



RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
235 Promenade Street
Providence, Rhode Island 02908

March 27, 2025

The Preserve At Boulder Hills, II, LLC
Paul Mihailides, Managing Member
87 Kingstown Road
Richmond, RI 02898

Freshwater Wetlands Permit

Re: Application No. 25-0061 in reference to the location below:

Approximately 1,300 feet west of Kingstown Road (Route 138), approximately 2,400 feet north of the intersection of Meadow Brook Road, Assessor's plat 6B, Lot 2, Richmond, RI.

Dear Mr. Mihailides:

Kindly be advised that the Department of Environmental Management's ("DEM") Freshwater Wetlands Program ("Program") has completed its review of your **Application for a Freshwater Wetlands Permit** as described in Rule 3.11 of the Rules and Regulations Governing the Administration and Enforcement of the Fresh Water Wetlands Act, 250-RICR-150-15-3 ("Rules"). This review included a site inspection of the above referenced property ("subject property") and an evaluation of the proposed Event Barn facility including a parking area and patio, installation of a force main to transport effluent to a previously approved* onsite wastewater treatment system (OWTS) (*RIDEM OWTS File #2229-1130), installation of a stormwater drainage system, connecting to existing on-site utilities, grading, landscaping and associated site alterations, as illustrated and detailed on site plans submitted with your application. These site plans (sheets labeled 1 through 10, and an additional sheet making the total set of approved site plans 11 sheets) were received by the DEM on February 7, 2025.

Our observations of the subject property, review of the site plans and evaluation of the proposed project reveals that alterations of jurisdictional areas are proposed. However, pursuant to Rule 3.7 of the Rules, this project meets all Standards, and a **Freshwater Wetlands Permit** may be issued under the following terms and conditions:

Terms and Conditions for Wetlands Application No. 25-0061:

1. This letter is the DEM's permit for this project under the R.I. Fresh Water Wetlands Act, R.I. Gen. Laws § 2-1-18 et seq.
2. This permit is specifically limited to the project, site alterations and limits of disturbance as detailed on the site plans submitted with your application and received by the DEM on February 7, 2025. A copy of the site plans stamped approved by the DEM is enclosed. Changes or revisions to the project that would alter jurisdictional wetlands are not authorized without a permit from the DEM.
3. Where the terms and conditions of the permit conflict with the approved site plans, these terms and conditions shall be deemed to supersede the site plans.

4. You must notify this Program in writing of the anticipated start date, and of your contractor's contact information, by submitting the Notice of Start of Construction Form prior to commencement of any permitted site alterations or construction activity. You must also notify this Program in writing upon completion of the project. The Start of Construction Form can be found on the webpage: dem.ri.gov/stormwaterconstruction.
5. A copy of the stamped approved site plans and a copy of this permit must be kept at the site at all times during site preparation, construction, and final stabilization. Copies of this permit and the stamped approved plans must be made available for review by any DEM or city/town representative upon request.
6. Within ten (10) days of the receipt of this permit, you must record this permit in the land evidence records of the Town of Richmond and supply this Program with written documentation obtained from the Town showing this permit was recorded.
7. The effective date of this permit is the date this letter was issued. This permit expires five (5) years from the date of this letter unless renewed pursuant to the Rules.
8. Any material utilized in this project must be clean and free of matter that could pollute any jurisdictional area.
9. Prior to commencement of site alterations, you shall erect or post a sign resistant to the weather and at least twelve (12) inches wide and eighteen (18) inches long, which boldly identifies the initials "DEM" and the application number of this permit. This sign must be maintained at the site in a conspicuous location until such time that the project is complete.
10. Temporary erosion and sediment controls detailed or described on the approved site plans shall be properly installed at the site prior to or commensurate with site alterations. Such controls shall be properly maintained, replaced, supplemented, or modified as necessary throughout the life of this project to minimize soil erosion and to prevent sediment from being deposited in any freshwater wetland, buffer, floodplain, area subject to storm flowage, or area subject to flooding or other jurisdictional areas not subject to disturbance under this permit.
11. Upon permanent stabilization of all disturbed soils, temporary erosion and/or sediment controls must be removed.
12. You are obligated to install, utilize, follow and maintain all best management practices detailed or described on the approved site plans in the construction of the project to minimize or prevent adverse impacts to any adjacent freshwater wetland, buffer or other jurisdictional areas and the functions and values provided by such freshwater wetlands and buffers.
13. The long-term operation and maintenance plan shall be strictly followed. The long-term operation and maintenance plan shall be that entitled: "The Preserve at Boulder Hills – Event Barn Facility, Operations and Maintenance (O & M) of BMP Elements, to be Constructed at The Preserve at Boulder Hills, Event Barn Facility to be located off Sun Turtle Trail and Bumblebee Lane (Private Roads), 87 Kingstown Road, Wyoming, RI 02898, AP 6B, Lot 2", dated January 31, 2025, dated received 2/07/2025, submitted by Carrigan Engineering.
14. The proposed oil separator structure must be designed as at least a two-chamber device.

15. You must provide written certification from a registered land surveyor or registered professional engineer that the stormwater drainage system including any and all basins, piping systems, catch basins, culverts, swales and any other stormwater management control features have been constructed/installed in accordance with the site plans approved by this permit. This written certification must be submitted to this Program within twenty (20) days of its request or upon completion of the project.

Pursuant to the provisions in 250-RICR-150-15-3.8.13 and 250-RICR-150-15-3.14.4(A), as applicable, any properly recorded and valid Freshwater Wetlands Permit is automatically transferred to the new owner upon sale of the property.

You are required to comply with the terms and conditions of this permit and to carry out this project in compliance with the Rules at all times. Failure to do so may result in an enforcement action by this Department.

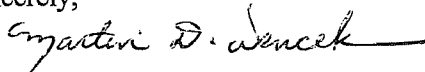
In permitting the proposed alterations, the DEM assumes no responsibility for damages resulting from faulty design or construction.

Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands or jurisdictional areas on site. Should you wish to have the types and extent of freshwater wetlands verified, you may submit the appropriate application in accordance with 250-RICR-150-15-3.9.3.

This permit does not remove your obligation to obtain any local, state, or federal approvals or permits required by ordinance or law and does not relieve you from any duties owed to adjacent landowners with specific reference to any changes in drainage.

Please contact me at this office (telephone: 401-537-4194) should you have any questions regarding this letter.

Sincerely,



Martin D. Wencek, Supervising Environmental Scientist
Office of Water Resources
Freshwater Wetlands Program

MDW/mdw

Enclosure: Approved site plans (eleven sheets total)

ec: Raymond Taylor, DEM OWTS Program
Jacqueline Tedesco, DEM, OWTS Program
Anthony Santilli, Town of Richmond Building Official
Talia Jalette, Town of Richmond Planner
Craig Carrigan, Carrigan Engineering