

A.P. 8, LOT 255
JAMES J. CRONIN &
MARY P. CRONIN
BK. 509 PG. 157

A.P. 8, LOT 256
MARTHENS & CO LLC
BK. 199 PG. 289

A.P. 8, LOT 258
ASB INC
BK. 170 PG. 234

RIGHT OF WAY AND EASEMENT
TO HIGH STREET
SEE BK 564, PG 406
& BK 564, PG 410

A.P. 8, LOT 84
N/F ISLAND ENTERPRISES, INC.
ET. ALS.

A.P. 8, LOT 260
N/F ROSE FARM INN
RENTALS, INC.
BK. 142, PG. 50
AREA= 52,169± S.F.
(1.20± AC.)

A.P. 8, LOT 257
N/F JUDITH B. ROSE
BK. 84, PG. 11
AREA= 119,906± S.F.
(2.75± AC.)

A.P. 8, LOT 252
HIGH VIEW GLEN INC.
BK. 55 PG. 296

A.P. 8, LOT 251
JOAN P. ABESHOUSE
BK. 42 PG. 273

A.P. 8, LOT 250
DRAZEN BLOCK ISLAND LLC.
BK. 231 PG. 308

A.P. 8, LOT 249
JOAN A. GROSSMAN
BK. 324 PG. 027

A.P. 8, LOT 248
JOAN GROSSMAN ABESHOUSE
FLP NUMBER ONE
BK. 456 PG. 323

A.P. 8, LOT 247
THE NATURE
CONSERVANCY
BK. 233 PG. 117

A.P. 8, LOT 246
JOAN GROSSMAN ABESHOUSE
FLP NUMBER ONE
BK. 456 PG. 323

A.P. 8, LOT 245
HIGH VIEW GLEN INC.
BK. 55 PG. 296

A.P. 8, LOT 243
THE NATURE
CONSERVANCY
BK. 233 PG. 117

A.P. 8, LOT 242
JOAN GROSSMAN ABESHOUSE
FLP NUMBER ONE
BK. 456 PG. 323

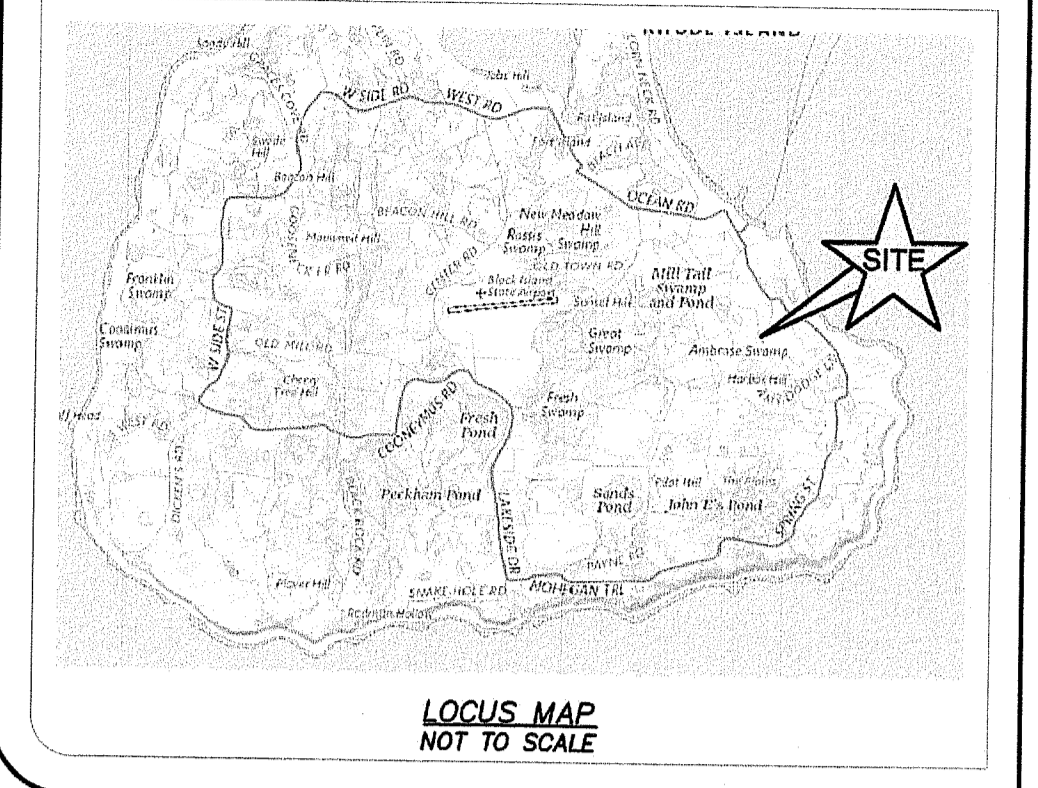
A.P. 8, LOT 241
THE NATURE
CONSERVANCY
BK. 233 PG. 117

