

DRY WELL DETAIL
SCALE: N.T.S.

ROOFTOP RUNOFF:
 PROPOSED DWELLING FOOTPRINT AREA = 3,488 SF
 PROPOSING 2 DRY WELLS ; 3488 / 2 = 1,744 SF PER DRY WELL
 DRY WELLS A & B ALLOCATE 1,744 SF OF ROOFTOP RUNOFF
 SQ FT TO CUBIC FEET : (1 FOOT / 12 INCH) x 1744 SF = 167 CF
 DRY WELL A 10' X 10' (3' OF STONE) BOTTOM ELEVATION = 316.25' (WATER TABLE ELEV = 311.25')
 SQ FT TO CUBIC FEET : (13 X 13 X 3) / 33.3% = 169 CF > 167 CF OF SIZING OK
 DRY WELL A 5' X 5' (4' OF STONE) BOTTOM ELEVATION = 139.33' (WATER TABLE ELEV = 137.33')
 (5 X 5 X 4) / 33.3% = 169 CF > 167 CF OF SIZING OK

GENERAL OWTS NOTES:

- Do not park on OWTS area.
- Seed OWTS area with grass.
- Use H-20 Load distribution box.
- Minimum 3sq ft bottom area.
- Extend septic tank manhole to grade as shown.
- Grade to divert runoff.
- Remove all vegetation & trees within 10' of proposed OWTS.
- No OWTS existing or proposed within 100' of proposed well.
- No public wells existing or proposed within 500' of proposed OWTS.
- No underground drains existing or proposed within 25' of OWTS.
- Use 4" diameter sewer pipe (SDR 35) watertight joints.
- Designer must supervise all phases of installation of OWTS.

Drainage Calculation Reference
 (Reference: CDMC Guidance Document)
 Table 1 - Page 3 of 17 - Setbacks
 Table 3 - Page 5 of 17 - QPA Criteria & Sizing
 Table 4 - Page 7 of 17 - Swale Criteria
 Table 5 - Page 8 of 17 - Swale Sizing
 Table 9 - Page 13 of 17 - Dry Well/Infiltration Trench Criteria
 Table 10 - Page 14 of 17 - Dry Well/Infiltration Trench Sizing
 Figure 1 - Page 6 of 17 - QPA Rooftop Diagram
 Figure 2 - Page 8 of 17 - Swale Diagram
 Figure 6 - Page 13 of 17 - Infiltration Trench Diagram
 Figure 7 - Page 14 of 17 - Dry Well Diagram

LEGEND:

IPF	IRON PIPE FOUND	—▲—	SILT FENCE EROSION CONTROL
GBF	GRANITE BOUND FOUND	—●—	PROPOSED UNDERGROUND ELECTRIC
WF-A#	WETLAND FLAGS	—○—	EXISTING CONTOUR
⊕	BENCHMARK SET	—○—	PROPOSED SEPTIC LINE
UP #	UTILITY POLE	—○—	PROPOSED DRY WELL
●	CEDAR POST	A/P	ASSESSOR'S PLAT
—○—	STONE WALL	N/F	NOW OR FORMERLY
—○—	75' WETLAND BUFFER	—■—	STONE PAVERS
—○—	O.H. ELECTRIC LINES	—■—	STONE RETAINING WALL
—○—	EXISTING WIRE FENCE	—○—	APPROXIMATE EDGE OF CLEARING

REFERENCES:

1. DEED BOOK 52 PAGE 41 RECORDED IN TOWN OF EAST GREENWICH LAND EVIDENCE RECORDS.
2. PLAN ENTITLED, "MAP OF LAND ON SOUTH ROAD IN THE TOWN OF EAST GREENWICH, RHODE ISLAND, PREPARED FOR RAYMOND & RHEA GUERTIN PREPARED BY COVENTRY SURVEY COMPANY, INC. DATED OCTOBER 22, 1996 SCALE 1" = 60'." RECORDED IN TOWN OF EAST GREENWICH LAND EVIDENCE RECORDS AS PLAT CARD 506.
3. DEED BOOK 178 PAGE 246 RECORDED IN TOWN OF EAST GREENWICH LAND EVIDENCE RECORDS.
4. DEED BOOK 298 PAGE 206 RECORDED IN TOWN OF EAST GREENWICH LAND EVIDENCE RECORDS.
5. DEED BOOK 1672 PAGE 59 RECORDED IN TOWN OF EAST GREENWICH LAND EVIDENCE RECORDS.

