETWEEN UNDERGROUND UTILITIES AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH RI ENERGY PRIOR TO CONSTRUCTION.

ABBREVIATIONS LEGEND

Table with 3 columns: Abbreviation, Description, Symbol. Includes ADA AMERICANS WITH DISABILITY ACT, AHJ AUTHORITY HAVING JURISDICTION, AP ASSESSOR'S PLAT, ARCH ARCHITECT, BC BOTTOM OF CURB, BT BOTTOM OF TESTHOLE, BIT BITUMINOUS (BERM), B10 BIORIENTATION, BS BASEMENT SLAB ELEVATION, BW FINISHED GRADE AT BOTTOM OF WALL, CB CALCULATED, (C) CALCULATED, CL CENTERLINE, (CA) CHORD ANGLE, CEOR CIVIL ENGINEER OF RECORD, DIRPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER, CLDIP CONCRETE LINED DUCTILE IRON PIPE, CO CLEAN OUT, CONC CONCRETE, (D) DEED, DCB DOUBLE CATCH BASIN, DI DROP INLET, DMH DRAINAGE MANHOLE, DP DETENTION POND, ELEV ELEVATION, EOP EDGE OF PAVEMENT, ESC EROSION AND SEDIMENT CONTROL, EX EXISTING, FES FLARED END SECTION, FFE FINISH FLOOR ELEVATION, GS GARAGE SLAB ELEVATION, GWT GROUND WATER TABLE, HW HEADWALL, HC HIGH CAPACITY CATCH BASIN GRATE, HDPE HIGH DENSITY POLYETHYLENE, ID INLINE DRAIN, INV INVERT, IP INFILTRATION POND, LARCH LANDSCAPE ARCHITECT, LF LINEAR FEET, LOD LIMIT OF DISTURBANCE, LP LIGHT POLE, (M) MEASURED, HEP MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER.

EXISTING LEGEND

Table with 3 columns: Description, Symbol, Description. Includes PROPERTY LINE, ASSESSORS LINE, BUILDING, BRUSHLINE, TREE LINE, GUARDRAIL, FENCE, RETAINING WALL, STONE WALL, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, WATER LINE, SEWER LINE, SEWER FORCE MAIN, GAS LINE, ELECTRIC LINE, OVERHEAD WIRES, DRAINAGE LINE, SOILS LINES, 25' BUFFER, 50' BUFFER, 75' BUFFER, 100' BUFFER, 150' BUFFER, 200' BUFFER, FEMA BOUNDARY, STREAM, WETLAND LINE & FLAG, STATE HIGHWAY LINE, STATE FREEWAY LINE, UNDERGROUND, DETENTION SYSTEM, UNDERGROUND, INFILTRATION SYSTEM, UTILITY POLE, WALKOUT ELEVATION, WO WATER QUALITY.

PROPOSED LEGEND

Table with 3 columns: Description, Symbol, Description. Includes DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THURST BLOCK, SEWER LINE, OVERHEAD LINE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT.

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIRPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIRPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

THE PURPOSE OF THIS PLAN SET IS TO OBTAIN A PERMIT FROM THE REGULATORY AGENCY IT WAS SUBMITTED TO. THIS PLAN SET CONTAINS THE REQUIRED INFORMATION NECESSARY FOR APPROVAL BY THE SPECIFIC AGENCY IT WAS SUBMITTED TO AND MAY NOT HAVE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS PLAN SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS (BUT NOT LIMITED TO) FINE GRADING, GRADING BETWEEN THE CONTOUR INTERVAL, ADDITIONAL SURVEY/ MAPPING, BUILDING SHAPE/ LOCATION UTILITY CONNECTIONS, UTILITY CROSSINGS, SURFACE AND GROUND WATER MITIGATION, SOIL STABILITY AND CONSISTENCY, SPECIFIC END USER NEEDS, CONSTRUCTIONABILITY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.

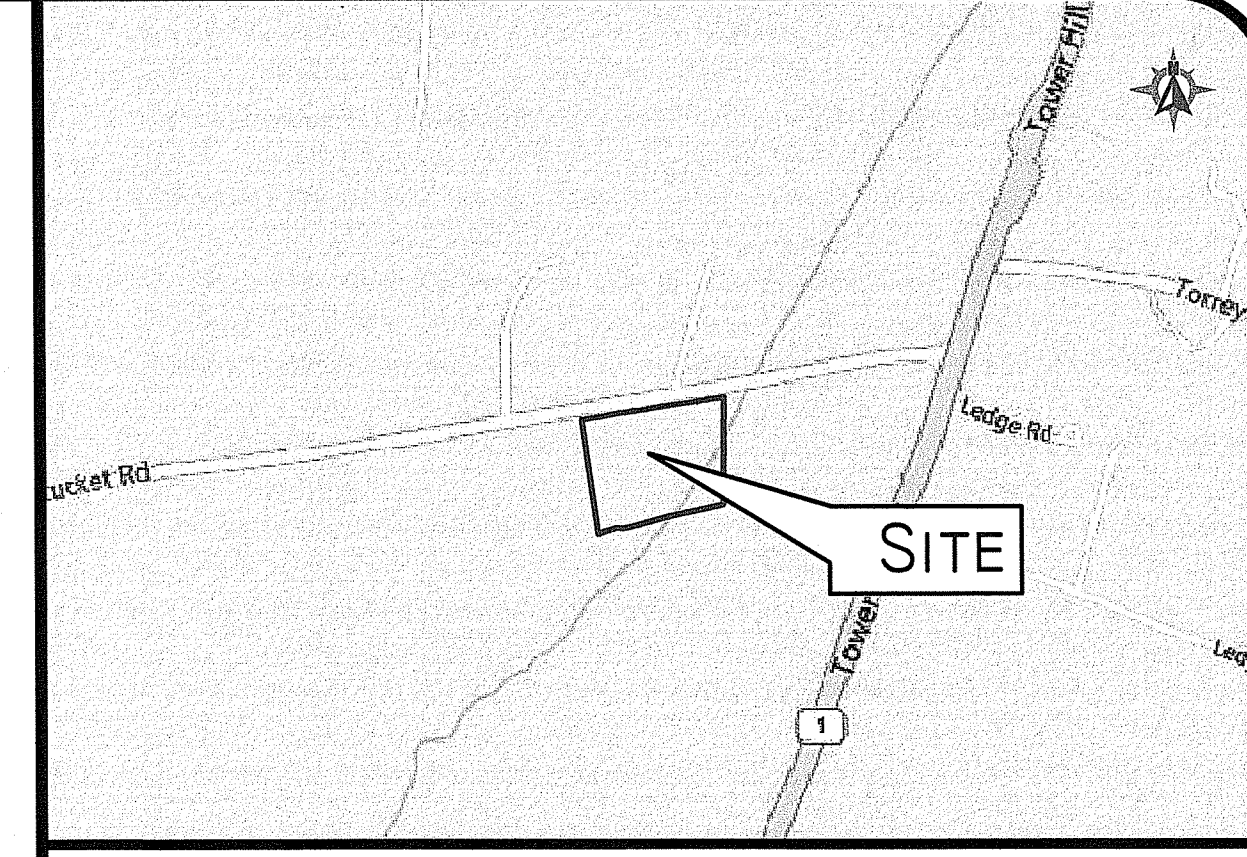
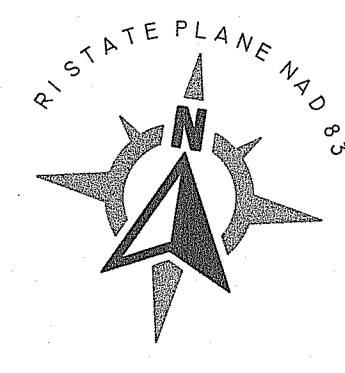
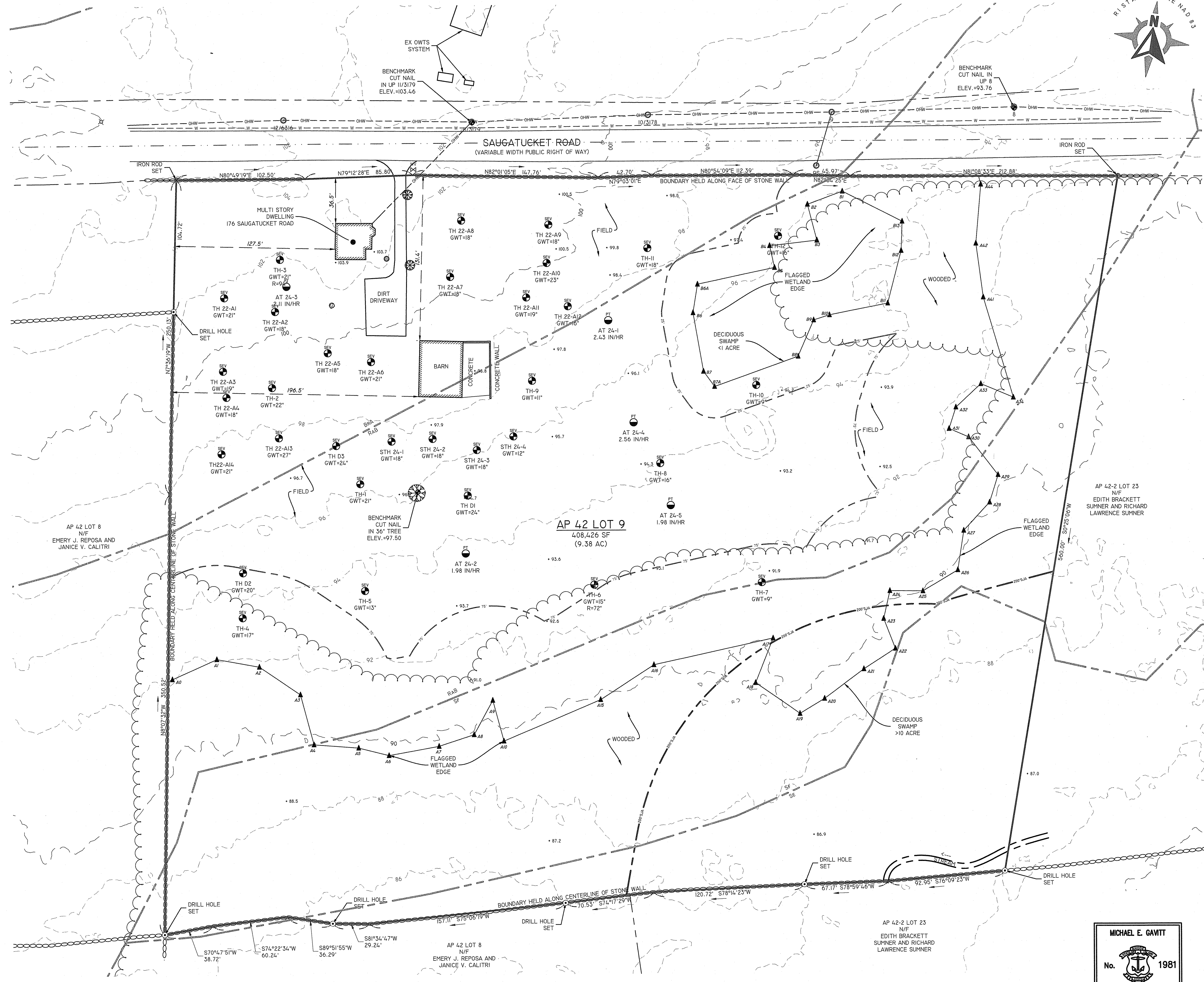
DiPrete Engineering logo and contact information: Engineers - Planners - Surveyors, www.diprete-eng.com, Two Stafford Court, Cranston, RI 02920 - Tel: 401-943-1000