A.P. 8, LOT 240
JOAN GROSSMAN
ABESHOUSE
FLP NUMBER ONE
BK. 456 PG. 323

A.P. 8, LOT 107
BARRY M. HONAN &
CONSTANCE M. HONAN
BK. 37 PG. 368

A.P. 8, LOT 101
N/F WILLIAM R. JENNINGS
& JANE E. JENNINGS
BK. 53, PG. 153

- LEGEND**
- PROPERTY BOUNDARY LINE
 - - - ABUTTER'S PROPERTY BOUNDARY LINE
 - - - EXISTING EASEMENT LINE
 - - - ZONING DISTRICT LINE
 - - - DELINEATED WETLAND EDGE
 - - - TOPOGRAPHIC CONTOUR LINE
 - - - STONE WALL
 - - - SPLIT RAIL FENCE
 - - - WIRE FENCE
 - - - EDGE OF VEGETATION
 - - - OVERHEAD WIRE
 - WELL
 - SOIL EVALUATION TEST HOLE
 - UTILITY POLE
 - IRON ROD/PIPE
 - DRILL HOLE



LOCUS MAP
NOT TO SCALE

PLAN NOTES:

- EXISTING CONDITIONS SHOWN ARE THE RESULT OF A FIELD SURVEY BY SOUTH COUNTY SURVEY COMPANY, LLC BETWEEN AUGUST 6, 2020 AND MAY 3, 2021.
- NORTH ARROWS REFERENCES GRID NORTH (RI SPC ZONE 3800).
- VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- HORIZONTAL AND VERTICAL DATUMS ESTABLISHED BY GNSS OBSERVATIONS.
- WETLANDS DELINEATED AND FLAGGED BY SCOTT P. RABIDEAU, PWS OF NATURAL RESOURCE SERVICE, INC. ON MARCH 3, 2021.
- LOTS 257, 261, 262 & 98 LIE WITHIN THE RB ZONING DISTRICT, AND LOT 260 LIES WITHIN THE RCM ZONING DISTRICT.
- BY GRAPHIC PLOTTING ONLY SUBJECT PARCEL LIES WITHIN FEMA FLOOD ZONE X (UNSHADED); AREA OF MINIMAL FLOOD HAZARD. SEE PANEL 44009C0366J EFFECTIVE 10/16/2013.

PLAN REFERENCES:

- SEE "PLAN OF LAND PREPARED FOR: ROBERT E. & JUDITH B. ROSE & ROSE FARM INN RENTALS INC., NEW SHOREHAM, RHODE ISLAND, SCALE 1"=40' DATE: DECEMBER 2009, REV: DEC. 15, 2011, RICHARD A. GREENE & ASSOCIATES, INC."
- SEE "ADMINISTRATIVE SUBDIVISION PLAN PREPARED FOR: ROBERT E. & JUDITH B. ROSE & DAVID L. & ELENI T. TUCKER ASSESSOR'S PLAT 8, LOTS 254 & 257 HIGH STREET NEW SHOREHAM, RHODE ISLAND, SCALE 1"=40', DATE JANUARY, 2018" BY JOHN P. COMEAU, PLS
- SEE "PLAN OF SURVEY IN NEW SHOREHAM, R.I. FOR LEO L. HELTERLINE PREPARED BY STANLEY ENGINEERING INC. SCALE: 1"=40' ... DIVIDING PARCELS 1 & 2 ... REVISED JUNE 7, 1984" RECORDED IN THE TOWN OF NEW SHOREHAM AS MAP NO. 278, IN ENVELOPE BO. 229