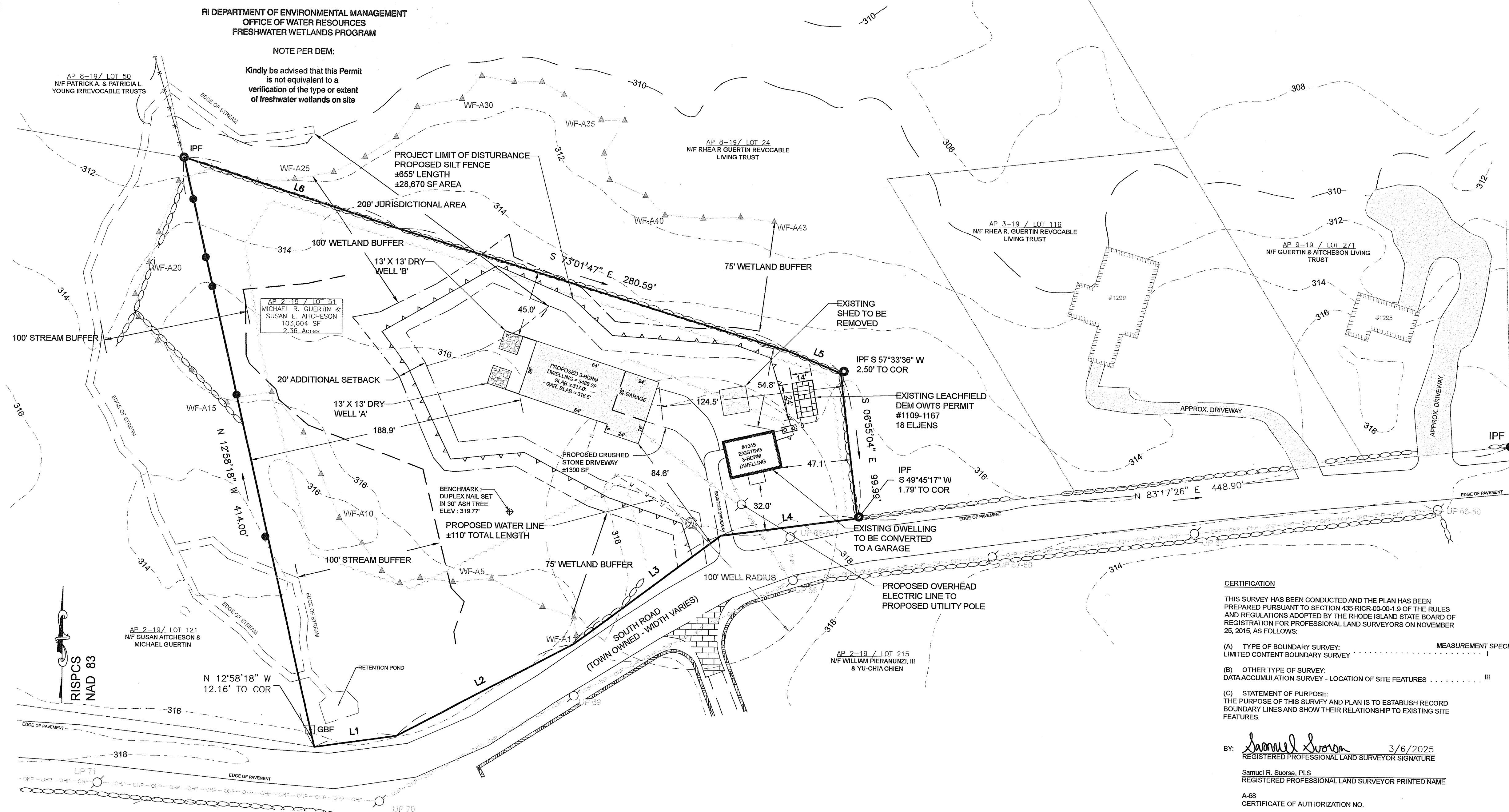
PLAN NOTES:

1. CONDITIONS SHOWN ARE BASED ON A FIELD SURVEY CONDUCTED IN SEPTEMBER, 2024.
2. PLAN DATUM IS NAD83.
3. WETLANDS WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. ON 8/13/2024. FLAGS A17-A26 HAVE 100-FOOT BUFFER ZONE. ANY PRIMARY STRUCTURE REQUIRES AN ADDITIONAL 20-FOOT BUFFER.

DIMENSIONAL REQUIREMENTS TABLE

ZONING DISTRICT:	SINGLE FAMILY DWELLING	
F-2 FARMING	REQUIRED	PROPOSED
AP 2-19 / LOT 51		
LOT AREA	2 ACRES (87,120 SF)	2.36 AC (103,004 SF)
FRONTAGE	150'	99.99'
FRONT SETBACK	60'	84.6'
SIDE SETBACK	30'	143.2'
REAR SETBACK	45'	45.0'
LOT COVERAGE	25%	4.06%
HEIGHT MAIN STRUCTURE	<35'	<35'

LINE	BEARING	DISTANCE
L1	S 81°55'31" W	56.61'
L2	S 62°06'18" W	136.54'
L3	S 53°13'06" W	125.20'
L4	S 82°20'36" W	93.81'
L5	S 67°40'42" E	38.05'
L6	S 71°45'54" E	155.07'



**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM**

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: MAR 10 2025 FILE #: 25-0047
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 48S-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