MOLLY R. TITUS, REGISTERED PROFESSIONAL ENGINEER, CIVIL. Includes signature and registration details.

Environmental Management logo and permit information: Office of Water Resources, JAN 28 2025.

NOTES & LEGEND table with columns: NO., DATE, DESCRIPTION, BY, CHECKED BY, K.E.D. Includes permit details for SAUGATUCKET ACRES.

SAUGATUCKET ACRES, ASSESSOR'S PLAT 42 LOT 9, SOUTH KINGSTOWN, RHODE ISLAND. PREPARED FOR: JOSEPH CHARRENTIER, P.E., 6043 WORCESTER, MA 01606. TEL: 771-496-3918.



LOCUS MAP NOT TO SCALE

LEGEND

---	WATER LINE	123/1234	DEED BOOK/PAGE	○	BOLLARD
---	SEWER LINE	AP	ASSESSOR'S PLAT	⊙	SOIL EVALUATION
---	SEWER FORCE MAIN	HC	HANDICAPPED	⊠	CATCH BASIN
---	GAS LINE	N/F	NOW OR FORMERLY	⊠	DOUBLE CATCH BASIN
---	ELECTRIC LINE	LC	LANDSCAPING	⊠	WATER VALVE
---	OVERHEAD WIRES	(R)	RECORD	⊠	GAS VALVE
---	DRAINAGE LINE	(CA)	CHORD ANGLE	⊠	WETLAND FLAG
---	MINOR CONTOUR LINE	△	NAIL/SPIKE	⊠	DRAINAGE MANHOLE
---	MAJOR CONTOUR LINE	⊙	DRILL HOLE	⊠	FLARED END SECTION
---	PROPERTY LINE	⊙	IRON ROD/PIPE	⊙	GUY POLE
---	ASSESSORS LINE	⊠	BOUND	⊙	ELECTRIC MANHOLE
---	TREELINE	⊠	SIGN POST	⊙	UP UTILITY/POWER POLE
---	GUARDRAIL	⊙	SEWER MANHOLE	⊙	LIGHTPOST
---	FENCE	⊙	SEWER CLEANOUT	⊙	WELL
---	RETAINING WALL	⊙	HYDRANT	⊙	MONITORING WELL
---	STONE WALL	⊙	IRRIGATION VALVE	⊙	BENCH MARK
		⊙	UNKNOWN MANHOLE	⊙	TREE

GENERAL NOTES

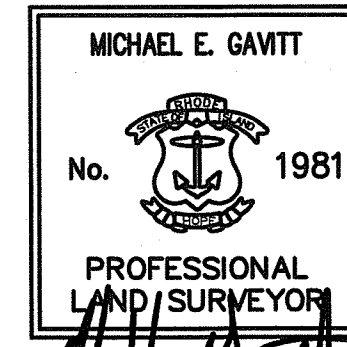
1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 42, LOT 9 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
2. THE OWNER PER DEED BOOK 1875, PAGE 370 IS JAE MILLS, LLC.
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0203K & 44009C0204K, MAPS REVISED APRIL 3, 2023. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED R40 BASED ON THE TOWN OF SOUTH KINGSTOWN ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY AND THERE ARE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS SHOWN ON THE RHODE ISLAND HISTORICAL CEMETERIES ONLINE DATABASE.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 20, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
10. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY DIPRETE ENGINEERING.

SURVEYOR'S CERTIFICATE

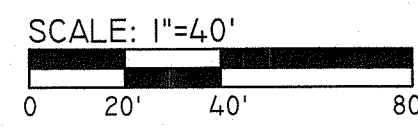
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY (PERIMETER) CLASS I
- TOPOGRAPHIC SURVEY CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.



MICHAEL E. GAWITT, R.I.P.L.S. #1981, COA #LS.000A160 1/27/2025



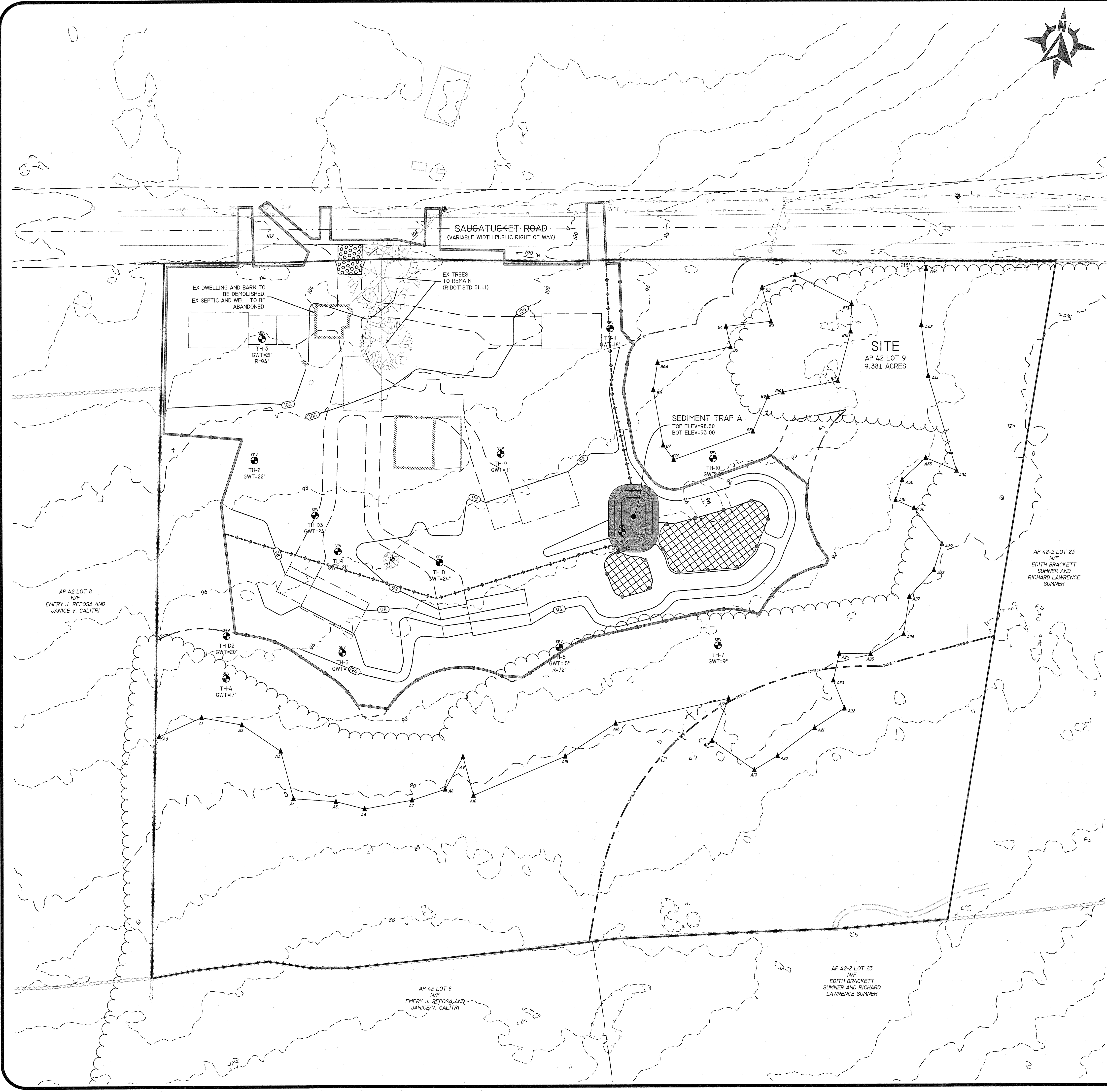
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 Two Stafford Court Cranston, RI 02920 • Tel: 401-943-1000

MOLLY R. TITUS
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

BOUNDARY AND TOPOGRAPHIC SURVEY PLAN
 176 SAUGATUCKET ROAD
 ASSESSORS PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
JOE CHARPENTIER & ANNA SZETO
 P.O. BOX 6043
 WORCESTER, MA 01606