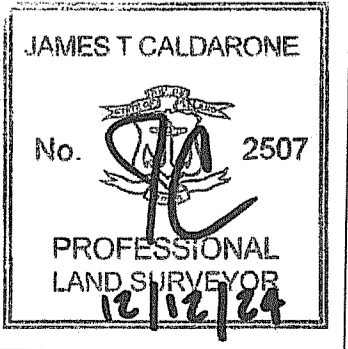
ZONING DATA TABLE

ZONING DISTRICT: RB	REQUIRED	ZONING DISTRICT: RCM	REQUIRED
MINIMUM LOT FRONTAGE	60.00 S.F.	MINIMUM LOT WITH SEWER	20,000 S.F.
SETBACKS	150 FT.	WITHOUT SEWER	40,000
FRONT	50 FT.	S.F.	
SIDE	25 FT.	FRONTAGE	75 FT.
REAR	50 FT.	SETBACKS	
LOT BLDG. COVERAGE	8%	FRONT	25 FT.
LOT COVERAGE	16%	REAR	40 FT.
HEIGHT	128'3"	LOT BLDG. COVERAGE	25%
MAIN BLDG.	32 FT.	LOT COVERAGE	35%
ACCESSORY BLDG.	25 FT.	HEIGHT	
		MAIN BLDG.	30 FT.
		ACCESSORY BLDG.	20 FT.

SURVEYOR'S CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATION ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
CLASSIFICATION: CLASS III
DATA ACCUMULATION: TOPOGRAPHY/BATHYMETRY
MEASUREMENT SPECIFICATION: T-2

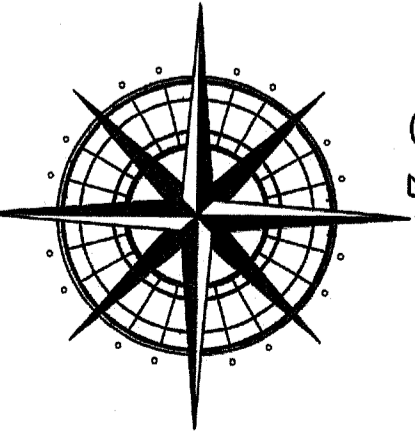
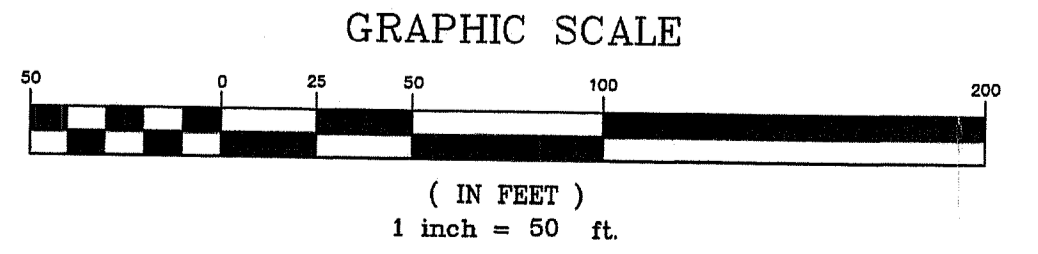
STATEMENT OF PURPOSE: THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
FOR WETLAND EDGE VERIFICATION ONLY.



BY: *James T. Caldarone*
JAMES T. CALDARONE, PLS NO. 2507
CJA NO. 722

**EXISTING CONDITIONS PLAN OF LAND
IN THE TOWN OF NEW SHOREHAM, RHODE ISLAND**
A.P. 8, LOT 98, 257, 260, 261 & 262 ~ OFF HIGH ST.
PREPARED FOR: JUDITH B. ROSE
MAY 15, 2021 SCALE: 1"=50'
REVISED: DECEMBER 12, 2024
(FOR WETLAND EDGE VERIFICATION ONLY)

DEC 18 2024



**SOUTH COUNTY
SURVEY Co**
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