(A) TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY

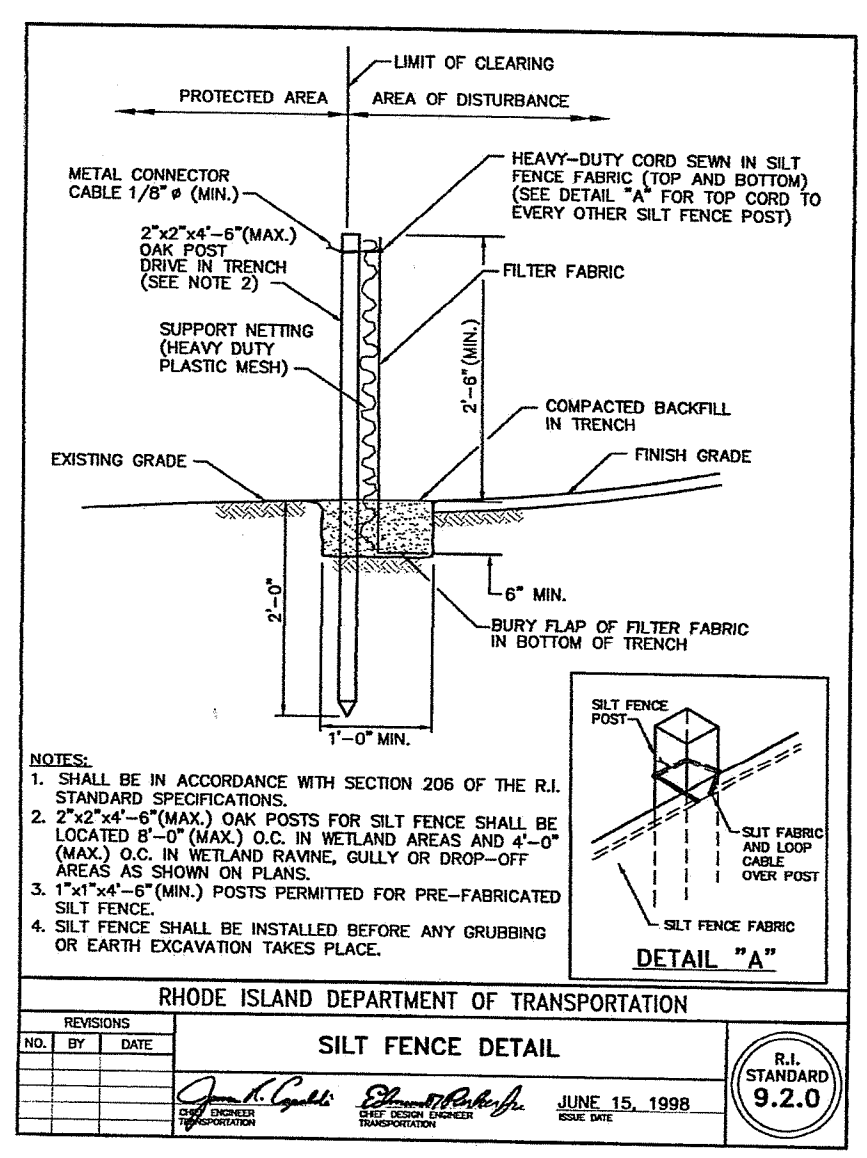
(B) OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY - LOCATION OF SITE FEATURES

(C) STATEMENT OF PURPOSE: THE PURPOSE OF THIS SURVEY AND PLAN IS TO ESTABLISH RECORD BOUNDARY LINES AND SHOW THEIR RELATIONSHIP TO EXISTING SITE FEATURES.

BY: Samuel R. Suorsa 3/6/2025
 REGISTERED PROFESSIONAL LAND SURVEYOR SIGNATURE

Samuel R. Suorsa, P.L.S.
 REGISTERED PROFESSIONAL LAND SURVEYOR PRINTED NAME

A-88
 CERTIFICATE OF AUTHORIZATION NO.



Scale in feet: 1"=40'

Graphic Scale: 0 20 40 60 80 100 120 140 160

Revisions:
 1/8/2025 PROPOSED OWTS
 3/6/2025 RIDEM COMMENTS

SAMUEL R. SUORSA
 No. 2508
 PROFESSIONAL LAND SURVEYOR

JOHN W. HAMPTON
 No. 12485
 REGISTERED PROFESSIONAL ENGINEER CIVIL

CSDG
 Coventry Survey Design Group
 46 South Main Street
 Coventry, RI 02816
 401-823-5028
 coventrysurvey.com

BOUNDARY SURVEY PLAN

SHOWING PROPOSED DWELLING
 at 1345 SOUTH ROAD
 IN EAST GREENWICH, RHODE ISLAND
 ASSESSOR'S PLAT 2-19/ LOT 51
 PREPARED FOR: MICHAEL GUERTIN
 1295 SOUTH ROAD, EAST GREENWICH RI 02818

MAR 07 2025

DRAWN BY: NRW
 APPROVED BY: SRS
 APPROVED BY: JWH

DATE
 JANUARY 15, 2025

SHEET 1 OF 1