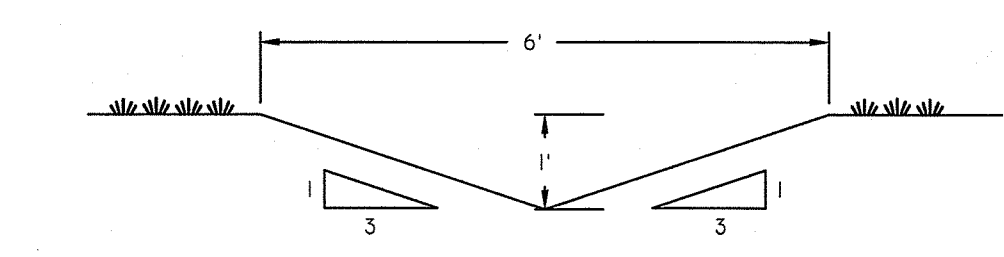
c:\mhaman\projects\3287-001_saugatucket road 176\subarea drawings\3287-001_recdraw.dwg Plotted: 1/27/2025

Z:\DEVELOPMENT\PROJECTS\2287-001 SAUGATUCKET ROAD TPA\AUTOCAD DRAWINGS\2287-001-PLAN.DWG PLOTTER: 1/25/2025

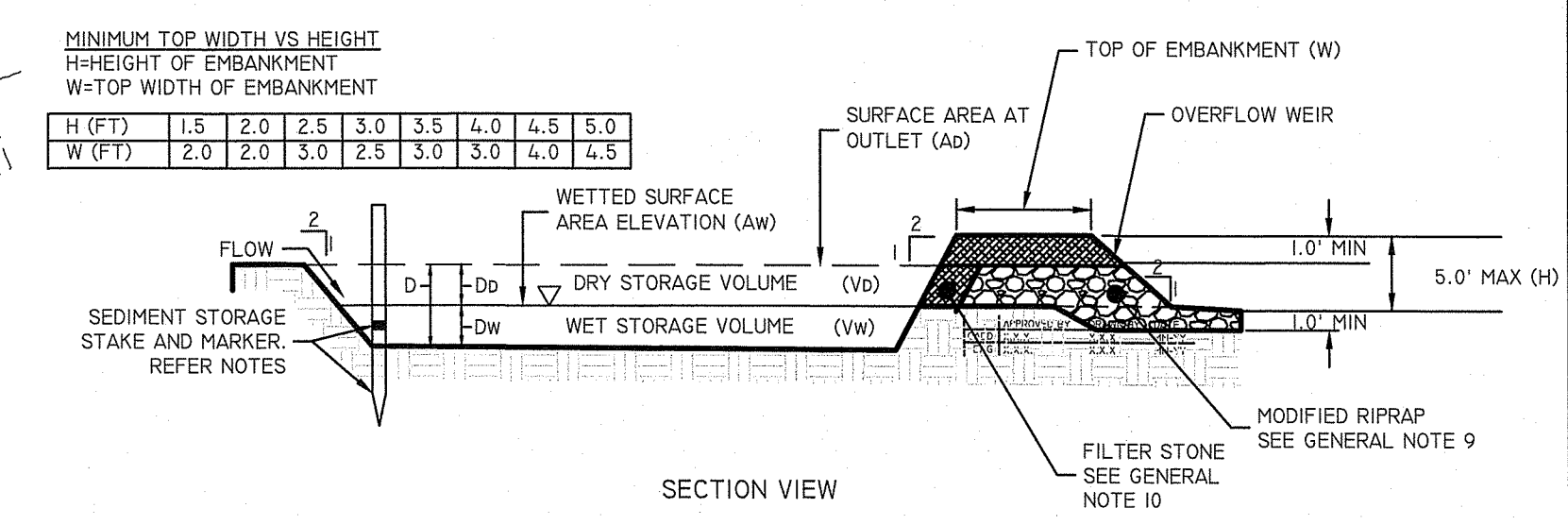


- SOIL EROSION CONTROL IMPLEMENTATION PHASING**
- PHASE IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
 - PHASE IB - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSIONS.
 - PHASE IC - CONSTRUCT PROPOSED DIVERSIONS.
 - PHASE IIA - CLEAR AND GRUB IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS, INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK, INSTALL ASPHALT PAVING.
 - PHASE IIB - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.
- NOTE - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

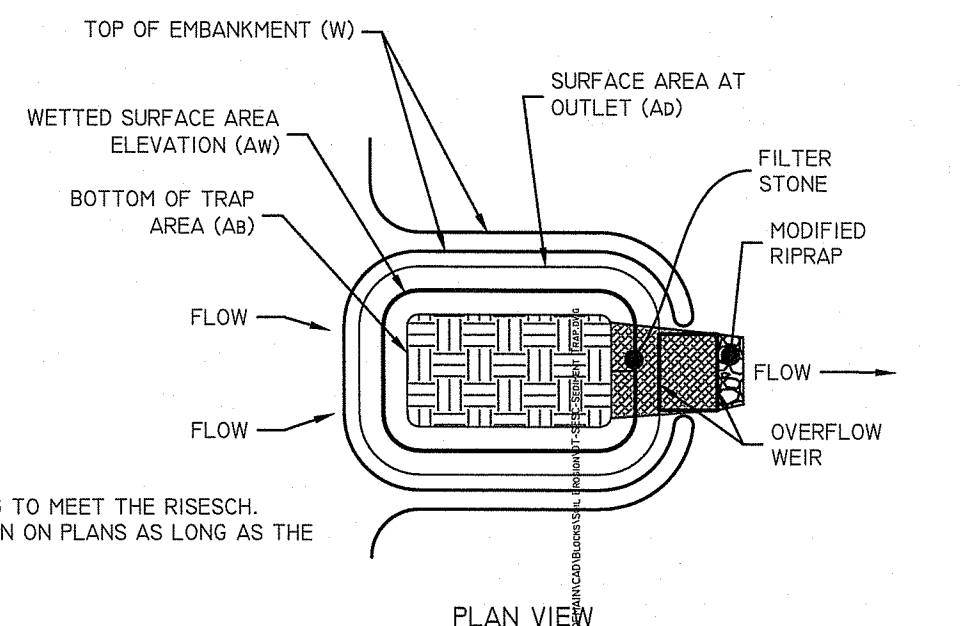
- SOIL EROSION CONTROL LEGEND**
- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
 - TEMPORARY SEDIMENT TRAP
 - EROSION CONTROL (COMPOST SOCK, SILT FENCE (R1 STD 9.2.0, OR APPROVED EQUAL))
 - CLASS C SILT FENCE
 - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
 - LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
 - TRIBUTARY AREA TO SECC BMP
 - CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
 - INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
 - FINAL CONTOUR GRADE
 - INLET SEDIMENT CONTROL



TEMPORARY DIVERSION CHANNEL
NOT TO SCALE

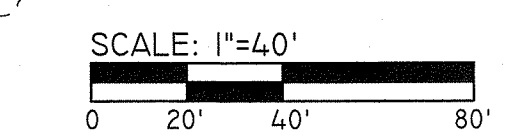


SEDIMENT TRAP DIMENSIONS*	TRAP A
TRIBUTARY DRAINAGE AREA (UP TO)	1.97 AC
WET STORAGE DEPTH (Dw)	3.00 FT
DRY STORAGE DEPTH (Dd)	2.50 FT
TOTAL DEPTH (D)	5.50 FT
BOTTOM OF TRAP AREA (Ab)	678 SQ.FT
WETTED SURFACE AREA (Aw)	1,400 SQ.FT
SURFACE AREA AT OUTLET (Ad)	2,174 SQ.FT



TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE

*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.



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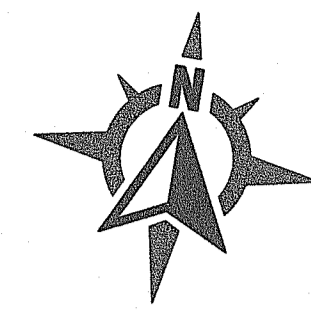
MOLLY R. TITUS
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERS. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND DAMAGE INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY	CHK'D
01/27/2025		RESPONSE TO COMMENTS		
01/27/2025		DESIGN		

DESIGN BY: K.E.D.
DRAWN BY: K.E.D.

SOIL EROSION & SEDIMENT CONTROL PLAN
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
PREPARED FOR:
JOSEPH CHARPENTIER
P.O. BOX 3, WORCESTER, MA 01606
TEL 774-696-3814

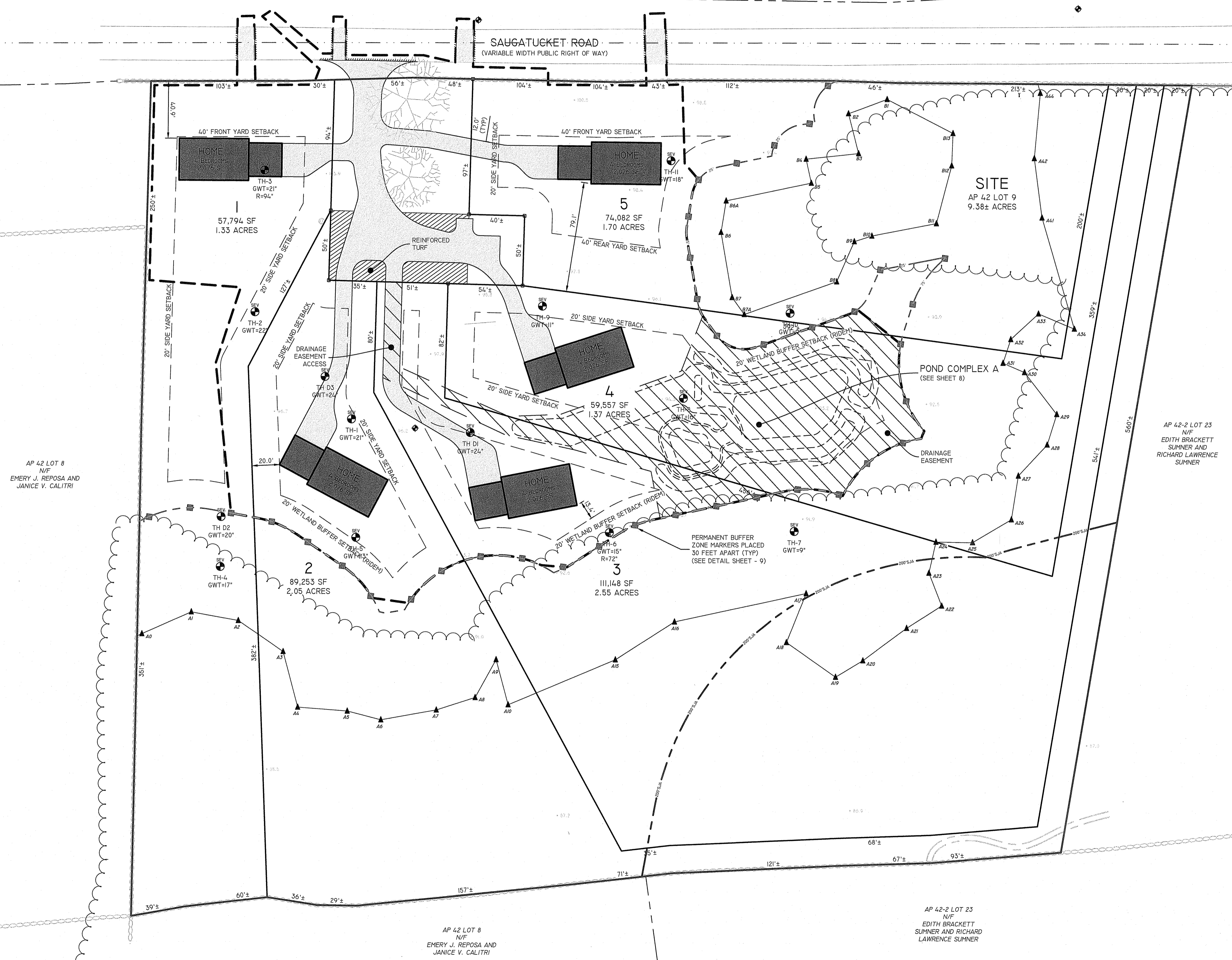


DEVELOPMENT DATA:

TOTAL SITE AREA:	9.38 ACRES
TOTAL NUMBER OF BUILDINGS:	5
TOTAL NUMBER OF UNITS:	5
TOTAL LOT AREA:	9.0 ACRES
TOTAL OPEN SPACE:	0.38 ACRES
AVERAGE LOT AREA:	1.80 ACRES

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	R-40	REQUIRED	PROVIDED
MINIMUM LOT AREA:	40,000 SF	40,000 SF	57,794 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'	20'	20'
MINIMUM FRONT YARD:	40'	40'	40.9'
MINIMUM CORNER SIDE YARD:	30'	NA	NA
MINIMUM SIDE YARD:	20'	20'	20'
MINIMUM REAR YARD:	40'	79.1'	79.1'
MAXIMUM LOT COVERAGE:	20%	20%	6.1%



Environmental Management
 JAN 28 2025
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: FEB 14 2025 FILE # 24-0276
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SCALE: 1"=40'
 0 20' 40' 80'

DiPrete Engineering
 Engineers - Planners - Surveyors
 www.diprete-eng.com

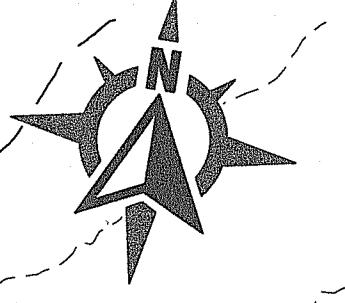
MOLLY R. TITUS
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES
 A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
 ENGINEERING HAS REVIEWED AND APPROVED THIS PLAN SET
 FOR CONSTRUCTION PURPOSES ONLY. THIS PLAN SET IS NOT TO BE
 REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS,
 ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT
 THE WRITTEN PERMISSION OF DIPRETE ENGINEERING, INC.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS,
 METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OTHER
 INFORMATION IN THE IMPLEMENTATION OF THIS PLAN AND
 DESIGN.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
 LOCATIONS. THE CONTRACTOR SHALL VERIFY THE EXACT
 LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES
 ARE NOT THE RESPONSIBILITY OF DIPRETE ENGINEERING, INC.
 SEE UTILITY NOTES ON SHEET 3.

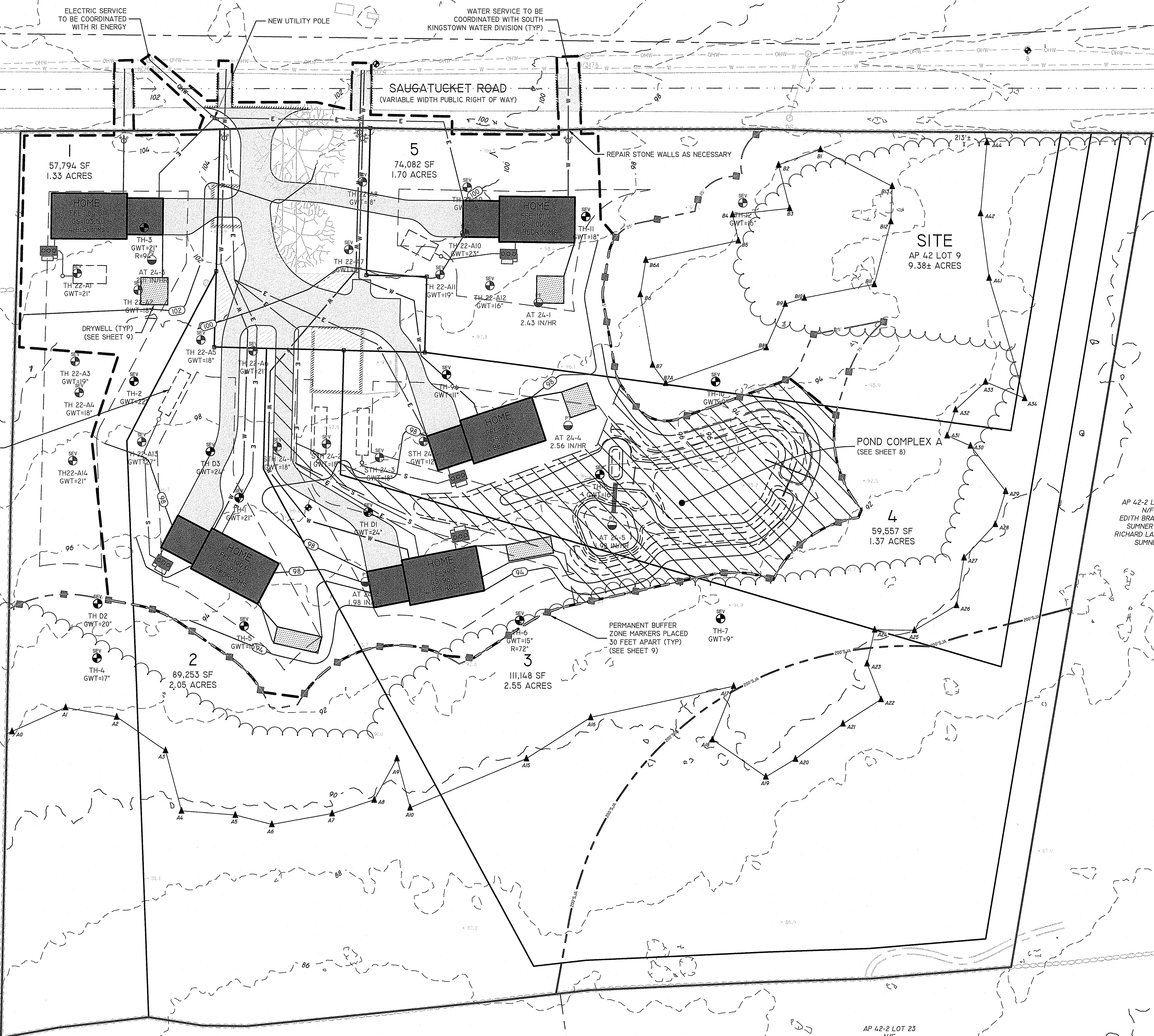
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03	02/27/2025	ISSUE FOR RESPONSE TO COMMENTS	K.E.D.
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100	02/27/2025	ISSUE FOR RESPONSE TO COMMENTS	K.E.D.

SITE LAYOUT PLAN
 SAUGATUCKET ACRES
 ASSESSOR'S PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
 JOSEPH CHARPENTIER
 P.O. 6043, WORCESTER, MA 01606
 TEL 774-996-3816

Z:\UPHAIN\PROJECTS\2024\00 SAUGATUCKET ROAD\19A\UT\CAD DRAWINGS\3287-00\PLANNING PLOTS: 1/25/2025



OWTS TABLE					
LOT NUMBER	1	2	3	4	5
TOP OF SAND	103.00	100.50	100.00	99.50	102.00
BOTTOM OF SAND	101.00	98.50	98.00	97.50	100.00
GWT	100.00	97.17	97.00	96.50	98.92



Environmental Management
JAN 28 2025
 Office of Water Resources

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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 0 20' 40' 80'

Diprete Engineering
 Engineers - Planners - Surveyors
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MOLLY R. TITUS
 No. *[Signature]*
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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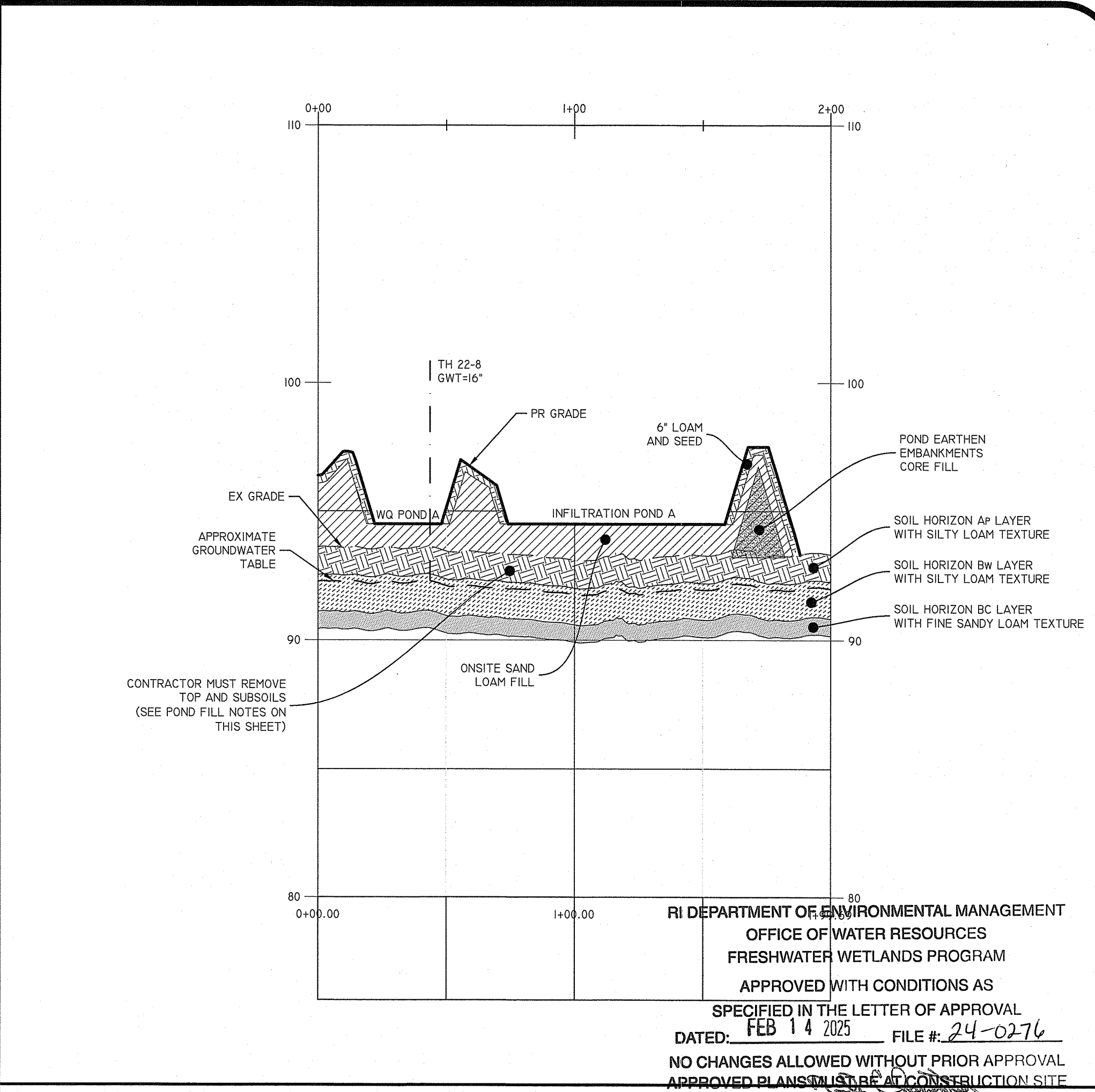
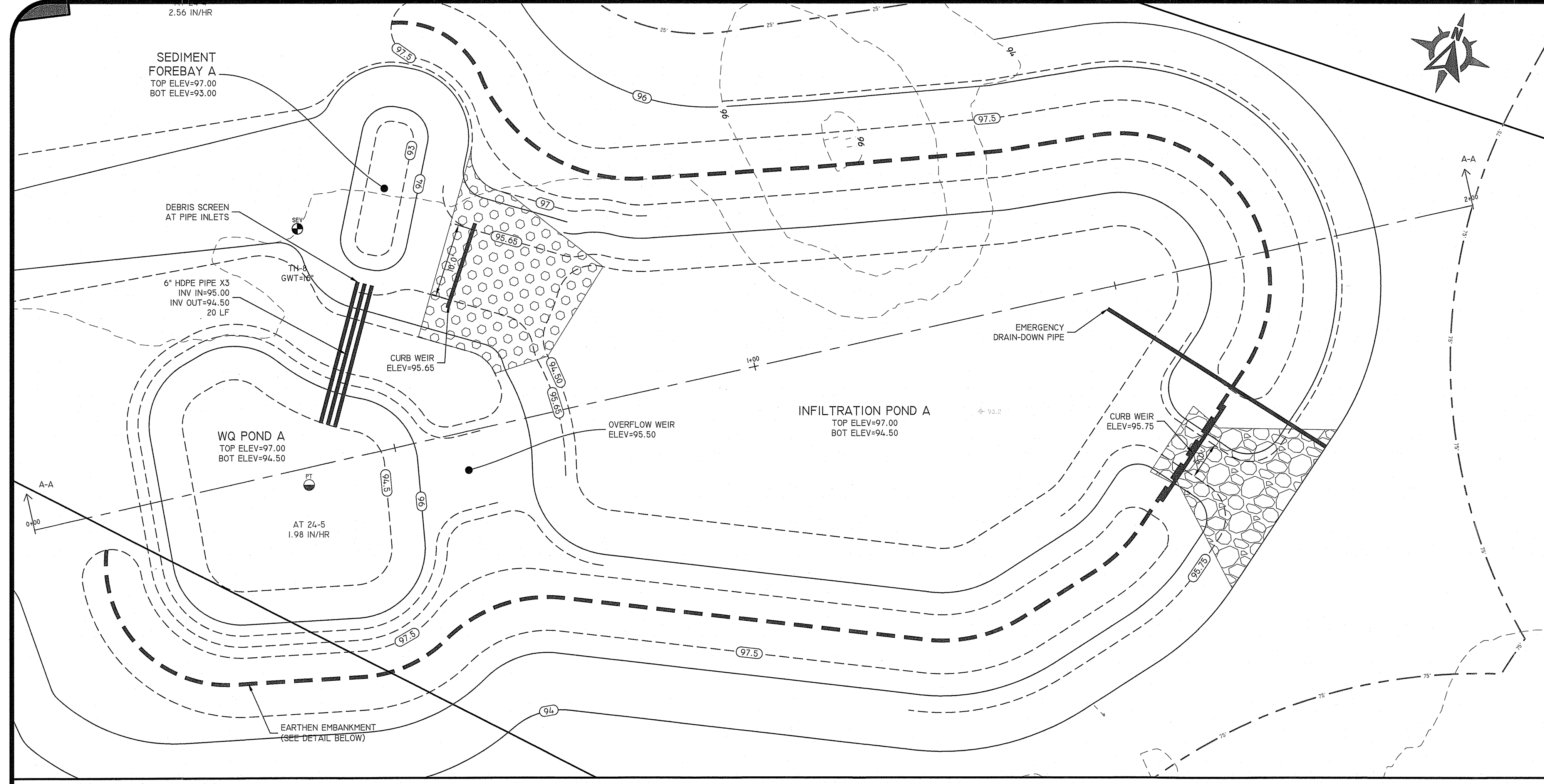
NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	01/27/2025	DESIGN RESPONSE TO COMMENTS	K.E.D.	K.E.D.

GRADING, DRAINAGE & UTILITIES PLAN
 SAUGATUCKET ACRES
 ASSESSOR'S PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
JOSEPH CHARPENTIER
 P.O. BOX 13, WORCESTER, MA 01006
 TEL: 774-696-5804

MOLLY R. TITUS
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DESIGNED BY: K.E.D.
 DRAWN BY: K.E.D.
 CHECKED BY: [Signature]
 IN CHARGE: [Signature]
 PROJECT: [Signature]
 DATE: [Signature]
 NO. DATE DESCRIPTION
 0 01/24/2024 SUBMITTAL TO CORRECTS
 1 02/12/2025 REVISION
 2 02/12/2025 REVISION
 3 02/12/2025 REVISION
 4 02/12/2025 REVISION
 5 02/12/2025 REVISION
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POND COMPLEX A

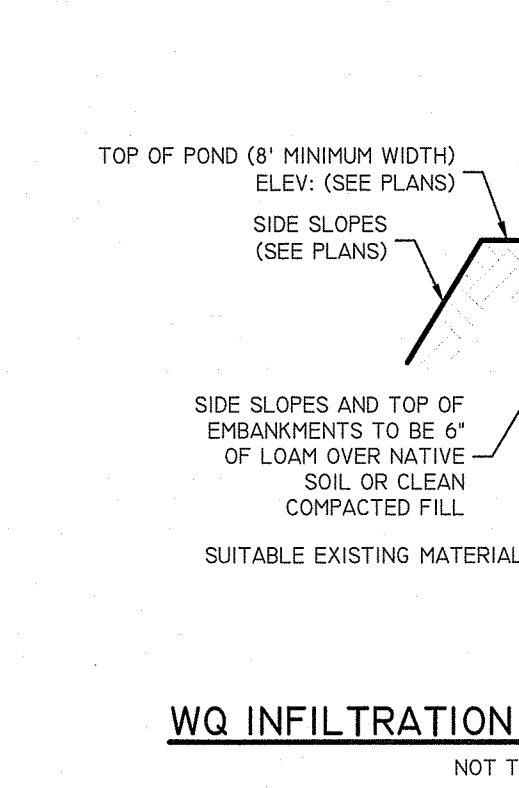
POND SECTION A-A

DESCRIPTION	WQ-A
TOP OF POND ELEVATION	97.00
100 YEAR STORM ELEVATION	96.51
10 YEAR STORM ELEVATION	96.10
1 YEAR STORM ELEVATION	95.80
WQ STORM ELEVATION	95.58
BOTTOM OF POND ELEVATION	94.50
SEASONAL HIGH GWT ELEVATION	92.42
SOIL EVALUATION	TH-22-8

POND EXCAVATION MUST BE MONITORED/INSPECTED BY SITE ENGINEER AND/OR GEOTECHNICAL ENGINEER AT TIME OF INITIAL EXCAVATION TO BOTTOM OF POND, AND AS REQUIRED BY DESIGN ENGINEER, CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

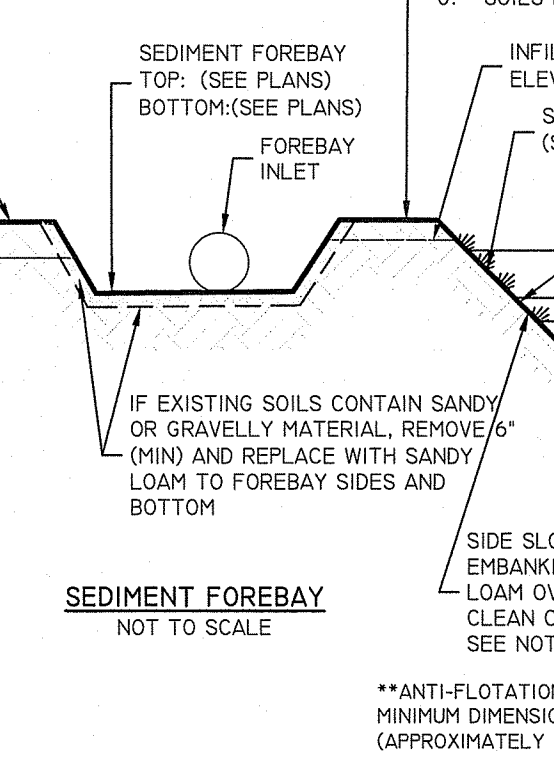
NOTE: LIMITS OF INFILTRATION POND TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)

BOTTOM & SIDE SLOPES OF POND TO BE SEED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX (MOIST SITES) BY NEW ENGLAND WETLAND PLANTS (OR APPROVED EQUAL)



WQ INFILTRATION POND BMP SYSTEM
 NOT TO SCALE

- NOTES:**
- LIMITS OF INFILTRATION POND MUST BE STAKED OUT AND MUST NOT BE USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN POND LIMITS).
 - INFILTRATION PONDS MUST NOT BE USED FOR STOCKPILING, VEHICLE PARKING OR ANY OTHER ANCILLARY STORING OF OBJECTS OR MATERIALS, TEMPORARY OR PERMANENT, AT ANY TIME.
 - INFILTRATION PONDS MUST BE ADEQUATELY PROTECTED FROM SEDIMENT LADEN RUNOFF DURING CONSTRUCTION.
 - FOLLOWING CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SEDIMENT FROM INFILTRATION PONDS. IF SEDIMENT REMOVAL IS REQUIRED, THE CONTRACTOR MUST ALSO ROTOTILL THE ENTIRE POND BOTTOM TO A MINIMUM DEPTH OF 2" AND RE-ESTABLISH TO FINAL DESIGN GRADES AND COVER TYPES.
 - SOILS MUST BE TRACKED INTO PLACE. NO COMPACTION EQUIPMENT ALLOWED.

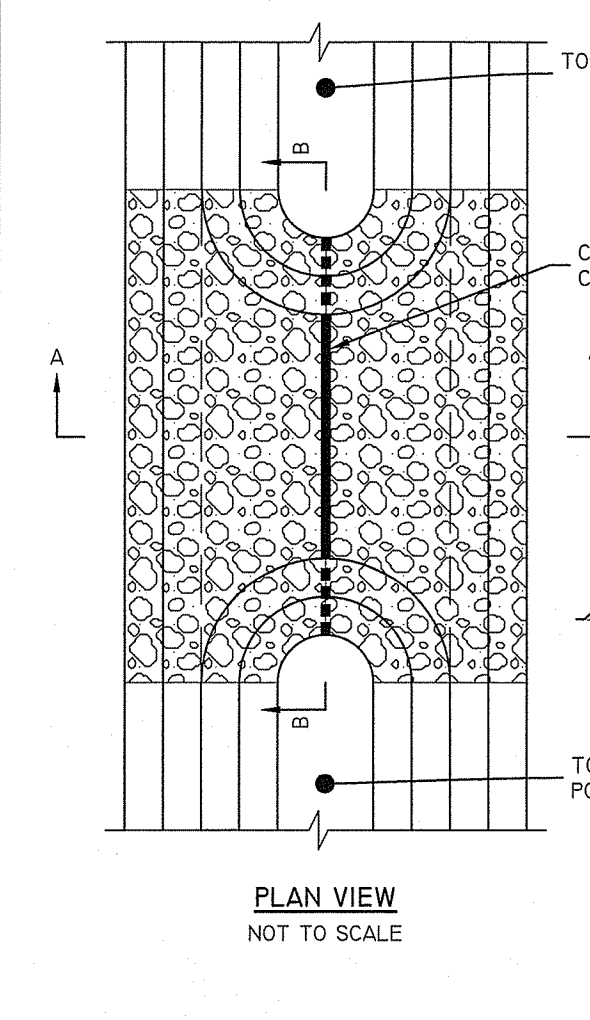


INFILTRATION POND
 NOT TO SCALE

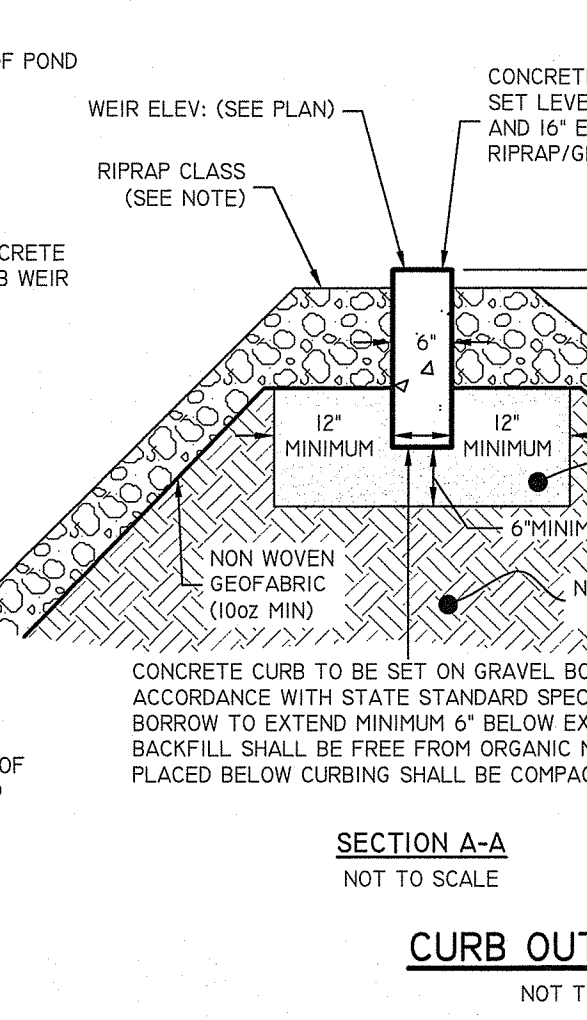
DESCRIPTION	IP-A
TOP OF POND ELEVATION	97.00
100 YEAR STORM ELEVATION	96.43
10 YEAR STORM ELEVATION	96.09
1 YEAR STORM ELEVATION	95.63
BOTTOM OF POND ELEVATION	94.50
SEASONAL HIGH GWT ELEVATION	92.17
SOIL EVALUATION	TH-22-8

BOTTOM OF POND EXCAVATION MUST BE MONITORED/INSPECTED BY SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

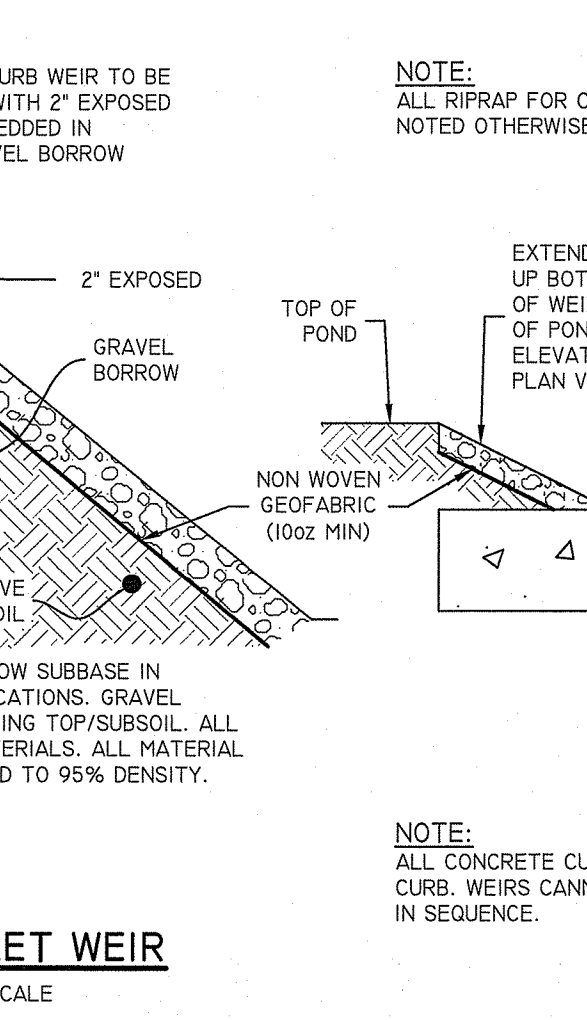
Environmental Management
 Office of Water Resources
 JAN 28 2025



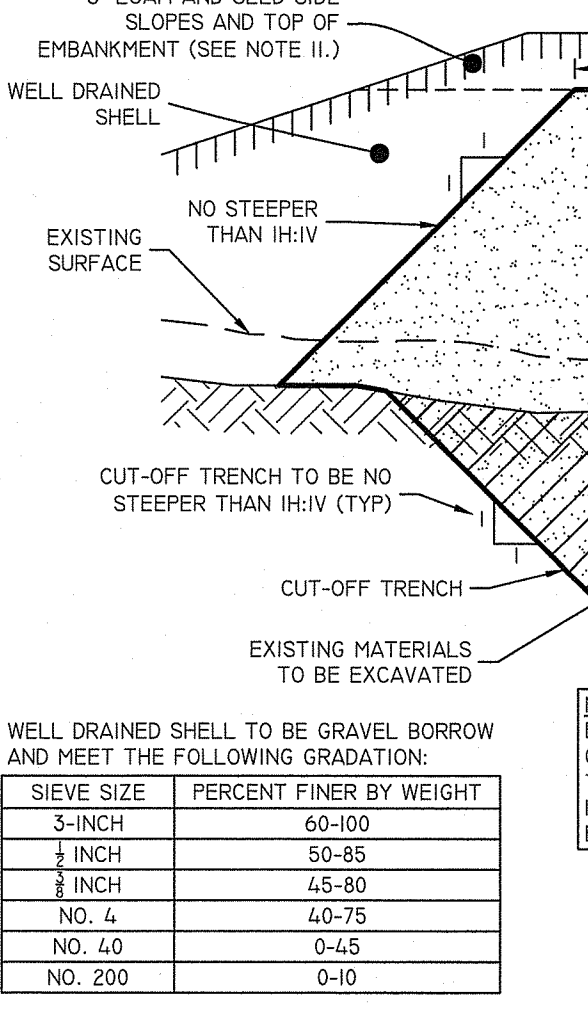
PLAN VIEW
 NOT TO SCALE



SECTION A-A
CURB OUTLET WEIR
 NOT TO SCALE



SECTION B-B
 NOT TO SCALE



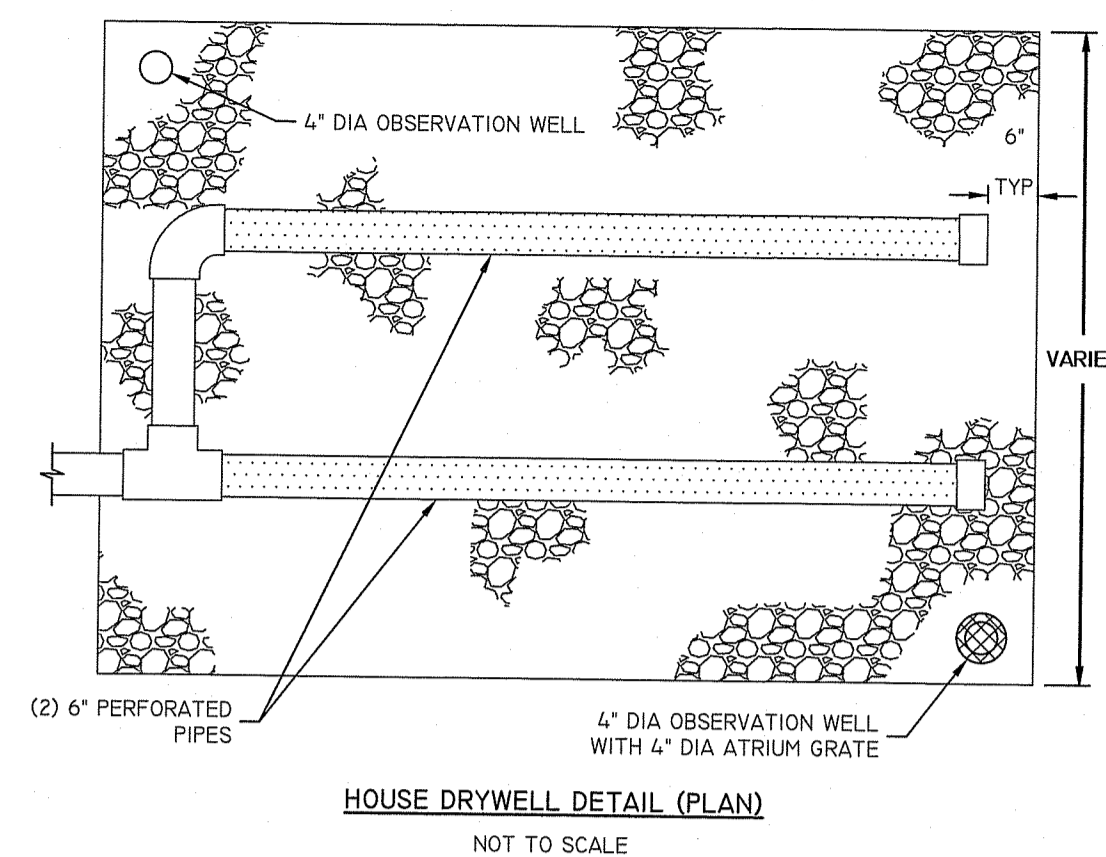
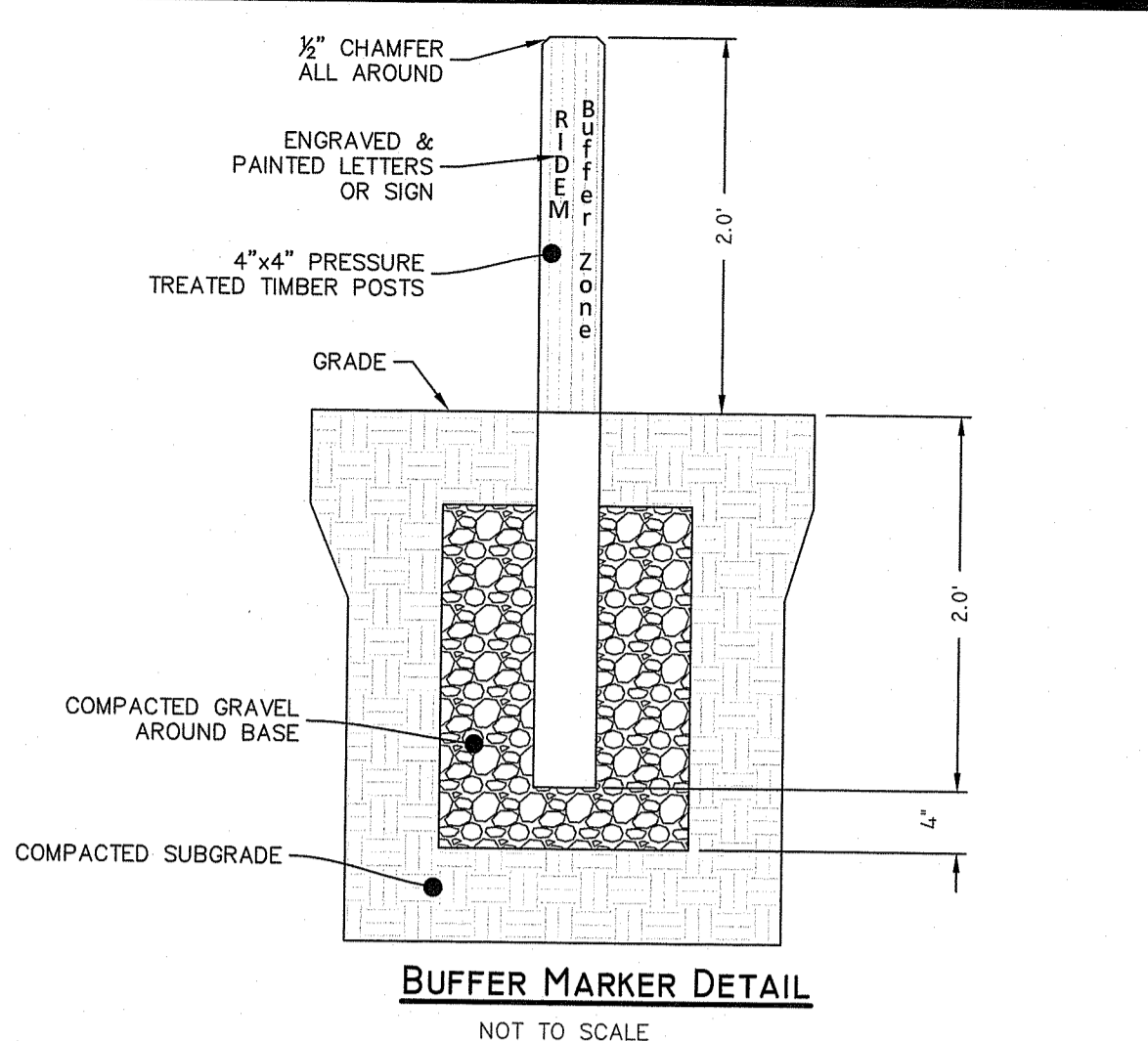
POND EARTHEN EMBANKMENT: LOW PERMEABILITY CORE
 NOT TO SCALE

SIEVE SIZE	PERCENT FINER BY WEIGHT
3-INCH	100
2-INCH	85-95
1 1/2-INCH	45-80
1-INCH	40-75
NO. 40	0-45
NO. 200	0-10

POND EMBANKMENT HEIGHT 'A' (FT)	TOP WIDTH OF CORE 'B' (FT)
0-7.0	6.0
OVER 7.0	PER GEOTECH

- NOTES:**
- LOW PERMEABILITY SOIL CORE TO BE PROVIDED FOR ALL POND EMBANKMENTS UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY NOTED ON THE PLANS.
 - LOW PERMEABILITY SOIL CORE TO BE CONSTRUCTED OF A MATERIAL WITH A MINIMUM OF 90% PASSING THE #200 SIEVE AND A MAXIMUM PERMEABILITY OF 0.00005 CMV'S.
 - WELL DRAINED BORROW WITH LESS THAN 10% PASSING THE #200 SIEVE AND MEET THE GRADATION AS SHOWN ON THIS DETAIL.
 - ALL MATERIALS MUST BE FREE FROM DELETERIOUS/ORGANIC MATTER, INCLUDING (BUT NOT LIMITED TO) ROOTS, SOD, RUBBLE, SNOW, ICE, RUBBISH ETC.
 - MINIMUM DEPTH OF CUT-OFF TRENCH SHALL BE 4' MEASURED FROM THE LOWEST ELEVATION OF THE UNDISTURBED EXISTING SURFACE INTERFACE. SEE DETAIL.
 - THE MINIMUM BOTTOM WIDTH OF THE CUT-OFF TRENCH SHALL BE 4' AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 - SIDE SLOPES OF THE CUT-OFF TRENCH SHALL BE NO STEEPER THAN 1H:1V.
 - IF BEDROCK IS ENCOUNTERED BELOW THE POND EMBANKMENT THE CUT-OFF TRENCH MAY BE MODIFIED AT THE DIRECTION OF A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER.
 - LOW PERMEABILITY CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 - COMPACTION REQUIREMENTS FOR THE SHELL AND LOW PERMEABILITY CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 - SIDE SLOPE OF POND EMBANKMENT TO BE NO STEEPER THAN THE SLOPES SHOWN ON THE POND-SPECIFIC DESIGN PLANS WITHOUT WRITTEN DIRECTION FROM THE DESIGN ENGINEER. IF ANY POND SIDE SLOPE IS STEEPER THAN 3H:1V, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT, WHICH MAY INCLUDE (BUT NOT BE LIMITED TO) RIPRAP AND/OR EROSION CONTROL MATS.
 - THE LOW PERMEABILITY CORE MUST BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 - ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. SEE 'NOTE TO CONTRACTOR'.
 - ANY PROPOSED DEVIATIONS FROM THIS DETAIL MUST BE DESIGNED BY A SUITABLY QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER AND SUBMITTED TO THE SITE ENGINEER (AND AHW WHERE REQUIRED) FOR REVIEW PRIOR TO CONSTRUCTION.

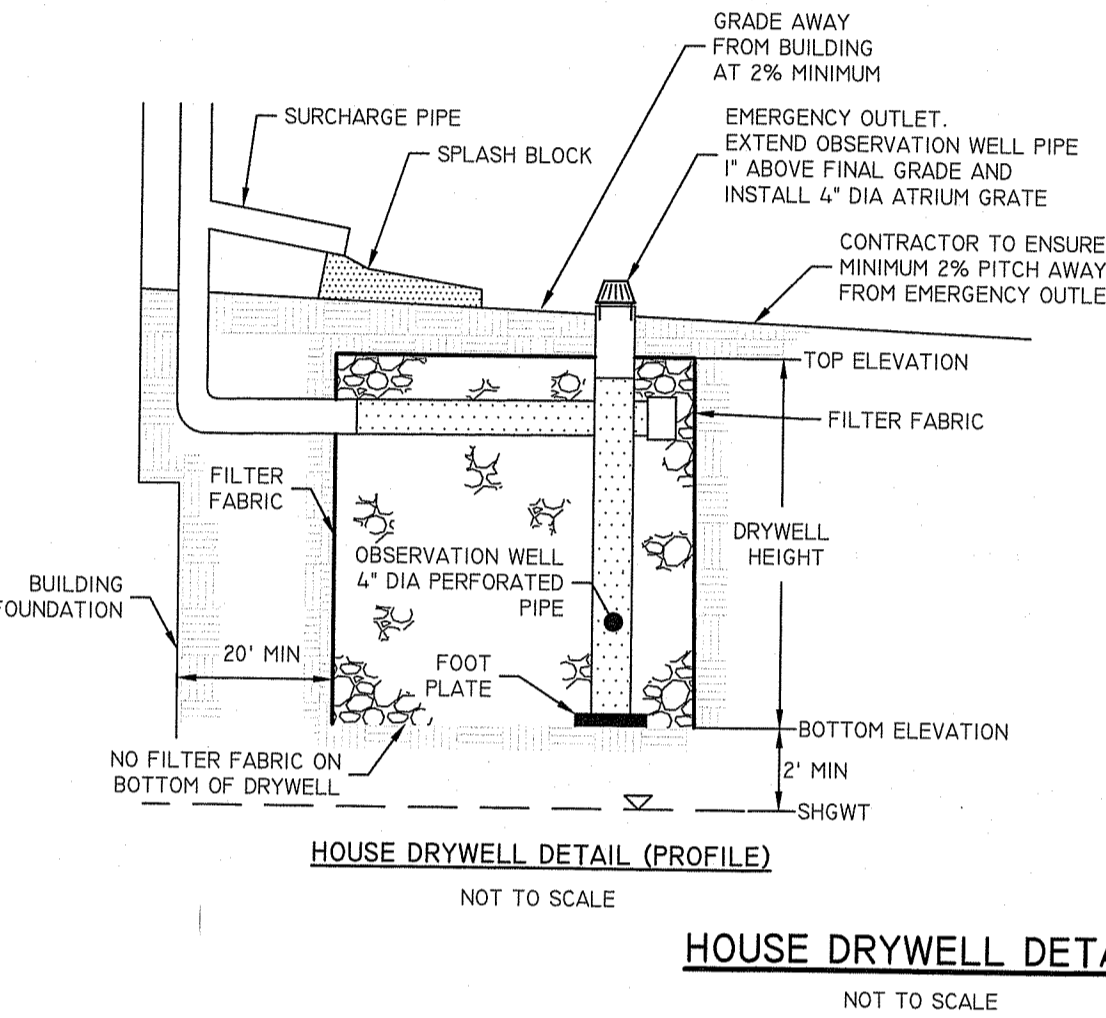
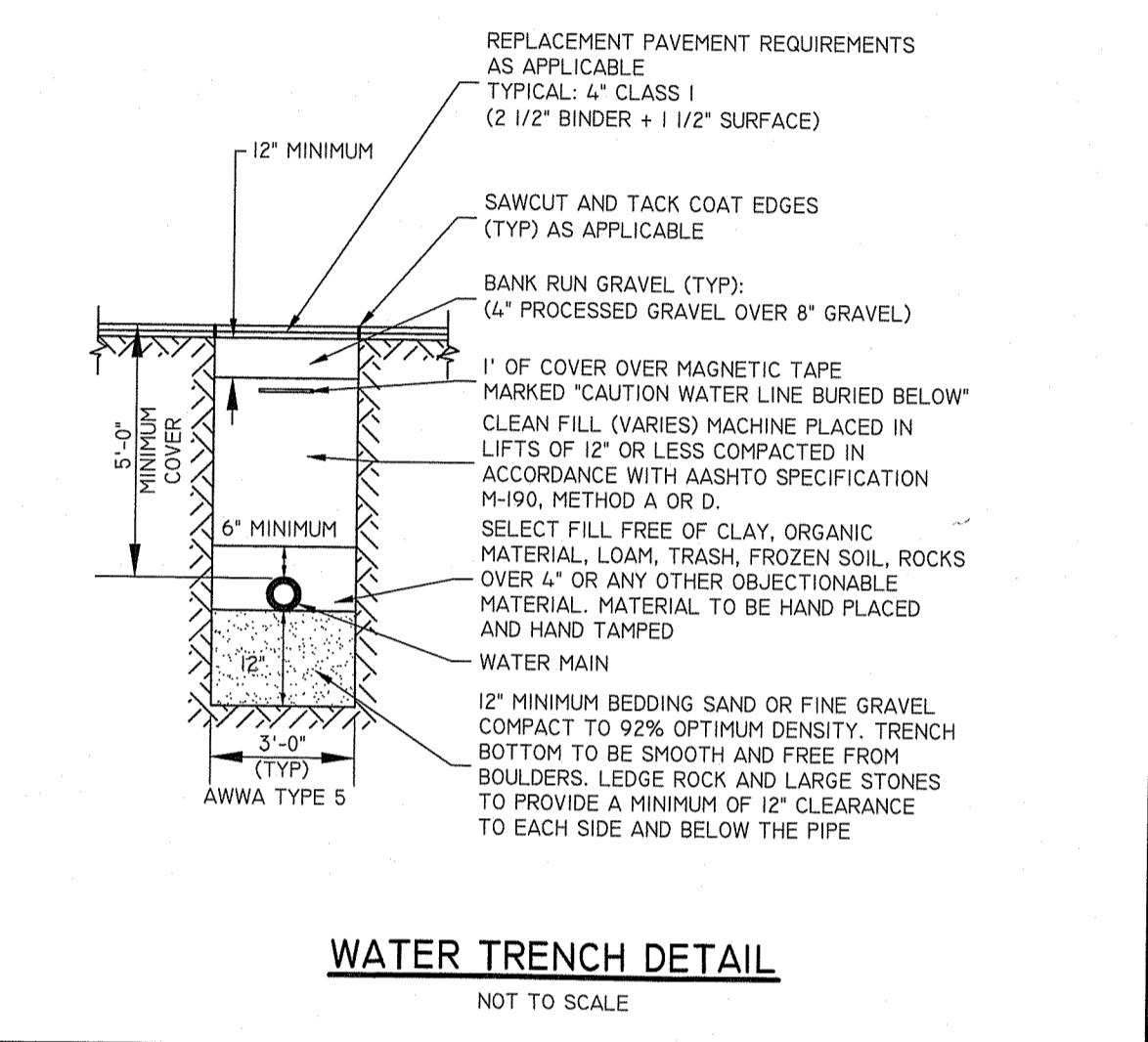
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- CONSTRUCTION, MAINTENANCE & INSPECTION NOTES:**
- ROOF LEADERS ARE TO BE TIED INTO PROPOSED DRYWELLS.
 - DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
 - DRYWELLS TO BE LOCATED DOWNGRADIENT OF THE BUILDING WITH A MINIMUM OF 20' SEPARATION TO THE FOUNDATION.
 - UNDER NO CIRCUMSTANCES MAY DRYWELLS BE INSTALLED UPGRADIENT OF A BUILDING.
 - PLACE FILTER FABRIC ON SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
 - OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
 - MONITORING OF WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM.
 - MAINTENANCE OF ALL DRYWELL AND DRAINAGE COMPONENTS IS THE RESPONSIBILITY OF THE OWNER, INCLUDING MONITORING OF WATER LEVELS AS NECESSARY.
 - THE ONLY CONNECTIONS ALLOWED TO THE DRYWELL ARE FROM ROOF CONNECTIONS AS SHOWN ON THE PLANS. CONNECTIONS FROM FOUNDATIONS DRAINS, SUMPS, WINDOW WELLS, FLOOR DRAINAGE AND ALL OTHER CONNECTIONS ARE PROHIBITED.

SIZING NOTES:
DRYWELLS SIZED USING HYDROCAD

LOT	PROPOSED GRADING ELEVATION	TOP OF DRYWELL	ELEVATION AT BOTTOM STONE OF DRYWELL	SEASONAL HIGH GWL ELEVATION	SEPARATION DISTANCE (FEET)	MIN SURFACE AREA (SF)
1	103.00	102.00	101.00	99.00	2.00	324.00
2	96.00	95.00	94.50	92.50	2.00	330.00
3	96.75	95.75	94.25	92.25	2.00	330.00
4	97.75	96.75	96.25	94.17	2.08	324.00
5	99.50	98.50	98.00	96.00	2.00	324.00



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATED: FEB 14 2025 FILE #: 24-0276
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION

